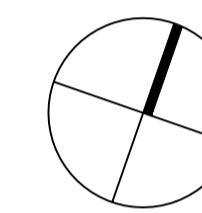


THIS SITE PLAN HAS BEEN BASED ON THE SURVEYOR'S REAL PROPERTY REPORT PREPARED BY ANNIS, OSULLIVAN, VOLLEBEKK LTD., DATED AUGUST 26TH, 2019.

North



Revisions

No.	By	Description	Date
12	JF	ISSUED FOR SITE PLAN CONTROL	04 AUG 2022
11	JF	REVISED AND ISSUED FOR SPA	27 MAY 2022
10	JF	ISSUED FOR COORDINATION	13 MAY 2022
09	JF	ISSUED FOR PERMIT	30 APR 2020
08	JF	ISSUED FOR SITE PLAN CONTROL	16 APR 2020
07	JF	ISSUED FOR PRELIMINARY PRICING REVIEW	14 APR 2020
06	JF	ISSUED FOR PRELIMINARY PRICING REVIEW	06 MAR 2020
05	JF	ISSUED FOR SITE PLAN CONTROL	17 JAN 2020
04	JF	ISSUED FOR SITE PLAN CONTROL	26 SEP 2019
03	JF	ISSUED FOR COORDINATION	12 SEP 2019
02	JF	ISSUED FOR COORDINATION	12 JUL 2019

Project

ST. LAURENT ACADEMY
ADDITION & RENOVATIONS

641 SLADEN AVE., OTTAWA, ON

Drawing

SITE PLAN

Scale

AS NOTED

Drawn

J.F.

Checked

C.D.

Project No.

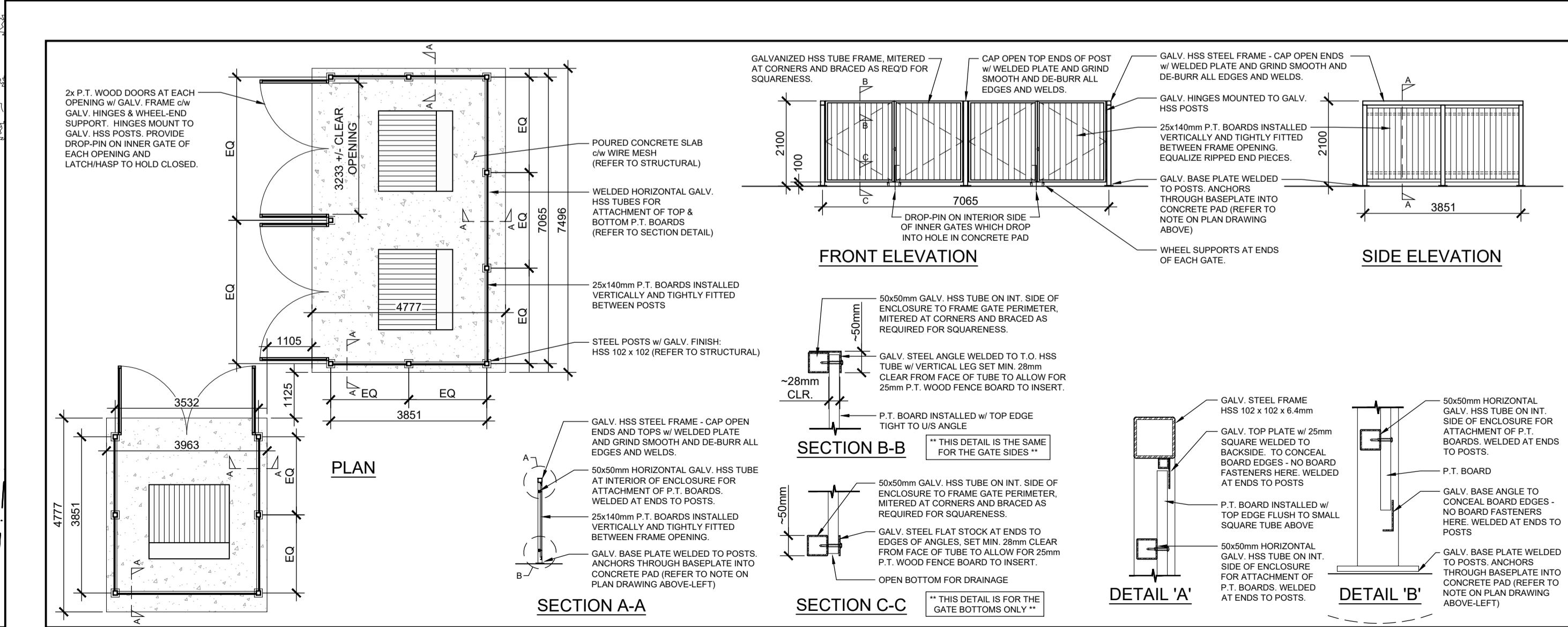
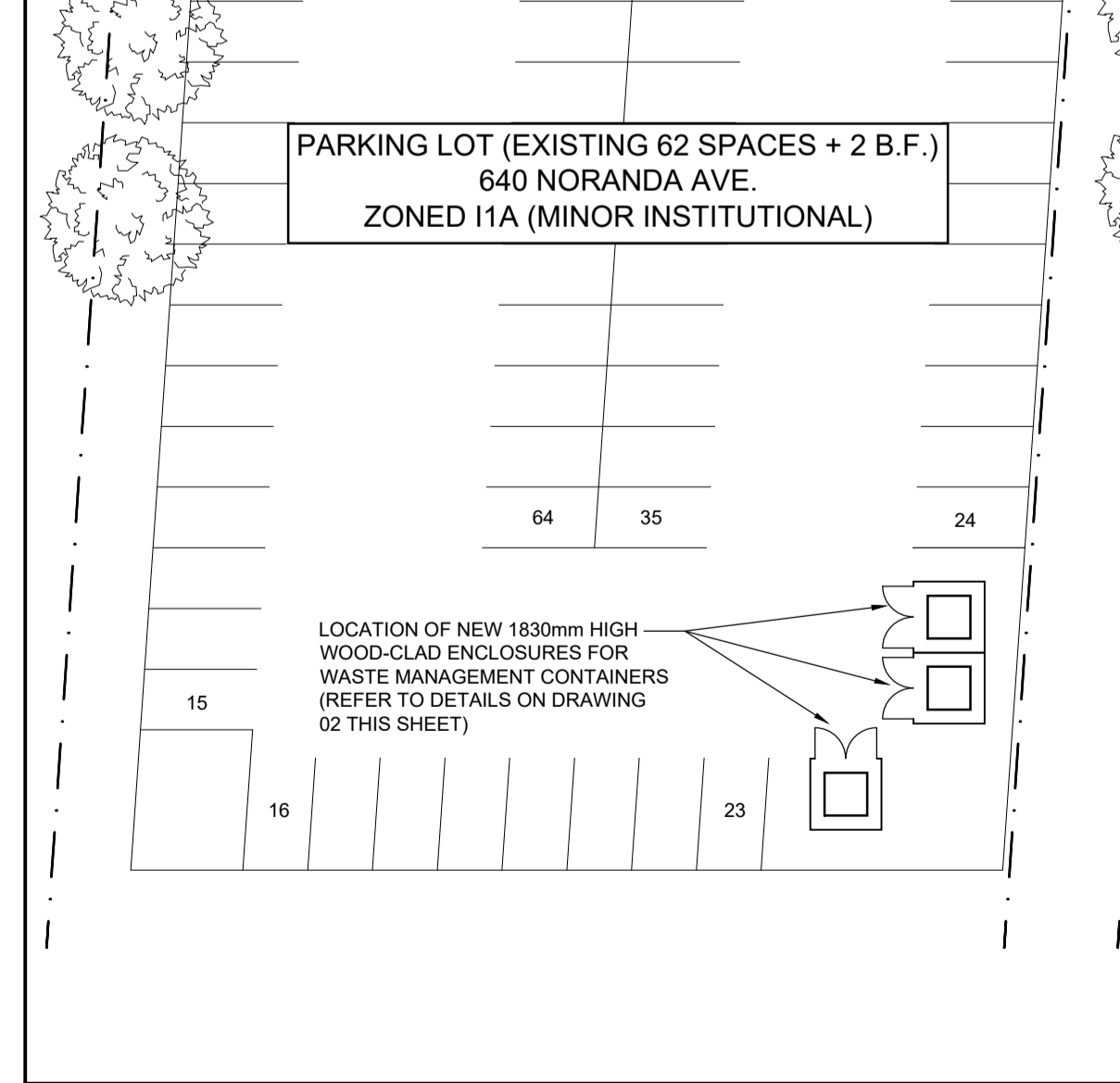
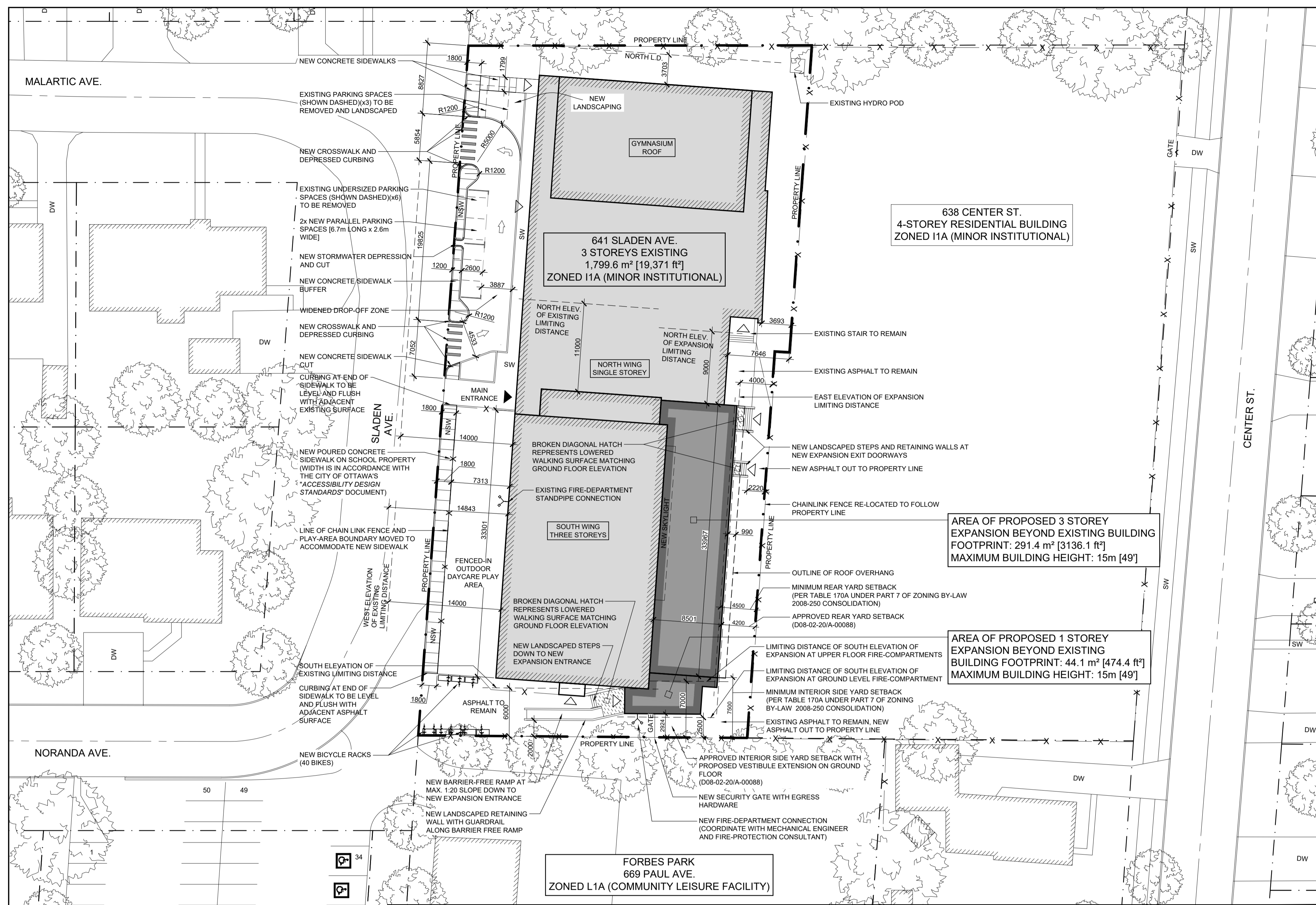
18-114

Date

SEPTEMBER 2019

Drawing No.

SP-A01



LEGEND

- PROPERTY LINE
- NEIGHBOURING PROPERTY LINE
- LINE OF CHAIN-LINK FENCE
- EXISTING BUILDINGS/STRUCTURES
- EXTENTS OF EXISTING SCHOOL BUILDING
- EXTENTS OF PROPOSED SCHOOL EXPANSION
- STREETNAME AND CENTRELINE
- ASPHALT DRIVEWAY
- ASPHALT OR CONCRETE SIDEWALK
- NEW CONCRETE SIDEWALK
- APPROXIMATE LOCATION AND CROWN OF EXISTING TREES
- MAIN BUILDING ENTRANCE
- SECONDARY BUILDING ENTRANCES AND/OR EMERGENCY EXITS
- EXTENTS OF NEW LOWERED WALK AREA AT GROUND FLOOR ELEVATION
- BICYCLE RACK (5 PER RACK)
- NEW FIRE-DEPARTMENT CONNECTION

ZONING INFORMATION

PER THE CITY OF OTTAWA ZONING BY-LAW 2008-250 CONSOLIDATION

LEGAL DESCRIPTION:
PLAN 34 PT LOT 1 RP 4R256610; PART 1

ZONING:
(I1A) MINOR INSTITUTIONAL

ZONING PROVISIONS (PER TABLE 170A):

- LOT AREA (MIN.) = 400 m²
- ACTUAL LOT AREA = 3,592.8 m²
- LOT FRONTAGE (MIN.) = 15 m
- ACTUAL FRONTAGE = 86.15 m
- SETBACKS (MIN.):
 - FRONT = 3 m
 - REAR = 4.2 m (D08-02-20/A-00088)
 - SIDES = 7.5 m
 - S. SIDE = 2.9 m (D08-02-20/A-00088)

PROPOSAL:
334.8 m² (3,604 ft²) TOTAL EXPANSION TO THE EXISTING SCHOOL. PRIMARILY COMPRISED OF A THREE (3) STOREY COMPONENT WITH A SMALL ONE (1) STOREY COMPONENT. THE EXPANSION WILL INCORPORATE NEW CLASSROOMS, WASHROOMS, AND AN INDOOR IN-GROUND SWIMMING POOL w/ ASSOCIATED FACILITIES ON THE GROUND FLOOR.

PARKING:
EXISTING PARKING COUNT

THERE ARE CURRENTLY 9 ON-SITE PARKING SPACES LOCATED IN FRONT OF AND SLIGHTLY NORTH OF THE MAIN ENTRANCE. THESE DO NOT COMPLY WITH CITY OF OTTAWA PARKING STANDARDS AND WILL BE REMOVED. OFF-SITE PARKING IS LOCATED APPROXIMATELY 60m TO THE SOUTH (REFER TO SITE PLAN).

EXISTING PARKING: ON-SITE: 9 SPACES (TO BE REMOVED)
OFF-SITE: 67 SPACES
TOTAL EXISTING: 76 SPACES

PROPOSED PARKING MODIFICATION

MODIFICATIONS TO THE OFF-SITE PARKING COUNT ARE PRIMARILY AFFECTED BY THE PROPOSED RELOCATION OF THE EXISTING WASTE CONTAINERS (PRESENTLY LOCATED AT THE SOUTH-EAST CORNER OF THE OFF-SITE PARKING LOT), BY RELOCATING THE WASTE CONTAINERS INTO ENCLOSURES AS SHOWN ON PLAN, THREE (3) EXISTING PARKING SPACES WILL BE REMOVED IN THAT LOT.

2 PARALLEL SPACES ACCESSED FROM A MODIFIED DROP-OFF ZONE IN FRONT OF THE EXISTING SCHOOL WILL BE INCORPORATED INTO THE DESIGN.

MODIFIED PARKING: OFF-SITE: 64 SPACES (D08-02-20/A-00088)
ON-SITE: 2 SPACES
TOTAL MODIFIED: 66 SPACES

CITY OF OTTAWA MINIMUM PARKING SPACE RATES

THE REQUIRED NUMBER OF PARKING SPACES BASED ON THE CITY OF OTTAWA'S MINIMUM PARKING SPACE RATES PER BY-LAW 2016-249 & 2018-206 - TABLE 101-MINIMUM PARKING SPACE RATES:

ROW N81 - SCHOOL, OTHER = 0.75 PARKING SPACES PER CLASSROOM (INCLUDES PORTABLES):

EXISTING SCHOOL BUILDING: 36 CLASSROOMS = 23 SPACES
PROPOSED ADDITION: 8 CLASSROOMS = 6 SPACES
TOTAL PARKING REQUIRED: 44 CLASSROOMS = 33 SPACES

BICYCLE PARKING:
ON-SITE BICYCLE PARKING WILL BE PROVIDED WHERE SHOWN AND NOTED ON THE SITE PLAN. THE REQUIRED NUMBER OF BICYCLE PARKING SPACES BASED ON THE CITY OF OTTAWA'S MINIMUM PARKING RATES PER SECTION 111 OF PART 4 OF THE ZONING BY-LAW 2008-250 CONSOLIDATION - TABLE 111A-BICYCLE PARKING SPACE RATES:

LAND USE ITEM:
(D) - SCHOOL = 1 SPACE PER 100m² OF GROSS FLOOR AREA
(E) - DAY CARE = 1 SPACE PER 250m² OF GROSS FLOOR AREA
(I) - OTHER (POOL) = 1 SPACE PER 1500m² OF GROSS FLOOR AREA

AREA OF (D): 3,407.2 m² = 34 SPACES
AREA OF (E): 337.7 m² = 2 SPACES
AREA OF (I): 307.6 m² = 1 SPACES
TOTAL PARKING REQUIRED: 37 SPACES

TOTAL BICYCLE PARKING TO BE PROVIDED: 40 SPACES