

Phase 4 - Unit Count	1 BD	1 BD + D	2 BD	Total
LEVEL 01	23	3	4	30
LEVEL 02	17	8	7	32
LEVEL 03	20	8	8	36
LEVEL 04	20	8	8	36
LEVEL 05	20	8	8	36
LEVEL 06	13	6	11	30
Total:	113	41	46	200

Phase 2/3 - Unit Count	1 BD	1 BD + D	2 BD	2 BD + D	Total
LEVEL 01	22	2	2	-	26
LEVEL 02	41	3	12	2	58
LEVEL 03	41	3	12	2	58
LEVEL 4	43	3	10	2	58
LEVEL 05	48	-	8	2	58
LEVEL 06	12	4	10	0	26
Total:	218	4	54	8	284

CITY OF OTTAWA GROSS FLOOR AREAS & AMENITY AREAS					
LEVEL	Area	City GFA	Amenity Area	Communal Amenity Area	Commercial
LEVEL 01	3682 m ²	3682 m ²	0 m ²	0 m ²	0 m ²
LEVEL 01	299 m ²	0 m ²	299 m ²	0 m ²	0 m ²
LEVEL 01	3629 m ²	0 m ²	0 m ²	3629 m ²	0 m ²
LEVEL 01	983 m ²	0 m ²	0 m ²	0 m ²	983 m ²
LEVEL 02	6058 m ²	6058 m ²	0 m ²	0 m ²	0 m ²
LEVEL 02	473 m ²	0 m ²	473 m ²	0 m ²	0 m ²
LEVEL 02	194 m ²	0 m ²	0 m ²	194 m ²	0 m ²
LEVEL 03	6207 m ²	6207 m ²	0 m ²	0 m ²	0 m ²
LEVEL 03	496 m ²	0 m ²	496 m ²	0 m ²	0 m ²
LEVEL 03	165 m ²	0 m ²	0 m ²	165 m ²	0 m ²
LEVEL 04	6146 m ²	6146 m ²	0 m ²	0 m ²	0 m ²
LEVEL 04	538 m ²	0 m ²	538 m ²	0 m ²	0 m ²
LEVEL 04	165 m ²	0 m ²	0 m ²	165 m ²	0 m ²
LEVEL 05	5874 m ²	5874 m ²	0 m ²	0 m ²	0 m ²
LEVEL 05	597 m ²	0 m ²	597 m ²	0 m ²	0 m ²
LEVEL 05	165 m ²	0 m ²	0 m ²	165 m ²	0 m ²
LEVEL 06	3877 m ²	3877 m ²	0 m ²	0 m ²	0 m ²
LEVEL 06	563 m ²	0 m ²	563 m ²	0 m ²	0 m ²
LEVEL 06	480 m ²	0 m ²	0 m ²	480 m ²	0 m ²
Grand total	40589 m²	31843 m²	2966 m²	4797 m²	983 m²

SITE PLAN LEGEND

NOTE: REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR FINISHES AND PAINTING DETAILS.

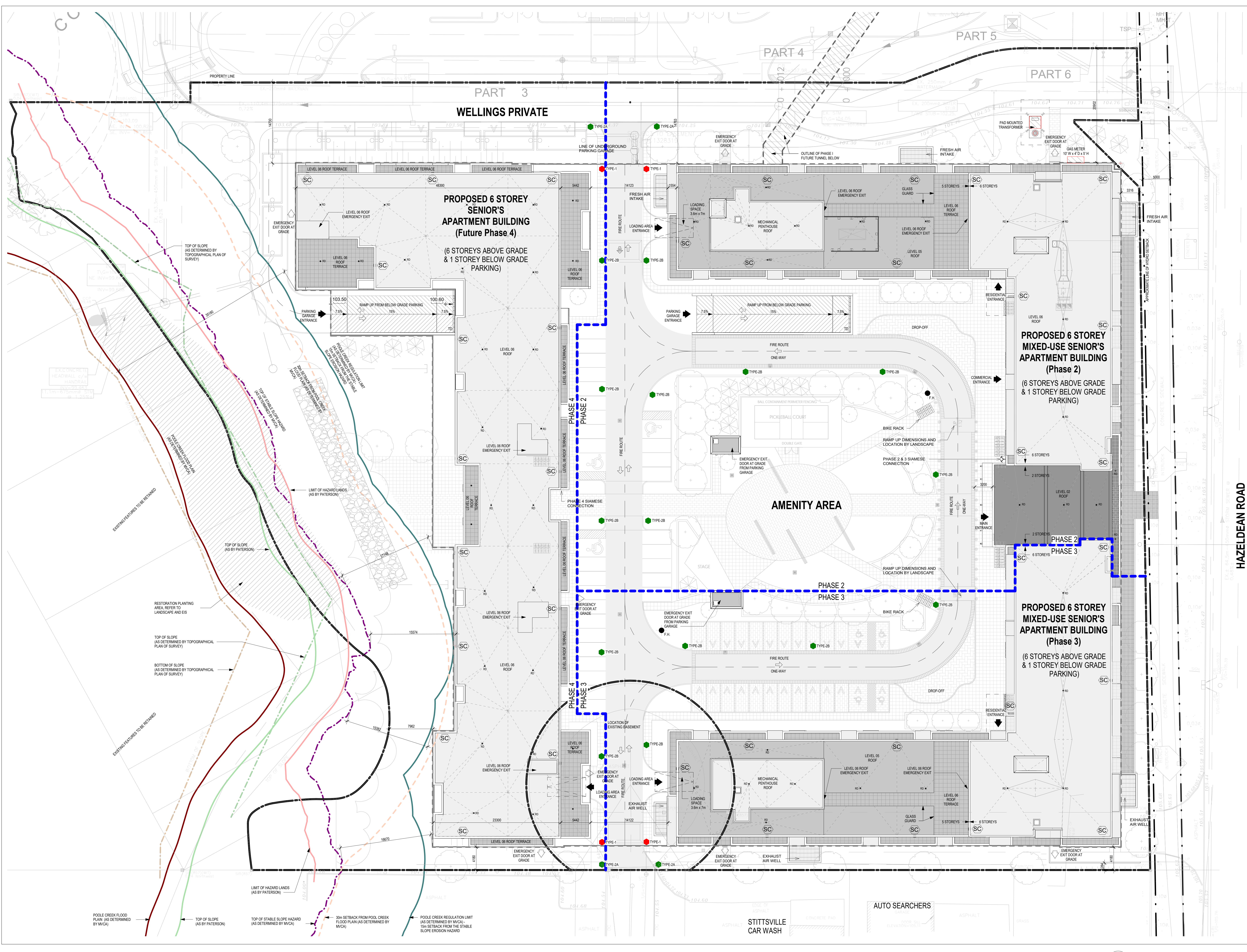
- PROPERTY LINE
- FINISHING LINE
- FIRE ROUTE
- SIDEWALK
- WALKABLE PAVERS
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION / SHAMOSE CONNECTION
- BOLLARD
- ENTRANCE
- EXIT
- EXISTING GRADE
- EMERGENCY SCOPPER
- FIRE ROUTE SIGNAGE - TYPE 1
- FIRE ROUTE SIGNAGE - TYPE 2(A/B)

PROJECT INFORMATION

LEGAL DESCRIPTION: PART OF LOT 12 CONCESSION 12 STITTVILLE, ON S11 COARBY PREPARED BY ANNE O'BRIAN, VLS (LSLR) L.P. FIELD WORK COMPLETED JANUARY 12, 2016	PROJECT NAME: WELLINGS OF STITTVILLE PHASE 2-4 STITTVILLE, ON S11 NATIONAL LANSER GROUP 202 CARR ROAD OTTAWA, ONTARIO K1G 1G3
OWNER / APPLICANT: NATIONAL LANSER GROUP	ARCHITECT: CAMEL ARCHITECTS 109 BANK STREET SUITE 200, OTTAWA, ONTARIO K1P 5G6
ZONING (AMENDING): PHASE 2/3 RESIDENTIAL UNITS 204 PHASE 4 RESIDENTIAL UNITS 204 SITE AREA 2028 B20 M	ENGINEERS: STANTIC 1030 QUEEN AVENUE, SUITE 400 OTTAWA, ONTARIO K1G 3J6 JAN COSVALS (P. ENG) NELS GAMBINO (P. ENG) MONTAGNA-PERRY 115 MILLIKEN ROAD CARP, ONTARIO K7A 1G3
	SURVEYOR: ANNE O'BRIAN VOLLEBEK LTD. 19 CONCORDE GATE SUITE 800 NEPEAN, ONTARIO K2E 7S6 LENTYIA COSVALS (P. ENG) STITTVILLE CONSULTANTS OTTAWA, ONTARIO K1A 2G3

RELEASE / REVISION RECORD

No.	Description	Date
1	Issued for Construction	21.05.19
2	Issued for Construction	17.06.19
3	Issued for SPA Coordination	21.07.19
4	Issued for SPA Coordination	17.08.19
5	Issued for SPA Coordination	17.08.19
6	Issued for SPA Submission	21.09.19
7	Issued for SPA Coordination	17.09.19
8	Issued for Submission to Building Dept.	21.10.19
9	Issued for SPA Submission	23.10.19
10	Issued for Building Dept. Comments	27.09.19
11	Issued for Building Dept. Comments	27.09.19
12	Issued for Response to Building Dept. Comments	21.09.19
13	Issued for Response to SPA Comments	23.09.19



Zone Provisions	Required	Proposed
Minimum Lot Area (m ²)	No minimum	2433.217
Minimum Lot Width (m)	No minimum	326.52
Minimum Front Yard Setback (m)	No minimum	3.316 (Subject to Hazardous Waste)
Non-residential or Mixed-use Building		
Minimum of 20% of the lot width (m) within 5 metres of the front lot line, must be occupied by building walls	45.006 (20%)	108.6 (24.6%)
Minimum Corner Side Yard Setback (m)	No minimum	Varies (Leaving Working Plane)
Minimum Corner Side Yard Setback (m)	3	14.730 (Leaving Working Plane)
Minimum Rear Yard Setback (m) for Residential Use Building	No minimum	4.18
Minimum Rear Yard Setback (m) for Residential Use Building	7.5	7.963
Minimum Frontal Setback (m)	30	31.405
Minimum Building Height (m)	15	21.85
Maximum Floor Space Index (all other uses)	None	N/A
Minimum Landscaped Area along lot line for Non-residential or Mixed-use Building (m ²)	5	Varies
Minimum Landscaped Area along lot line for Non-residential or Mixed-use Building (m ²)	No minimum	Varies
Minimum Dwelling Units (Section 100.2.1.1)		
Minimum Parking Spaces (Section 101) (Area C)	122 - 100+100	304
Commercial - Bar (2 per 100 sq.m. of GFA (Phase 2 - 160 sq.m. Bar)	2	9
Commercial - Personal Service Business (1 per 100 sq.m. of GFA (Phase 2 - 434 sq.m. Private Room, Dining, Kitchen, Storage, Refrigerator, Buzzer)	4	39
Commercial - Restaurant (1 per 100 sq.m. of GFA (Phase 2 - 434 sq.m. Private Room, Dining, Kitchen, Storage, Refrigerator, Buzzer)	4	39
No additional parking is required	-	-
Minimum Visitor Parking Spaces (Section 102) (Area C)		
Minimum Visitor Parking Spaces (Section 102) (Area C)	13	19
Minimum Visitor Parking Spaces (Section 102) (Area C)		
Minimum Visitor Parking Spaces (Section 102) (Area C)	97	97
Minimum Visitor Parking Spaces (Section 102) (Area C)	97	97
Minimum Visitor Parking Spaces (Section 102) (Area C)		
Minimum Visitor Parking Spaces (Section 102) (Area C)	99 + 4 Accessible	88 + 8 Accessible
Parking Space Provisions (Section 102)		
Minimum Dwelling Units in a Mixed-use Building	66	0
Minimum Dwelling Units in a Mixed-use Building	66	0
Minimum Dwelling Units (Section 100.2.1.1)		
Minimum Dwelling Units (Section 100.2.1.1)	122	129
Minimum Dwelling Units (Section 100.2.1.1)	1	1 Surface
Minimum Dwelling Units (Section 100.2.1.1)	1	1 Surface
Minimum Dwelling Units (Section 100.2.1.1)	2	2 Surface
Minimum Dwelling Units (Section 100.2.1.1)		
Minimum Dwelling Units (Section 100.2.1.1)	126	133

FIRE ROUTE SIGNAGE LEGEND

TYPE 1	TYPE 2
TYPE 3	TYPE 4
TYPE 5	TYPE 6
TYPE 7	TYPE 8

NOTE: TO BE INSTALLED AND MAINTAINED AS INDICATED IN THE DRAWING. SIGNAGE SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE SPECIFIED IN THE DRAWING. SIGNAGE SHALL BE MAINTAINED AS SHOWN UNLESS OTHERWISE SPECIFIED IN THE DRAWING. SIGNAGE SHALL BE MAINTAINED AS SHOWN UNLESS OTHERWISE SPECIFIED IN THE DRAWING.

chmielarchitects
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1 (613) 234-6224

WELLINGS OF STITTVILLE PHASE 2-4

20 CEDAR ROAD, STITTVILLE, ON
PROJECT NO. 19-1784 DRAWN: M/M/D/DS
SCALE: AS INDICATED CHECKED: RC
DRAWING TITLE: SITE PLAN
DATE: 08/21/2019
PLAN NO. SP-01