473 ALBERT STREET SITE PLAN APPLICATION - ARCHITECTURAL DRAWINGS

ARCHITECTURAL



ARCHITECTURAL DRAWING LIST

DWG NO.	DRAWING TITLE
A0 GENERA	
A0-000	COVER SHEET
A0-101	GENERAL NOTES
A0-102	GENERAL NOTES
A0-200	obc matrix and code notes
A0-800	SITE PLAN - DEMOLITION
A0-801	SITE PLAN - PROPOSED
A0-802	ILLUSTRATIVE SITE PLAN - FUTURE ALBERT STREET RENEWAL PLAN
A0-803	INDEX TO BUILDING SETBACKS
A1 DEMOLIT	
A1-099	SUB BASEMENT DEMOLITION PLAN
A1-100	BASEMENT DEMOLITION PLAN
A1-101	LEVEL 01 DEMOLITION PLAN
A1-102	LEVEL 01 DEMOLITION PLAN
A1-103	LEVEL 02 DEMOLITION PLAN
A1-111	LEVEL 11 DEMOLITION PLAN
A1-112	LEVEL 17 DEMOLITION PLAN
A1-113	LEVEL 12 DEMOLITION PLAN
A1-300	SOUTH (ALBERT STREET) DEMOLITION ELEVATION
A1-301	NORTH DEMOLITION ELEVATION
//1-001	
A2 PLANS	
A2-099	SUB BASEMENT FLOOR PLAN
A2-100	BASEMENT FLOOR PLAN
A2-101	LEVEL 01 FLOOR PLAN
A2-102	LEVEL 02 FLOOR PLAN
A2-103	LEVELS 03 TO 10 (TYPICAL) FLOOR PLAN
A2-111	LEVEL 11 FLOOR PLAN
A2-112	LEVEL 12 (MAIN ROOF) FLOOR PLAN
A2-113	LEVEL 13 (EMR PENTHOUSE) FLOOR PLAN
A2-114	ROOF PLAN
A4 ELEVATIC	
A4-100	
A4-101	EAST & WEST ELEVATION
A4-102	NORTH ELEVATION

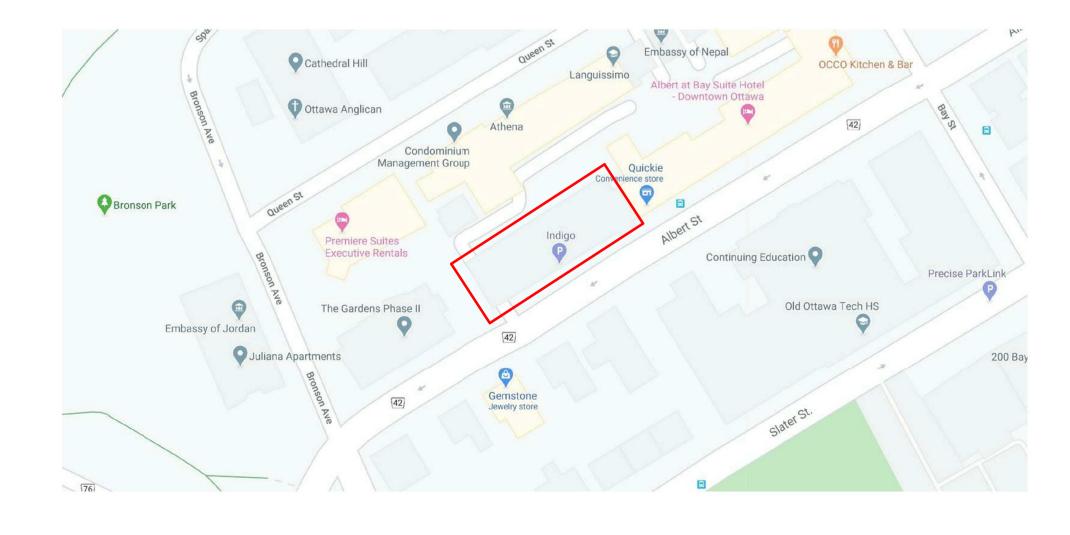
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STRUCTURAL ENGINEER











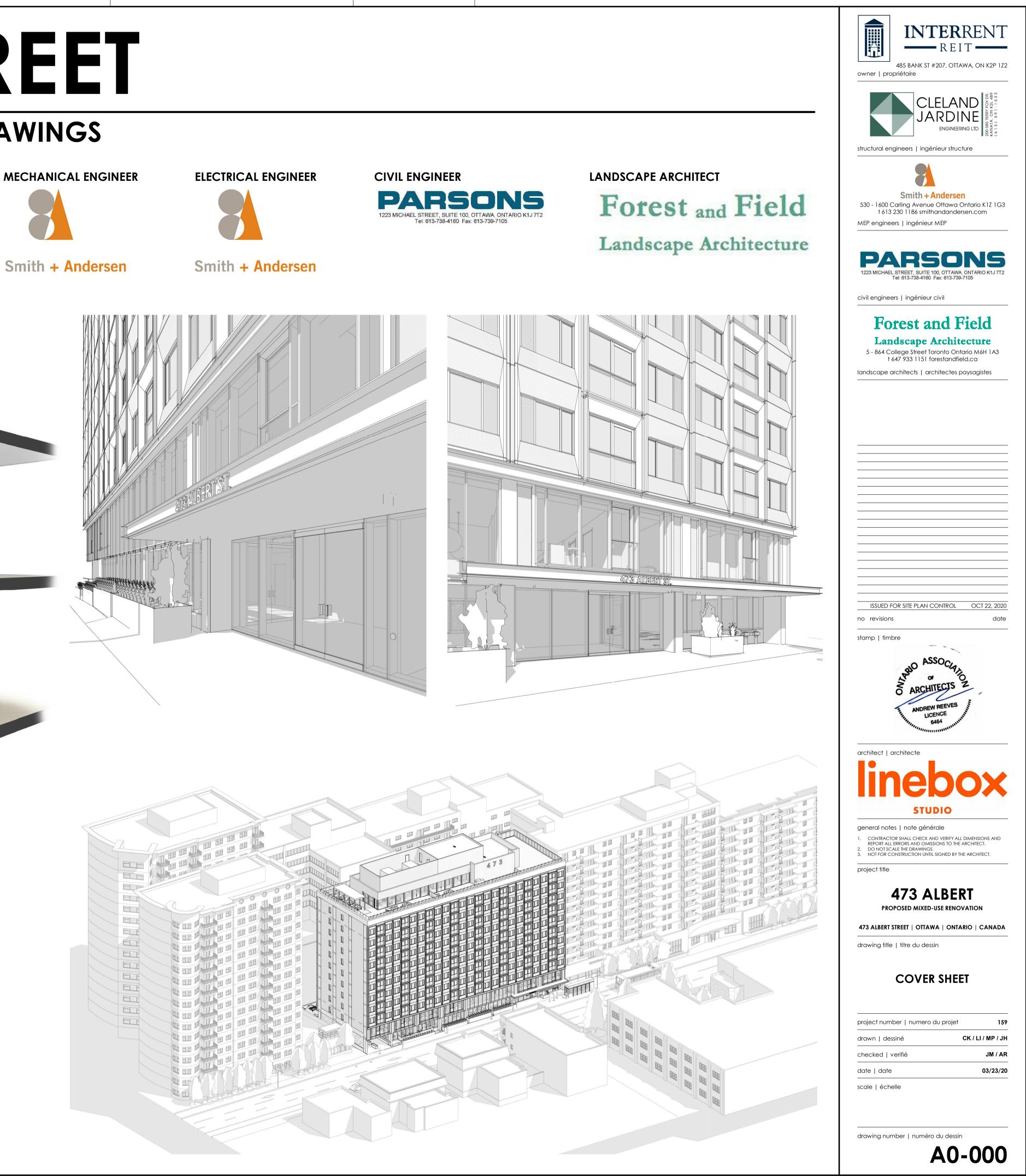












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GENERAL NOTES	GENERAL NOTES FOR SLAB EDGE DRAWINGS
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE, REPORT TO THE OWNER AND ARCHITECT ON ANY DISCREPANCIES BETWEEN THE EXISTING SITE CONDITIONS AND THE FINAL DRAWINGS PRIOR TO CONTINUING CONSTRUCTION.	1. FOR STAIR OPENINGS AND SLAB EDGE DETAILS REFER TO THE PRECAST STAIR SHOP DRAWINGS.
2. CONTRACTOR TO BE RESPONSIBLE FOR CONFORMANCE OF WORKMANSHIP, MATERIAL, AND METHODS.	2. FOR ELEVATOR SHAFT OPENING REFER TO ELEVATOR SHOP DRAWINGS.
 ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE AND LOCAL AUTHORITIES HAVING JURISDICTION. 	3. FOR DUCT/SHAFT OPENING AND PENETRATIONS THROUGH WALLS & FLOORS, REFER TO MECHA COORDINATE ALL PENETRATIONS FOR LIGHTING W/ ELECTRICAL ENGINEERS DRAWINGS PRIOR
 CONTRACTOR TO CHECK AVAILABILITY OF ALL MATERIALS AND REPORT ANY DISCONTINUATIONS OR DELAYS TO THE OWNER AND ARCHITECT. 	4. FOR DOOR AND WINDOW OPENINGS THROUGH WALLS, CHECKS IN FLOORS, ELEMENTS TO BE ARCHITECTURAL DRAWINGS, SPECIFICATIONS AND DOOR AND WINDOW SHOP DRAWINGS.
5. CONTRACTOR TO CLEAN ALL WINDOWS, FLOORS, ETC. AT THE COMPLETION OF CONSTRUCTION.	5. PROVIDE POCKETS FOR PRECAST
 CONTRACTOR TO OBTAIN AND BE FAMILIAR WITH ALL REQUIRED TESTING AND REPORTS DURING THE PROGRESS OF THE WORK. FINISH MATERIALS TO MEET 2012 ONTARIO BUILDING CODE REQUIREMENTS FOR FLAME SPREAD RATINGS AND SMOKE DEVELOPED 	6. PROVIDE POCKETS FOR PRECAST ANCHORS. FOR LOCATIONS AND DETAILS COORDINATE WITH 7. ALL STRUCTURAL WALL THICKNESSES, COLUMN SIZES AND BEAM SIZES TO BE CONFIRMED BY ST
CLASSIFICATION. 3. ALL INTERIOR FURNISHINGS ARE BY THE TENANT UNLESS OTHERWISE NOTED.	8. FOR ROOF ANCHORS AND DAVIT BASES ON ROOF SLAB REFER TO ROOF ANCHOR SYSTEM PLA
SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL	9. REFER TO LANDSCAPE DRAWINGS FOR PLANTER WALL DETAILS AND DIMENSIONS.
items. . see architectural, structural, mechanical, and electrical drawings for base building relevant notes and details.	10.ALL NOTCHES SHOWN FOR CURTAIN WALL & WINDOW WALL CONNECTION LOCATIONS ARE S WITH CURTAIN WALL SHOP DRAWINGS PRIOR TO CONSTRUCTION OF SLAB
. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR HEATING, VENTILATION, AIR CONDITIONING, LIGHTS, AND SPRINKLERS.	
2. ALL CONSTRUCTION TO CONFORM TO 2012 ONTARIO BUILDING CODE SECTION 3.8 BARRIER-FREE DESIGN. 3. CAULK AND SEAL ALL AROUND OPENINGS AT PENETRATIONS.	DENOTES SLOPE DIRECTION OF CONCRETE SLAB
4. FOR ALL ELECTRICAL, AV & MECHANICAL EQUIPMENT MOUNTING HEIGHTS REFER TO ENGINEERING DRAWINGS.	DENOTES TOP OF STRUCTURAL SLAB (T.S.S.)
5. ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE COMPLEMENTARY. ANYTHING SHOWN ON ARCHITECTURAL DRAWINGS AND NOT SHOWN ON STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS OR VISE VERSA, SHALL BE INTERPRETED AS BEING SHOWN ON ALL FOUR. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.	
16. DO NOT SCALE DRAWINGS 17. ALL STEEL STUDS TO BE DESIGNED & STAMPED BY PROFESSIONAL ENGINEER LICENSED IN ONTARIO - SUBMIT SHOP DRAWINGS	GENERAL NOTES FOR WALLS WITH S.T.C. RATING
8. CONCRETE FLOORS TO BE SMOOTH & LEVEL WITH A MAXIMUM DEVIATION OF 1/2 INCH IN 20 FEET READY TO ACCEPT TENANT'S FLOOR	
FINISH MATERIAL UNLESS NOTED OTHERWISE ON FLOOR PLAN OR SPECIFICATIONS - TO COMPLY WITH TENANTS REQUIREMENTS. 9. SEE DOOR SCHEDULE FOR DOOR & FRAME TYPE, SIZE & HARDWARE.	 WALLS MUST EXTEND SLAB TO SLAB. THERE IS TO BE A MINIMUM AMOUNT OF STUDS PER WALL. (NO ADDITIONAL STUDS SHOULD BE
). METAL ROOF DECK CEILING TO BE SUITABLE FOR PAINT WITHOUT ADDITIONAL PREPARATION BY TENANT	3. INNER AND OUTER LAYERS OF DRYWALL SHOULD HAVE NO GAPS OVER 6 MM.
1. ROUGH IN OF WASHROOM FIXTURES TO BE BY GENERAL CONTRACTOR & LOCATION OF SUITE FINAL LAYOUT TO FOLLOW ON COMMERCIAL AND RESIDENTIAL SUITES IDENTIFIED AS 'BY FUTURE PERMITS'. EACH TENANT IDENTIFIED AS SUCH TO OBTAIN SEPARATE PERMIT	4. INNER LAYERS SHOULD BE TAPED BUT NOT SANDED.
FOR ALL INTERIOR WORK. 2. HVAC BY GENERAL CONTRACTOR & TO SUIT FINAL COMMERCIAL TENANT LAYOUT (TO FOLLOW) WHERE APPLICABLE.	 JOINTS MUST BE STAGGERED. FIRE RATED CAULKING SHOULD BE USED AS THE PRIMARY SEALANT.
B. TENANT TO OBTAIN A SEPARATE PERMIT REGARDING EXTERIOR SIGNAGE.	7. FIRE RATED CAULKING SHOULD BE DONE ON ALL LAYERS OF DRYWALL AROUND ENTIRE PERIM
4. SHOP QUALITY SPRINKLER DRAWINGS COMPLETE WITH HYDRAULIC CALCULATIONS TO BE SUBMITTED TO THE CITY UNDER SEPARATE COVER BY THE SUCCESSFUL CONTRACTOR'S SPRINKLER SYSTEM DESIGN ENGINEER WHEREVER SPRINKLERS ARE REQUIRED.	8. FIRE RATED CAULKING ON ANY GAP OVER 6 MM MUST BE OVER ROD BACKUP. BUT GAPS OVE
5. USE HILTI FS601 OR FS-ONE FLEXIBLE FIRE STOP AT TOP OF ALL FIRE RATED WALLS AT ROOF DECKS AND WALL PENETRATIONS TO SUIT RATING OF WALL (TYP.)	9. ELECTRICAL BOXES ON OPPOSING FACES OF THE WALL SHOULD BE LOCATED IN SEPARATE STU 10. FIT DRYWALL TIGHTLY WITHIN 6 MM OF ALL SERVICES INCLUDING ELECTRICAL BOXES FOR EAC
6. ALL R.W.L. TO BE TIGHT TO BACK OF COLUMNS (STEEL)	11. ALL ELECTRICAL SERVICES IN PARTY WALLS SHOULD HAVE BACK BOXES.
7. 50mm METAL STRAPS @ 600 o.c AT ALL DOUBLE WALL CONSTRUCTION TO SECURE BATT INSULATION IN PLACE.	12. FIBERGLASS OR MINERAL FIBER BATT SHOULD BE RUN BEHIND AND AROUND ALL ELECTRICAL B
3. ALL STEEL STRUCTURAL MEMBERS TO BE WITHIN STUD CAVITIES 2. PIPING, TUBING, DUCTS, CHIMNEYS, OPTICAL FIBRE CABLES, ELECTRICAL WIRES AND CABLES, TOTALLY ENCLOSED NON-COMBUSTIBLE	13. ALL PENETRATIONS THROUGH RATED WALLS MUST BE SEALED AIR-TIGHT WITH A COMBINATION
RACEWAYS, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR BUILDING SERVICES THAT PENETRATE A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING, OR A FIRE SEPARATION, SHALL BE SEALED BY A FIRE STOP SYSTEM.	AVOIDS A DIRECT LINK BETWEEN THE TWO ROOMS WHICH WOULD DECREASES STC RATINGS C
at all transitions of materials, joints to be caulked c/w backer rod Wrap entire perimeter of rough openings with peel and stick membrane before installation of window and door frames.	STUDS ACCEPTING THE CABINETRY
PROVIDE 12.7mm EXTERIOR GRADE PLYWOOD @ ALL SIGNAGE, AWNINGS, LIGHT FIXTURE LOCATIONS, AND GAS PIPES UNLESS OTHERWISE	16. BLOCKING FOR CABINETS WILL BE REPLACING PART OF THE INNER LAYER OF A DOUBLE LAYER IS USED INSTEAD OF DRYWALL, SEAL ALL AROUND THE PLYWOOD TO THE ADJACENT DRYWALL.
NOTED. PROVIDE WOOD BLOCKING FOR ALL WASHROOM FIXTURES, ELECTRICAL & MECHANICAL FIXTURES WHERE APPLICABLE (TYP.) GENERAL CONTRACTOR TO ENSURE THAT FIRE RATING OF DEMISING WALLS IS NOT ALTERED FROM THE DESIGNATED WALL CONSTRUCTION	17. BATT TYPE INSULATION FOR INTERIOR WALLS MAY BE MINERAL WOOL OR FIBERGLASS - AT OWI
LISTED . GAS PIPES TO BE PAINTED SAME COLOR AS WALL OR CEILING ON WHICH THEY ARE MOUNTED. w/ YELLOW STRIPES SPACED @ 4'-0" FROM	
EACH OTHER 5. WHERE FIRE RATED WALL RUNS PERPENDICULAR TO METAL DECK, DRYWALL TO FOLLOW DECK CONTOUR c/w 12mm TO 20mm GAP. FILL	
ALL VOIDS WITH FIRE STOP MINERAL WOOL AND FIRE STOP CAULKING/SPRAY TO MAINTAIN WALL FIRE RATING.	GENERAL NOTES FOR ROOF PLANS
7. VERTICAL DRYWALL CONTROL JOINT TO BE @ EVERY STEEL COLUMN TYP. (SEE SPECIFICATIONS)	DRAINAGE:
B. PAINT EXTERIOR H.M. DOOR EDGES	- CO-ORD ROOF DRAIN LOCATIONS AS SHOWN W/ MECH. DWGS. - ROOF TRUSS /BEAM FRAMING TO BE SHIMMED /LOWERED AS REQ'D. @ LOW POINTS ALONG G DWGS.
. GRADES SHOWN ON FLOOR PLANS, ELEVATIONS, AND SECTION DATUM TAGS ARE FOR REFERENCE ONLY. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL GRADES WITH GRADING PLAN.	- PROVIDE TAPERED ROOF INSULATION AS REQ'D TO ACHIEVE POSITIVE DRAINAGE IN ALL NOTED - ENSURE THAT RAIN WATER LEADERS ARE GROUPED (SEE MECH. DWGS).
). GENERAL CONTRACTOR TO BOX IN ALL ELEC. & MECH. SERVICES NOT CONCEALED IN WALLS UNLESS OTHERWISE NOTED. PROVIDE ACCESS PANELS WHERE APPLICABLE.	ROOF ASSEMBLY: **PROVIDE MANUF SPECS & DETAILS FOR APPROVAL BY ARCHITECT, FOR NEW ROOF SYSTEM C/ DETAILS.**
. GENERAL CONTRACTOR TO CLEAN (SCRAPE AND VACUUM) BOTTOM OF STUD TRACK BEFORE BATT TYPE INSULATION INSTALLATION.	**SEE MECH /ELECT DWGS FOR ROOF EQUIPMENT OPENINGS, CURBS, ETC & ROOF MEMBRANE LOCATIONS.**
2. REFER TO WALL TYPES, ULC MANUAL, AND OBC DRAWINGS FOR ALL FIRE RATINGS REQUIRED FOR ALL INTERIOR AND EXTERIOR WALLS. NO SUBSTITUTIONS FOR GYPSUM BOARD LISTED IN THE ULC MANUAL FOR THE FIRE RATED WALLS.	WARRANTY: - PROVIDE WRITTEN WARRANTY FROM BOTH THE ROOFING CONTRACTOR & THE ROOFING MEM
3. FIRE STOP NOTE: FOR ALL DOUBLE STUD WALLS WITHIN AN AIR SPACE MORE THAN 25mm - PROVIDE 12.7 EXTERIOR GRADE GYPSUM WALL BOARD FIRE STOP @ 3m o.c. VERTICAL INTERVALS x 20m o.c. HORIZONTAL INTERVALS OR FILL CAVITY WITH BATT TYPE INSULATION.	REQUIREMENTS. THIS WARRANTY SHALL COVER BOTH MATERIALS & WORKMANSHIP FOR ALL CON LIMITED TO ROOF MEMBRANE, FLASHING, MECHANICAL & ELECTRICAL EQUIPMENT PENETRATIO BUILDING ENVELOPE SYSTEM.
IOTES: ONTARIO BUILDING CODE NTERIOR FINISHES:	- COORDINATE PRO BEL SAFETY ROOF ANCHORS W/ STRUCTURAL ENGINEERING DRAWINGS FOR
ALL SURFACES FOR EXIT STAIRS, LOBBIES (ELEVATOR), SERVICE ROOMS MEET: - FLAME SPREAD RATING: 25 - SMOKE DEVELOPED RATING: 50	- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS
10% MAX. OF A SURFACE WITHIN AN EXIT OR LOBBY: - FLAME SPREAD RATING: 150 - SMOKE DEVELOPED RATING: 300	
ALL OTHER WALLS: - FLAME SPREAD RATING: 150 SNOKE DEFENDED RATING: 0	GENERAL NOTES FOR FLOOR FINISH PLANS
- SMOKE DEVELOPED RATING: 0 COMBUSTIBLE CEILING FINISHES:	
- FLAME SPREAD RATING: 25	 ALL WALL TILE LOCATIONS TO BE SHOWN ON INTERIOR ELEVATIONS AND ALL RELATED DETAILING. ALL FLOORING MATERIALS AND RELATED WALL TILES TO BE INSTALLED IN FULL ACCORDANCE V
	DETAILS. 3. METAL TRANSITION STRIPS ARE TO BE SUPPLIED AND INSTALLED AT ALL TRANSITIONS BETWEEN DI
	4. TILE EDGING STRIPS ARE TO BE USED AT ALL TILE EDGES AS NOTED IN SPECIFICATIONS.
	5. ALL FLOORING MATERIALS ARE TO BE INSTALLED ONLY ONCE ALL SUBFLOOR CONDITIONS ENS ALL REQUIRED FLOOR LEVELING ON STRUCTURE).
	6. ANY FLOORING MATERIALS EXHIBITING IMPROPER ADHESION, SIGNS OF TELEGRAPHING, CALEI SUBFLOOR, ETC, MAY BE DEEMED UNSUITABLE - REQUIRING RECTIFICATION TO THE ARCHITECT
	7. EXTEND ALL FLOORING UNDER MILLWORK IN COMMON BUILDING AREAS
	 8. FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE FLOORING MATERIAL LEGEN 9. ALL FINISHING PRODUCING NOXIOUS OR IRRITATING FUMES OR ODORS (ELECTROSTATIC PAIN AFTER DUM DING MANUACEMENT REVIEW AND ONLY AFTER DURINESS UPUNCT

S FOR SLAB EDGE DRAWINGS

PENETRATIONS THROUGH WALLS & FLOORS, REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. S FOR LIGHTING W/ ELECTRICAL ENGINEERS DRAWINGS PRIOR TO CONSTRUCTION OF FLOOR SLABS.

NINGS THROUGH WALLS, CHECKS IN FLOORS, ELEMENTS TO BE CAST INTO FLOORS - COORDINATE WITH OTHER CIFICATIONS AND DOOR AND WINDOW SHOP DRAWINGS.

ANCHORS. FOR LOCATIONS AND DETAILS COORDINATE WITH PRECAST CONCRETE SHOP DRAWINGS.

SSES, COLUMN SIZES AND BEAM SIZES TO BE CONFIRMED BY STRUCTURAL DRAWINGS.

BASES ON ROOF SLAB REFER TO ROOF ANCHOR SYSTEM PLAN FOR LOCATIONS AND DETAILS.

TAIN WALL & WINDOW WALL CONNECTION LOCATIONS ARE STRICTLY DIAGRAMMATIC. CONFIRM ALL LOCATIONS IGS PRIOR TO CONSTRUCTION OF SLAB

S FOR WALLS WITH S.T.C. RATINGS

DUNT OF STUDS PER WALL. (NO ADDITIONAL STUDS SHOULD BE INSTALLED)

DONE ON ALL LAYERS OF DRYWALL AROUND ENTIRE PERIMETER EXCEPT AT DRYWALL JOINTS.

GAP OVER 6 MM MUST BE OVER ROD BACKUP. BUT GAPS OVER 6 MM ARE TO BE AVOIDED.

NG FACES OF THE WALL SHOULD BE LOCATED IN SEPARATE STUD CAVITIES.

MM OF ALL SERVICES INCLUDING ELECTRICAL BOXES FOR EACH DRYWALL LAYER.

BATT SHOULD BE RUN BEHIND AND AROUND ALL ELECTRICAL BOXES.

ATED WALLS MUST BE SEALED AIR-TIGHT WITH A COMBINATION OF JOINT COMPOUND AND CAULKED

N ROOMS. FOR EXAMPLE DRYWALL IS TO BE BROKEN (SEPARATED) AT TEES, CROSS AND CORNER JUNCTIONS. THIS THE TWO ROOMS WHICH WOULD DECREASES STC RATINGS CONSIDERABLY.

MISING WALLS SHOULD NOT BRIDGE THE TWO FACES OF THE WALLS, BUT BE INSTALLED ONLY ON THE FACE OF THE

BE REPLACING PART OF THE INNER LAYER OF A DOUBLE LAYER DRYWALL WALL WITH PLYWOOD. WHEREVER PLYWOOD

RIOR WALLS MAY BE MINERAL WOOL OR FIBERGLASS - AT OWNER'S DISCRETION

S FOR ROOF PLANS

NS AS SHOWN W/ MECH. DWGS.) BE SHIMMED /LOWERED AS REQ'D. @ LOW POINTS ALONG GRIDS TO PROVIDE ROOF SLOPE. CO-ORD W/ STRUCT ATION AS REQ'D TO ACHIEVE POSITIVE DRAINAGE IN ALL NOTED AREAS. RS ARE GROUPED (SEE MECH. DWGS).

NLS FOR APPROVAL BY ARCHITECT, FOR NEW ROOF SYSTEM C/W RIGID INSULATION & BASE SHEATHING. SEE TYP SECT. OOF EQUIPMENT OPENINGS, CURBS, ETC & ROOF MEMBRANE MANUFACTURER'S INSTALLATION DETAILS /SPECS AT ALL

ROM BOTH THE ROOFING CONTRACTOR & THE ROOFING MEMBRANE MANUFACTURER. CO-ORD WITH OWNER FOR SHALL COVER BOTH MATERIALS & WORKMANSHIP FOR ALL COMPONENTS OF THE ROOFING SYSTEM INCLUDING, BUT NOT SHING, MECHANICAL & ELECTRICAL EQUIPMENT PENETRATIONS AND TERMINATIONS W/ OTHER ELEMENTS OF THE

OOF ANCHORS W/ STRUCTURAL ENGINEERING DRAWINGS FOR REQUIRED STRUCTURAL CONNECTIONS DDITIONAL DETAILS

S FOR FLOOR FINISH PLANS

SHOWN ON INTERIOR ELEVATIONS AND ALL RELATED DETAILING ON ARCHITECTURAL DRAWINGS. RELATED WALL TILES TO BE INSTALLED IN FULL ACCORDANCE WITH SPECIFICATIONS AND RELATED ARCHITECTURAL

D BE SUPPLIED AND INSTALLED AT ALL TRANSITIONS BETWEEN DISSIMILAR FLOOR FINISHES AS PER SPECIFICATIONS.

D BE INSTALLED ONLY ONCE ALL SUBFLOOR CONDITIONS ENSURING PROPER INSTALLATION ARE MET (INCLUDING GON STRUCTURE).

ITING IMPROPER ADHESION, SIGNS OF TELEGRAPHING, CALENDERING, OR IRREGULARITIES THROUGH THE FINISHED UNSUITABLE - REQUIRING RECTIFICATION TO THE ARCHITECT'S STANDARDS.

NOT INDICATIVE OF PATTERN. SEE FLOORING MATERIAL LEGEND FOR NOTES ON INSTALLATION

XIOUS OR IRRITATING FUMES OR ODORS (ELECTROSTATIC PAINTING, FLOOR FINISHES, ETC.) SHALL BE DONE ONLY AFTER BUILDING MANAGEMENT REVIEW AND ONLY AFTER BUSINESS HOURS.

10. ALL VCT, RUBBER, & OTHER HARD SURFACE FLOORING TO BE PREPPED AND SEALED TO MANUFACTURERS' RECOMMENDATIONS 11. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MORE NOTES ON FLOOR FINISHES

GENERAL NOTES FOR SUITE PLANS

BATHROOMS:

*PROVIDE WOOD BLOCKING BEHIND TOILETS & BATHTUBS TO PROVIDE FOR FUTURE GRAB BARDS *BATHROOM VANITY w/ RECESSED SINK & BASE CABINETS ARE TYPICAL. COORDINATE WIDTH. *COORDINATE MIRROR CABINET RECEIVED IN WALL. COORDINATE SIZE (SPEC. TBD)

*COORDINATE TOWEL BAR(S), TOILET PAPER DISPENSER LOCATIONS.

*DIMENSIONS OF TUB/SHOWER SUIT TO FIT MANUFACTURER.

*PROVIDE WOOD BLOCKING SUPPORT FOR OPTIONAL FUTURE GRAB BARS TOWEL BAR & DISPENSI

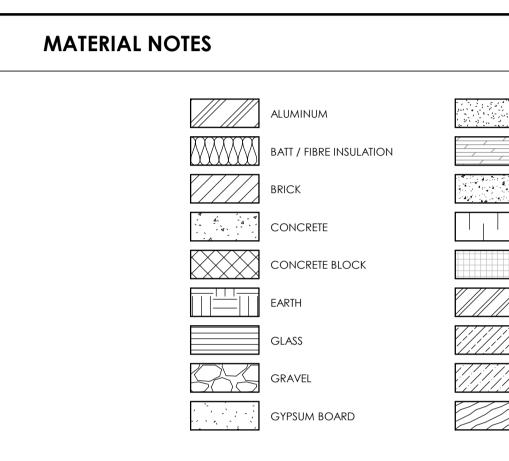
*ALL WALLS & CEILINGS TO HAVE MOLD RESISTANT GYPSUM BOARD

*SUITE WASHROOM WALL STUD FRAMING TO BE FILLED TO ABOVE CEILING W/ SOUND BATT (TYPIC KITCHEN:

KITCHENS SHOWN FOR GENERAL LAYOUT. CABINETRY & COUNTER-TOP STYLE, FINISHES, HARDWAR APPROVAL.

*PROVIDE REQ'D BACKING AS PER MANUF. SPEC LAUNDRY/ WASHER/DRYER CLOSET

*COORDINATE DIMENSIONS & CLEARANCES REQUIRED FOR WASHER/ DRYER UNIT, PLUMBING CO *FLOOR DRAIN TO BE INSTALLED IN LAUNDRY ROOM (TYPICAL) REFER TO MECH/ ELECT. DWGS. *COORDINATE 'FLOOD SAVER' OR APPROVED EQUAL (REFER TO MECHANICAL)



SYMBOL LEGEND

FIRE STRATEGY LEGEND		
	00 min (0HR)	
	60 min (1.0HR)	
	90 min (1.5HR)	
	120 min (2.0HR)	
	180 min (3.0HR)	
•>	TRAVEL DISTANCE	
$\bullet \rightarrow$	SEPARATION DISTANCE BETWEEN E	
•>	DEAD END TRAVEL DISTANCE	
•	FIRE HOSE LENGTH	

GENERAL NOTES FOR DEMOLITION PLANS

- 1. ALL DEMOLITION TO MAKE GOOD ALL CONNECTIONS.
- 2. DASHED LINES ON DEMOLITION PLAN REPRESENT WALLS, DOORS, WINDOWS, MILLWORK, PL REPAIR EXISTING ADJOINING AREAS TO REMAIN. MAKE GOOD ALL CONNECTIONS.
- 3. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY
- 4. CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION PLAN WITH HVAC, ELECTI
- AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL OR PL 5. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE DRAWING
- DEVIATION FROM THE DRAWINGS. 6. MAINTAIN ACCESS TO EXITS AT ALL TIMES ALL DEMOLITION SHALL BE PERFORMED IN A SAFE
- JURISDICTION AND THE OWNER.
- 7. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTA ELEMENTS OF THE BUILDING.
- 8. CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY
- 9. DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF SITE. COMPLY WITH /
- 10. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBEST CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ANY HAZARDOUS MATER
- 11. OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING WITH OTHER WORK.
- 12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DUR
- 13. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FIN

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& ACCESSORIES. SEE TYPICAL SUITE ELEVATIONS & DETAILS.	owner propriétaire	
		ENGINEERING LTD
SERS.	structural engineers 	ingénieur structure
CAL)		
	Smit	n + Andersen
ARE, ETC. TBD. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S	530 - 1600 Carling Av † 613 230 1186	enue Ottawa Ontario K1Z 1G3 smithandandersen.com
	MEP engineers ingé	nieur MEP
ONNECTIONS, & DOOR FRAME CLEARANCE (TYPICAL)		
	1223 MICHAEL STREET, S	UITE 100, OTTAWA, ONTARIO K1J 7T2
		4160 Fax: 613-739-7105
	civil engineers ingér 	
	Forest	and Field
	_	et Toronto Ontario M6H 1A3
	t 647 933 11	51 forestandfield.ca
PLASTER	ianascape architects	architectes paysagistes
PLYWOOD		
PRECAST (CONCRETE)		
SEMI-RIGID INSULATION		
STEEL		
STONE		
WOOD		
	ISSUED FOR SITE PL	AN CONTROL OCT 22, 2020 date
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		DEEVES
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	architect architecte	
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	general notes note	
	1. CONTRACTOR SHALL CH REPORT ALL ERRORS AND	- ECK AND VERIFY ALL DIMENSIONS AND 9 OMISSIONS TO THE ARCHITECT.
		NINGS. NUNTIL SIGNED BY THE ARCHITECT.
	project title	
		ALBERT
PLUMBING FIXTURES, ETC. TO BE REMOVED. PATCH &		XED-USE RENOVATION
-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO		TTAWA ONTARIO CANADA
Y THE DRAWINGS. TRICAL AND PLUMBING REQUIREMENTS. REBUILD ANY	drawing title titre du	aessin
LUMBING REQUIREMENTS.	GENE	RAL NOTES
GS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY		
E AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING		
TAIN THE STRUCTURAL INTEGRITY OF THE REMAINING	project number nun	-
Y ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.	drawn dessiné checked verifié	CK / LI / MP / JH JM / AR
ALL LOCAL HAULING & DISPOSAL REQUIREMENTS. TOS OR OTHER HAZARDOUS MATERIALS ON SITE. THE	date date	03/23/20
RIALS ARE DISCOVERED DURING CONSTRUCTION. NOTIFY	scale échelle	As indicated
RING DEMOLITION.		
NISHES.		
	drawing number nu	méro du dessin

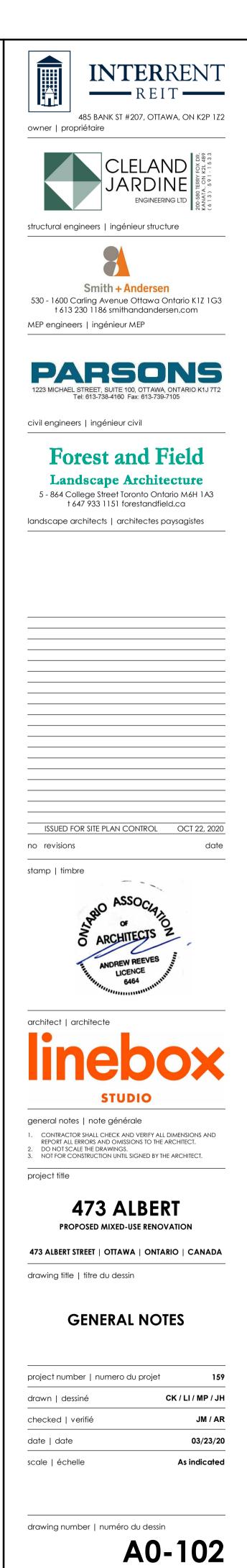
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A0-10

ACT	ACOUSTIC CEILING TILE	MAX	MAXIMUM
AL	ALUMINUM	MECH	MECHANICAL
AFL	ACCESS FLOOR	MEMB	MEMBRANE
AVB	AIR / VAPOUR BARRIER	MIN	MINIMUM
		MIRR	MIRROR
CIP CLG	CAST IN PLACE CEILING	MTL	METAL
CLG	CLEAR	NIC	NOT IN CONTRACT
	CONTINUOUS	NTS	NOT TO SCALE
) COORDINATE		
	CORRIDOR	OC	ON CENTER
CP	CARPET	OPG	OPENING
CPT CRK	CARPET TILE CORK	PCC	PRECAST CONCRETE
CKK	CERAMIC TILE	PE	PASSENGER ELEVATOR
CI		PERF	PERFORATED
DEMO	DEMOLITION	PLAM	PLASTIC LAMINATE
DET	DETAIL	PLAS	PLASTIC
DIFF	DIFFUSER		PLYWOOD
DIM	DIMENSION	POL	
DR DWG	DOOR DRAWING		PREFABRICATED PREFINISHE
DVVG		PREFIN	PREFINISHE PAINT
EA	EACH		
ELEC	ELECTRIC	RA	RETURN AIR
EL	ELEVATION	RB	RUBBER BASE
ELEV	ELEVATOR	RBF	RUBBER FLOORING
EOS	EDGE OF SLAB	RC	REINFORCED CONCRETE
EQ	EQUAL	RCP	REFLECTED CEILING PLAN
EXIST EXT	EXISTING EXTERIOR	REINF REQD	REINFORCE REQUIRED
LAI	EXTERIOR	RF	RESINOUS FLOORING
FD	FLOOR DRAIN	RM	ROOM
FE	FIRE EXTINGUISHER	RO	ROUGH OPENING
FEC	FIRE EXTINGUISHER CABINET	RSO	ROUGH STEEL OPEINING
FF	FINISH FACE	RVL	REVEAL
FFL	FINISH FLOOR LEVEL		
FHC	FIRE HOSE CABINET	SA	SUPPLY AIR
FIN	FINISH	SE	
	FIXTURE	SF	SQUARE FOOT (FEET)
FLR ELD EIN	FLOOR FLOOR FINISH	SIM SPKR	SIMILAR SPEAKER
FOF	FACE OF FINISH	SPKLR	SPRINKLER
FOG	FACE OF GLASS	SQ	SQUARE
FOS	FACE OF STUD	SSL	STRUCTURAL SLAB LEVEL
FOW	FACE OF WALL	SST	STAINLESS STEEL
FP	FIRE PROOFING	ST	STONE
FRR	FIRE RESISTANCE RATER	STC	SOUND TRANSMISSION CLASS
FR	FRAME	STL	STEL
FT FURN	FEET FURNITURE	SUSP	STRUCTURAL SUSPENDED
TORIA	I OKINITORE	5051	
GALV	GALVANIZED	TA	TOILET ACCESSORY
GALV GE	GALVANIZED GENERAL EXHAUST	TER	TERRAZZO
GL	GLASS	TG	TEMPERED GLASS
GLZ	GLAZING	T&G	TONGUE AND GROOVE
GRL	GRILLE	THRES	THRESHOLD
GYP	GYPSUM BOARD		TILE TEMPERED
		TMPD TOL	TOP OF LANDING
	HARDWOOD	TOL	TOP OF LANDING
HM	HOLLOW METAL	TOW	TOP OF WALL
HMD	HOLLOW METAL EDAME	TP	TRANSITION POINT
hmf Horiz	HOLLOW METAL FRAME HORIZONTAL	TYP	TYPICAL
HORIZ	HEIGH POINT		
HT	HEIGHT	U/S	
		UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATION	VB	VINYL BASE
INTER	INTERMEDIATE	VCT VCT	VINYL BASE VINYL COMPOSITE TILE
		VERT	VERTICAL
JAN		VERT	VESTIBULE
JB		VIF	VERIFY IN FIELD
JT	MATERIAL JOINT	VR	VAPOR RETARDER
LIN	LINEAR	VYL	VINYL
LIIN	LOW POINT		
		WC	WALL COVERING
		WCST	WAINSCOT
			MOOD
		WD	
		WD WDF WP	WOOD HARDWOOD WOOD FLOORING WORKING POINT

SYMBOL LEGEND

DRAWING TITLE	DRAWING NUMBER
	View Name
	A101 View Scale SCALE
	SOURCE DRAWING
CALLOUT	A101 - DRAWING NUMBER
	SECTION / VIEW NUMBER
SECTION MARKER	
	SECTION REFERENCING SHEET
EXTERIOR ELEVATION	
MARKER	A101 ELEVATION REFERENCING SHEET
	1 Ref
INTERIOR ELEVATION	Ref. Ket
MARKER	1 A101 1 ELEVATION / VIEW NUMBER INTERIOR ELEVATION REFERENCING SHEET
	l Ref
GRID BUBBLE	
ELEVATION DATUM	Name 146.070m
	CLUTE
ROOM NAME	SUITE 101
MATERIAL TAG	(?)
DOOR TAG	
FLOOR TAG	?
FLOOR TRANSITION	ТХ
ROOF TAG	X
GYPSUM WALL TAG	
	XXX A
WINDOW TAG	$\langle 1t \rangle$
SPOT ELEVATION	
MARKER	
ROOF/FLOOR SLOPE	
SHEET NOTE	(X.#)



-ALL CANOPY STRUCTURES ARE TO HOWEVER, O.B.C. 3.1.5.2. & 3.1.5
-ALL GROUP - 'C' RESIDENTIAL US SEPARATED FROM EACH OTHER, HOUR 'FIRE SEPARATIONS' (MIN.)
-ALL CORRIDORS HAVE BEEN DES I. MINIMUM REQUIRED WIDTH II. SMOKE DETECTORS

GENERAL NOTES

MECH. ROOF (115.259 m)

LEVEL 13 (MECH) / 112.186 m

PENTHOUSE ROOF (111.272 m)

LEVEL 12 (FFL) / 107.798 m

LEVEL 12 (SSL) (107.348 m)

LEVEL 11 (104.084 m)

LEVEL 10 (101.125 m)

LEVEL 09 / 98.166 m \

LEVEL 08 / 95.207 m

LEVEL 07 / 92.248 m

LEVEL 06 / 89.289 m

LEVEL 05 (86.330 m)

LEVEL 04 (83.371 m)

LEVEL 03 / 80.412 m

LEVEL 02 / 77.453 m

LEVEL 01 (74.110 m

AVERAGE GRADE (73.630 m

ELEVATOR TO BE DESIGNED TO SATISFY 'BARRIER-FREE' REQUIREMENTS OF O.B.C. - 3.8.3.5.

8.8m2 OF WINDOWS PERMITTED IN WALL IN EACH COMPARTMENT ON WEST WALL

BUILDING CODE ELEVATION (WEST)

A0-200 1:200 A2-101

to sprink. Shop drawings.

FIRE COMPARTMENT	LIMITING DISTANCE (m)	AREA (sq. m)	UNPROTECTED OPENINGS PERMITTED	UNPROTECTED OPENINGS ACTUAL
А	8.59m (8)	88	100%	0%
В	1.24m (1.2)	63	14%	4%
С	1.24m (1.2)	63	14%	4%
D	1.24m (1.2)	63	14%	4%
E	1.24m (1.2)	63	14%	4%
F	1.24m (1.2)	63	14%	4%
G	1.24m (1.2)	63	14%	4%
Н	1.24m (1.2)	63	14%	4%
l	1.24m (1.2)	63	14%	4%
J	1.24m (1.2)	63	14%	4%
K	1.24m (1.2)	63	14%	4%
L				
М				
Ν				

KL

J

н 🗌

G

F

E 🗌

D 🗌

C

A

<mark>liga na ana ana ana</mark> ana liga dina ana ana ana ana ana

- THIS IS AN EXAMPLE OF

8.8m2 IN ONE COMPARTMENT

1 HOUR FRR REQUIRED ON WALLS WITH 0%-10% UNPROTECTED OPENINGS PERMITTED AS PER TABLE 3.2.3.7. 1 HOUR FRR REQUIRED ON WALLS WITH 11%-25% UNPROTECTED OPENINGS PERMITTED AS PER TABLE 3.2.3.7. 45 MIN. FRR REQUIRED ON WALLS WITH 51%-91% UNPROTECTED OPENINGS PERMITTED AS PER TABLE 3.2.3.7. (EXISTING CONCRETE BLOCK /BRICK WALLS AND COLUMNS ACHIEVE THIS REQUIRED RATING)

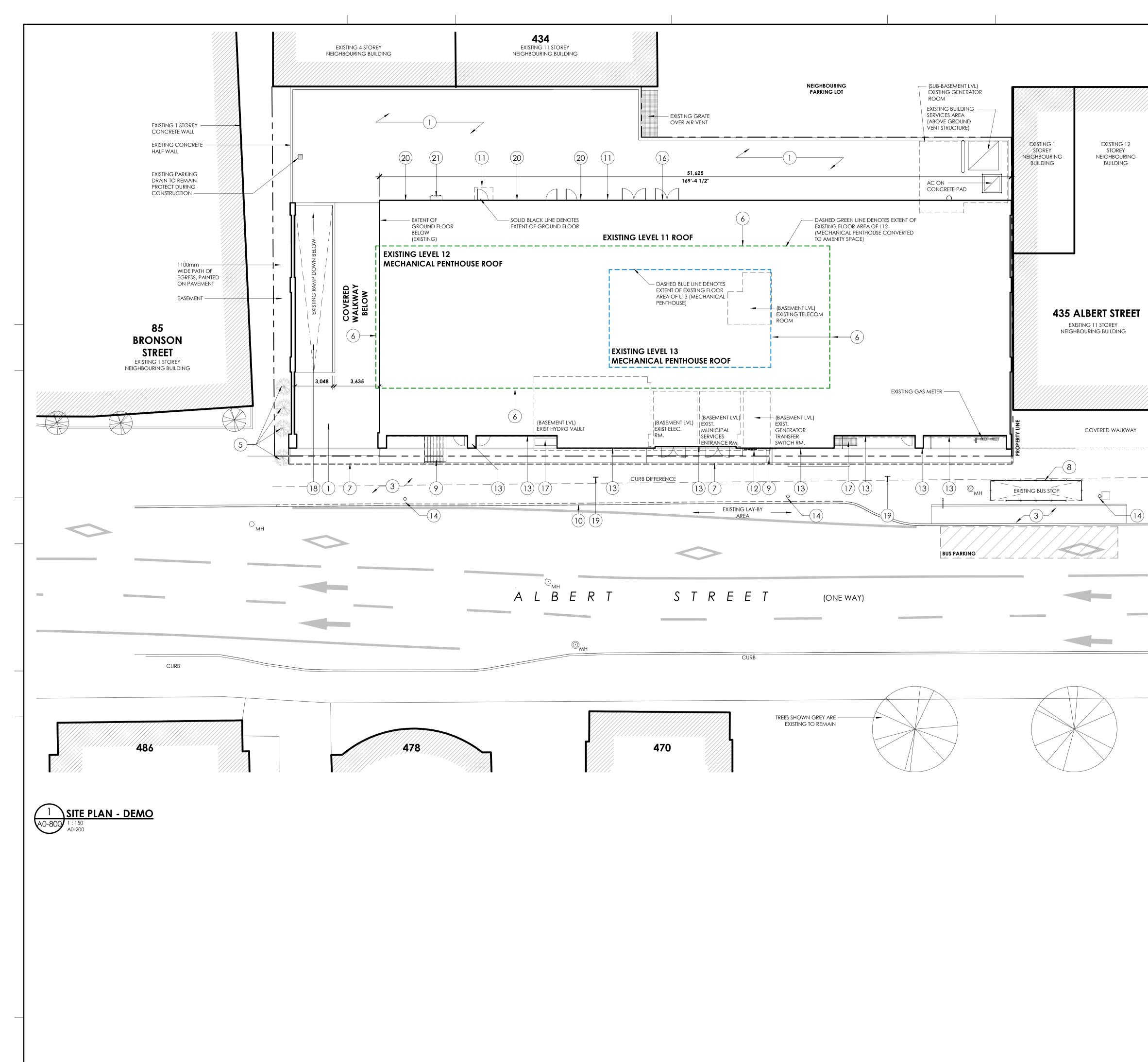
OPENINGS IN WALLS PERMITTED TO HAVE 0% UNPROTECTED OPENINGS TO BE EQUIPPED WITH DELUGE SPRINKLER SYSTEM - REFER

ADDITIONAL CONSTRUCTION REQUIREMENTS; (GENERAL FIRE SAFETY)	Sound Transmission; -Sound Transmission Class (S.T.C.) MIN. Ratings are to be provided for All 'dwelling Unit (Suites' as per O.B.C 3.3.4.6.(1) - Refer to Section #5 /
-ALL CANOPY STRUCTURES ARE TO BE OF 'NON-COMBUSTIBLE' CONSTRUCTION, HOWEVER, O.B.C. 3.1.5.2. & 3.1.5.3 PERMITS MINOR COMBUSTIBLE ELEMENTS.	ALL 'DWELLING UNIT /SUITES' AS PER O.B.C 3.3.4.6.(1) - REFER TO SECTION #5 / 5.9.1.2 -MINIMUM 55 STC FROM ELEVATOR AREAS TO FLOOR AREAS
-ALL GROUP - 'C' RESIDENTIAL USE DWELLING UNITS/SUITES ARE TO BE SEPARATED FROM EACH OTHER, AND THE REMAINDER OF THE BUILDING BY 1 HOUR 'FIRE SEPARATIONS' (MIN.) AS PER O.B.C 3.3.4.2.(2)	-MINIMUM 50 STC FROM ALL OTHER AREAS
-ALL CORRIDORS HAVE BEEN DESIGNED TO MEET REQUIREMENTS INCLUDING; I. MINIMUM REQUIRED WIDTH	-REFER TO GENERAL NOTES FOR WALLS WITH STC RATINGS FOR MORE INFORMATION
II. SMOKE DETECTORS III. EMERGENCY LIGHTING IV. MINIMUM LIGHTING LEVELS V. FLAME SPREAD RATINGS	WINDOW REQUIREMENTS; -PROTECTION IS TO BE PROVIDED AT 'WINDOWS' LOCATED WITHIN ALL DWELLING UNIT/SUITES AS PER O.B.C 3.7.2.1.
VI. VISUALLY AND PHYSICALLY OPEN VII. MAXIMUM TRAVEL DISTANCE VIII. NO FUEL-FIRED APPLIANCES IX. NO DEAD-END PORTION WITHOUT SECOND MEANS OF EGRESS	-PROPOSED INTERIOR 'WIRED GLASS ASSEMBLIES' ARE TO MEET THE REQUIREMENTS OF O.B.C 3.1.8.14. (APPLICABLE TO ONE-HOUR MAX. FIRE SEPARATIONS ONLY). (REFER ALSO TO S.G2.3.14)
-COMMON 'TENANT STORAGE AREAS' HAVE BEEN SEPARATED FROM REMAINING FLOOR AREAS BY ONE(1) HOUR FIRE SEPARATIONS (MIN.) AS PER O.B.C 3.3.4.3.(2)	-PROTECTION OF 'OPENINGS' WITHIN 'FIRE SEPARATIONS' WITH REQUIRED FIRE RATINGS EXCEEDING ONE-HOUR ARE TO BE PROTECTED BY CLOSURES (FIRE SHUTTERS) WITH FIRE RATINGS AS REQUIRED BY O.B.C 3.1.8.4.(2).
-'ELEVATOR HOISTWAYS' HAVE BEEN SEPARATED FROM REMAINING FLOOR AREAS BY 1.5 HOUR FIRE SEPARATIONS (MIN.) AS PER O.B.C TABLE 3.5.3.1.	BARRIER-FREE REQUIREMENTS; -'BUILDING ENTRANCES' (INCLUDING 'VESTIBULE' DOORS) ARE TO PROVIDE FOR
-'VERTICAL SERVICE SPACES' ARE TO BE SEPARATED FROM ALL OTHER PORTIONS OF EACH ADJACENT STOREY BY 1 HOUR FIRE SEPARATIONS AS PER O.B.C.TABLE	'BARRIER-FREE' ACCESS AS PER, O.B.C 3.8.1.2. AND 3.8.3.3.(5) & (6) (POWER OPERATORS).
3.6.3.1. -'MECHANICAL ROOMS' HAVE BEEN SEPARATED FROM REMAINING FLOOR	-'BARRIER-FREE PATH OF TRAVEL' MIN. WIDTHS HAVE BEEN PROVIDED AS PER O.B.C. 3.8.1.3, AT ALL LOCATIONS AS CONFIRMED BY O.B.C 3.8.2.1.(1) AND (2).
AREAS BY ONE(1) HOUR FIRE SEPARATION (MIN.), AS PER O.B.C 3.6.2.1 -'ELECTRICAL ROOM' HAS BEEN SEPARATED FROM REMAINING FLOOR AREAS BY ONE(1) HOUR FIRE SEPARATION (MIN.) AS PER O.B.C 3.6.2.1.(6)	(NOTE:) -A 'BARRIER FREE' PATH OF TRAVEL IS NOT REQUIRED WITHIN INDIVIDUAL DWELLING UNIT/SUITES OF RESIDENTIAL OCCUPANCY AS EXEMPTED BY O.B.C 3.8.2.1.(3) (J).
-'REFUSE STORAGE ROOM' C/W CHUTE DISCHARGE HAS BEEN SPRINKLERED AND SEPARATED FROM THE REMAINDER OF THE BUILDING BY TWO(2) HOUR FIRE SEPARATION (MIN.) AS PER O.B.C 3.6.3.3.(9). OTHER GARBAGE ROOMS HAVE BEEN SEPARATED BY ONE(1) HOUR FIRE SEPARATION (MIN.) AS PER O.B.C 3.6.2.5.	 - 15% OF RESIDENTIAL SUITES REQUIRED TO BE PROVIDED WITH A BARRIER FREE PATH OF TRAVEL INTO AT LEAST THE FOLLOWING SPACES - AT LEAST ONE BEDROOM - AT LEAST ONE BATHROOM - THE KITCHEN
-ALL DOORS, AND MECHANICAL DUCTS THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL CONFORM TO O.B.C. TABLE 3.1.8.4. FOR THE REQUIRED CORRESPONDING FIRE RATING AS INDICATED (INCLUDES FIRE DAMPERS AS PER	- A LIVING ROOM OR SPACE - UNITS REQUIRED TO BE BARRIER FREE HAVE BEEN DISTRIBUTED BETWEEN STOREYS AS PER 3.8.2.1 (8).
O.B.C 3.1.8.7) -REFER TO O.B.C 3.1.8.8 TO CONFIRM EXEMPTIONS FOR SPECIFIC FIRE DAMPERS (AT UNRATED FIRE SEPARATIONS IF APPLICABLE).	WASHROOM REQUIREMENTS; - EACH 'DWELLING UNIT /SUITE' HAS BEEN PROVIDED W/ PLUMBING FACILITIES AS PER O.B.C 3.7.4.5.
-MAXIMUM OPENING SIZES WITHIN ALL REQUIRED FIRE SEPARATIONS ARE NOT TO EXCEED THE DIMENSIONS AS PER O.B.C 3.1.8.6.(2)	SPATIAL SEPARATION AND EXPOSURE PROTECTION; (NOTES:) -ALL DWELLING UNIT/SUITES HAVE BEEN SEPARATED BY 1 HOUR FIRE COMPARTMENTS (MIN.) AS PER O.B.C 3.2.3.2.(2).
FIRE ALARM AND DETECTION SYSTEMS; -'FIRE ALARM SYSTEM' IS REQUIRED AS PER O.B.C 3.2.4.1.(2)(C)(I), ETC	-AS PER O.B.C TABLE 3.2.3.1.D., 'UNPROTECTED OPENINGS' ARE PERMITTED AS DESIGNED & OUTLINED IN MATRIX CALCULATIONS & NO 'SPECIAL
-HEAT DETECTORS WILL NOT BE REQUIRED WITH THE PROVISION OF ELECTRICALLY-SUPERVISED 'SPRINKLER SYSTEM' AS PER O.B.C 3.2.4.12 (3.2.4.9.)	CONSTRUCTION ' IS REQUIRED AS PER O.B.C. 3.2.3.7. DESIGN OF 'DWELLING UNITS'
-'FIRE DETECTORS' TO BE LOCATED IN ALL STORAGE ROOMS, SERVICE ROOMS, JANITOR'S ROOMS, ELEVATORS, AS PER O.B.C 3.2.4.11.(2)	- RESIDENTIAL FLOORS DESIGNED TO MEET THE REQUIREMENTS OF SECTION 3.3.4.
-'SMOKE DETECTORS' ARE TO BE INSTALLED WITHIN ALL 'SLEEPING ROOMS' AND 'CORRIDORS' WITHIN 'DWELLING UNIT/SUITES', CORRIDORS AND EXIT STAIRS AS PER O.B.C 3.2.4.12(1).	- DESIGN TO MEET THE REQUIREMENTS OF SECTION 9.5 AND THE WINDOW AREAS OF 3.7.2.1
-'MANUAL PULL STATIONS' ARE TO BE LOCATED AS PER O.B.C 3.2.4.18.	
-BUILDING DESIGNED IN CONFORMANCE OF HIGH BUILDING REQUIREMENTS AS PER O.B.C. 3.2.6.1.(D)	
-Building to Satisfy all 'requirements common to all measures for fire safety in high buildings' as per section 2 of obc - mmah supplementary standards sb-4	
-Building to satisfy 'measure a - fully sprinklered building' as per section 2 of obc - mmah supplementary standards sb-4	
-'CONTROL OF SMOKE MOVEMENT' TO BE ACHIEVED BY ADHERANCE TO O.B.C. 3.2.6.2.(1)-(5)	
-ELEVATORS TO BE DESIGNED AND OPERATIONAL TO SATISFY THE REQUIREMENTS OF O.B.C. 3.2.6.4. 'EMERGENCY OPERATION OF ELEVATORS'	
-PROVIDE ALL REQUIREMENTS FOR 'ELEVATOR FOR USE BY FIREFIGHTERS' AS PER O.B.C. 3.2.6.5.	
-'VENTING TO AID FIREFIGHTING' HAS BEEN DESIGNED AS PER O.B.C. 3.2.6.6. -'CENTRAL ALARM AND CONTROL FACILITY' TO BE CONSTRUCTED AS PER O.B.C. 3.2.6.7.	
-'TESTING OF SMOKE CONTROL AND MECHANICAL VENTING' SHALL BE CONDUCTED AFTER OCCUPANCY AS PER O.B.C. 3.2.6.9.	
EMERGENCY LIGHTING; -TO BE PROVIDED AND LOCATED AS PER O.B.C 3.2.7.3.	
STANDPIPE SYSTEM; -IS REQUIRED AS PER O.B.C 3.2.9.1.(1),(A)	
FLAME SPREAD RATINGS; -REQUIREMENTS FOR FLAME SPREAD RATINGS ARE TO BE SATISFIED WITH RESPECT TO LOCATIONS AS SPECIFIED BY O.B.C 3.1.13.2 (INCL. TABLE 3.1.13.2).	
REQUIREMENTS FOR EXITING; -OVERALL BUILDING 'REQUIRED EXIT CAPACITIES' HAVE BEEN PROVIDED AS PER O.B.C 3.4	
-AT LEAST 2 'EXIT STAIRS' HAVE BEEN PROVIDED AND LOCATED TO SATISFY THE REQUIREMENTS OF O.B.C 3.4.2.1.(1) (MIN. NUMBER OF EXITS), 3.4.4.4. (INTEGRITY OF EXITS), AND 3.4.2.5.(1)(C) (MAXIMUM 45M TRAVEL DISTANCE).	
-ENSURE REQUIRED EXITING 'DOOR SWING' DIRECTIONS AT ALL (HORIZONTAL EXITS) LOCATIONS, AND PROVIDE 'EXIT SIGNS' AS PER O.B.C 3.4.5.1	
-'MINIMUM WIDTHS' FOR ALL 'EXIT STAIRS' HAVE BEEN DESIGNED AS PER O.B.C 3.4.3.1., 3.4.3.2 & 3.4.3.4	
-'MINIMUM WIDTHS' FOR 'ACCESS TO EXIT' CORRIDORS WHICH SERVE GROUP 'C' FLOOR AREAS HAVE BEEN PROVIDED AS PER THE REQUIREMENTS OF O.B.C.	
-'MINIMUM DOOR WIDTHS' FOR ALL EXITS SERVING GROUP -'C' FLOOR AREAS HAVE BEEN PROVIDED AS PER O.B.C.	
(NOTE:) -REFER TO O.B.C 3.3.1.12.(1) TO CONFIRM MIN. REQUIRED DOOR WIDTHS AT OTHER LOCATIONS AS INDICATED.	
-'HANDRAIL' & 'GUARD' DETAILS ARE TO SATISFY THE REQUIREMENTS OF O.B.C 3.4.6.5, & 3.4.6.6.	
-IDENTIFICATION OF FLOOR LEVELS AND STAIR DESIGNATION IS TO BE PROVIDED FOR BOTH SIDES OF ALL DOORS INTO EXIT STAIRS AS PER O.B.C 3.4.6.19.(1) &	
(2). ELEVATOR REQUIREMENTS; -TO SATISFY THE REQUIREMENTS FOR 'ELEVATORS' AS PER O.B.C 3.5.2	

BU

	ATRIX						485 BANK ST #207, OTTAWA, ON K2P propriétaire
ne: STUDIO INC. re of Practice Numb St. Suite 503 - Ottaw 609				ONLAS	NO ASSOCIATIO		
o mixed use residen		r two mechanical penth rerted amenity penthol		/	ARCHITECTS 2 ANDREW REEVES LICENCE 6464	structura	I engineers ingénieur structure
N: t Street, Ottawa, Or	itario, Canada				And		8
ect Description	Ontario Bu	uilding Code Matrix Dat	a	Part 11	O.B.C. Reference	- 530 - 16	Smith + Andersen 00 Carling Avenue Ottawa Ontario K1Z 1
oosed Mixed Use Co	onstruction	AdditionAlteration	NewChange of Use	11.1 - 11.4	1.1.2. [A]	- t	613 230 1186 smithandandersen.com ineers ingénieur MEP
	GROUP 'C' RESIDENTIA GROUP 'A2' ASSEMBLY				3.1.2.1.(1)	1	
ding Area ss Floor Area	1,276.4 m ² Existing 11,338.81 m ² Existing	1,276.4 m ² 10,999.21 m ²			1.4.1.2 [A] 1.4.1.2 [A]		ARSONS
SUB-BASEMENT BASEMENT LEVEL 01 LEVEL 02 LEVEL 03 LEVEL 04 LEVEL 05 LEVEL 06 LEVEL 07	EXISTING n/a (parking/storage) n/a (parking/storage) 708.78 m ² 1,063.64 m ²	PROPOSED n/a (parking/stora				civil engi F L	HAEL STREET, SUITE 100, OTTAWA, ONTARIO K1J Tel: 613-738-4160 Fax: 613-739-7105 ineers ingénieur civil Corest and Field andscape Architecture 4 College Street Toronto Ontario M6H 1A: t 647 933 1151 forestandfield.ca
LEVEL 09 LEVEL 10 LEVEL 11	1,063.64 m ² 1,063.64 m ² 1,057.27 m ² n/a (mech.)	1,094.73 m ² 1,094.73 m ² 1,094.73 m ² 1,079.50 m ² n/a (resi. amenitie	s/mech.)			landscar 	pe architects architectes paysagistes
LEVEL 13	n/a (mech.)	n/a (mech.)					
nber of Storeys ght of Building (m) nber of Streets/ Acc		Below Grade:	. ∠		1.4.1.2. [A] & 3.2.1.1. 3.2.2.10 & 3.2.5.		
ding Classification		2			3.2.2.20 - 3.2.2.83	1 =	
nkler System		 Entire Building Basement Only 			3.2.2.20 - 3.2.2.83	╡ ┃ ┃ 📃	
		Basement Only In Lieu of Roof Ratio Not Required	ng		3.2.1.5. 3.2.2.17.	$ $ $ $ $=$	
ndpipe Required Alarm Required		Yes Yes	□ No □ No		3.2.5.16.	╡ ┃ ┃ <u></u>	
ter Service/ Supply i h Building	s Adequate	Yes Yes	□ No □ No		3.2.5.7. 3.2.6.	1	
mitted Construction ual Construction		Non-CombustibleNon-Combustible	Both Both		3.2.2.20 - 3.2.2.83]	
zzanine(s) Area N/	Α	sq.m/person	Design of Building	g	3.2.11. (3)-(8) 3.1.17.	┤ │ │ ̄ ̄	
LEVEL 06 LEVEL 07 LEVEL 08 LEVEL 09 LEVEL 10 LEVEL 11 LEVEL 12	40 persons (2 persons) 40 persons (2 persons) 120 persons (Amenity/ n/a (Mechanical Pent	per bed) per bed) per bed) per bed) per bed) per bed) /Roof Terrace)					ARCHITECTS Z
rier-Free Design		Yes	No		3.8.		ANDREW REEVES
	3.2.2.42 (C) ontal Assemblies	Yes 3.2.2.49 (D) Horizontal Assembli	No 3.2.2 ies Horizonto	2.23 (A2) al Assemblies	3.3.1.2. & 3.3.1.19	1	- Mannananana
	RR (Hours)	FRR (Hours) Floors		(Hours) 2 ZERO	-		
ailing FRR) Floors Roof	e 1 R of Supporting	Mezzanine FRR of Supportin Members Floors		1 f Supporting lembers 2	3.3.2.2083 3.2.1.4.		
FRR) Floors Roof Mezzanine	Members		ERO Roof	ZERO 1	-		notes note générale RACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AN
FICORS FRR) Floors Roof Mezzanine FRF Floors Roof Mezzanine	Members 2 ZERO e 1	Mezzanine	1 Mezzanine				
Floors FRR) Floors Roof Mezzanine Floors Roof Mezzanine tital Separation - Co all Area of	Members 2 ZERO	Mezzanine 'alls iitted Proposed .% of % of (I	FRR Listed	Construction Cor Not	3.2.3. Comb. Non-Comb. nstruction Construction n-Comb. ladding	REPOR 2. DO NO	T ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DT SCALE THE DRAWINGS. DR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
Ailing FRR) Floors Roof Mezzanine Floors Roof Mezzanine thal Separation - Con all Area of EBF (sq. m) th N/A 8	Members 2 ZERO e 1 nstruction of Exterior W L.D. L/H or H/L H/L Perm Max. oper 3.78m N/A	Mezzanine 'alls hitted Proposed % of % of (I nings openings 0% N/A	FRR Listed Hours) Design C or Description	Construction Cor Noi Cl N/A	Comb. nstruction n-Comb. laddingNon-Comb. ConstructionN/AN/A	REPOR 2. DO NO 3. NOT FC	DT SCALE THE DRAWINGS. DR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
th N/A &	Members 2 1 ZERO I I e 1 I nstruction of Exterior W L/H or Perm (m) H/L Max. 3.78m N/A 100 0m N/A 09 >9m N/A 100	Mezzanine /alls itited Proposed % of % of (I nings openings 0% N/A % 0%	FRR Hours)Listed Design or DescriptionN/AN/AEXIST.EXIST.N/AN/A	Construction Cor N/A EXIST. N/A	Comb. nstruction n-Comb. ladding	 2. DO NC 3. NOT FC project ti	DT SCALE THE DRAWINGS. DR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
FRR) Floors Roof Mezzanine FRF	Members	10013					ACTOR SHALL CHECK AND VERIFY ALL DIM

D07-12-19-0203



GENERAL NOTES:

UNLESS OTHERWISE NOTED:

- A. SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE AND CIVIL PACKAGE DRAWINGS.
- B. ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.
- C. PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURING.
- D. PROTECTION ZONE FOR TREES NOT BEING REMOVED SHALL BE RESPECTED (REFER TO LANDSCAPE PLAN).

SPECIFIC NOTES:

- 1. EXISTING ASPHALT PAVING TO
- REMAIN 2. NOT USED.
- 3. EXISTING CONCRETE SIDEWALK TO BE DEMOLISHED.
- 4. NOT USED.
- 5. EXISTING TREE TO BE REMOVED.
- 6. EXISTING MECHANICAL PENTHOUSE WALLS TO BE DEMOLISHED, CONCRETE STRUCTURE TO REMAIN.
- 7. EXISTING METAL CANOPY TO BE
- DEMOLISHED. 8. BUS SHELTER TO BE MAINTAINED.
- 9. EXISTING CONCRETE STAIR AND WALL TO BE DEMOLISHED.
- 10. EXISTING CONCRETE CURB TO BE DEMOLISHED.
- 11. EXISTING CONCRETE STOOP TO BE DEMOLISHED.
- 12. EXISTING SIAMESE CONNECTION.
- 13. EXISTING GROUND FLOOR ALBERT STREET FACADE AND COLUMN CLADDING TO BE DEMOLISHED.
- 14. UTILITY POST.
- 15. NOT USED.
- 16. EXISTING GROUND FLOOR NORTH FACADE AND COLUMN CLADDING TO BE DEMOLISHED.
- 17. EXISTING VENT TO BE RELOCATED.
- 18. EXISTING PARKING RAMP TO BE MAINTAINED.
- 19. EXISTING BICYCLE POST
- 20. EXISTING MECHANICAL VENT
- 21. EXISTING AIR CONDITIONER UNIT

INTERRENT — R E I T ——

485 BANK ST #207, OTTAWA, ON K2P 1Z2 owner | propriétaire



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civil engineers | ingénieur civil

Forest and Field

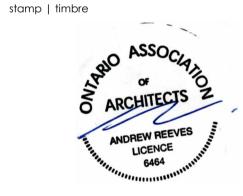
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landscape architects | architectes paysagistes



nord actuel true north

ISSUED FOR SITE PLAN CONTROL OCT 22, 2020 no revisions date



architect | architecte



general notes | note générale

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 DO NOT SCALE THE DRAWINGS.
 NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

project title 473 ALBERT

PROPOSED MIXED-USE RENOVATION

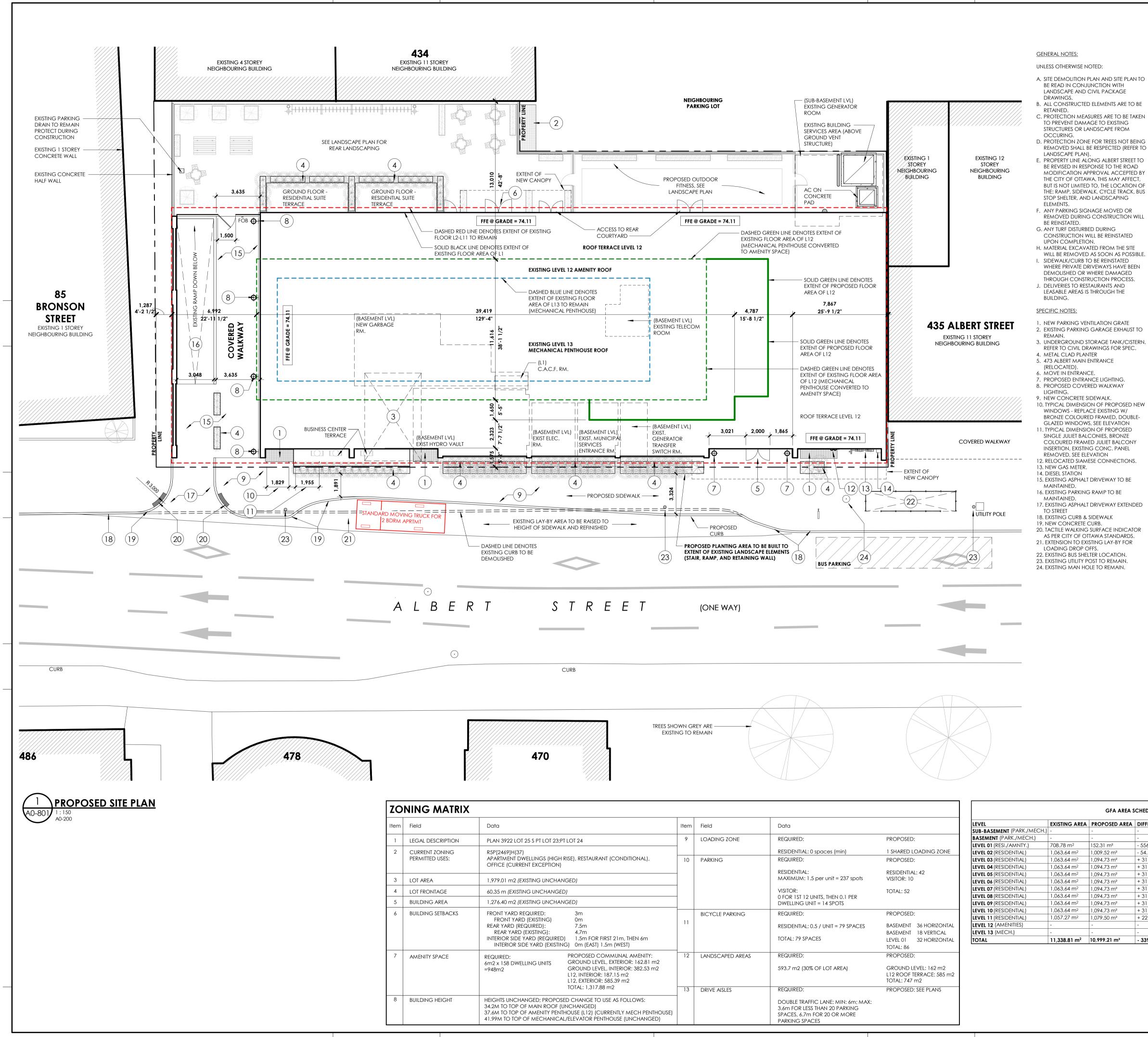
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

SITE PLAN - DEMOLITION

project number numero du projet	159
drawn dessiné	CK / LI / MP / JH
checked verifié	JM / AR
date date	03/23/20
scale échelle	1 : 150
0 m 3 m	6 m

drawing number | numéro du dessin A0-800



	Item	Field	Data	
S PT LOT 23;PT LOT 24	9	LOADING ZONE	REQUIRED:	PROPOSED:
			RESIDENTIAL: 0 spaces (min)	1 Shared loading zone
LINGS (HIGH RISE), RESTAURANT (CONDITIONAL), EXCEPTION)	10	PARKING	REQUIRED:	PROPOSED:
ING UNCHANGED)			RESIDENTIAL: MAXIMUM: 1.5 per unit = 237 spots	RESIDENTIAL: 42 VISITOR: 10
UNCHANGED)			VISITOR:	TOTAL: 52
ING UNCHANGED)			0 FOR 1ST 12 UNITS, THEN 0.1 PER DWELLING UNIT = 14 SPOTS	
JIRED: 3m XISTING) 0m		BICYCLE PARKING	REQUIRED:	PROPOSED:
IRED): 7.5m ISTING): 4.7m	11		RESIDENTIAL: 0.5 / UNIT = 79 SPACES	BASEMENT 36 HORIZONTAL
(REQUIRED) 1.5m FOR FIRST 21m, THEN 6m (ARD (EXISTING) 0m (EAST) 1.5m (WEST)			TOTAL: 79 SPACES	BASEMENT 18 VERTICAL LEVEL 01 32 HORIZONTAL
PROPOSED COMMUNAL AMENITY:	12	Landscaped areas	REQUIRED:	TOTAL: 86 PROPOSED:
IG UNITS GROUND LEVEL, EXTERIOR: 162.81 m2 GROUND LEVEL, INTERIOR: 382.53 m2 L12, INTERIOR: 187.15 m2 L12, EXTERIOR: 585.39 m2			593.7 m2 (30% OF LOT AREA)	GROUND LEVEL: 162 m2 L12 ROOF TERRACE: 585 m2 TOTAL: 747 m2
TOTAL: 1,317.88 m2	13	DRIVE AISLES	REQUIRED:	PROPOSED: SEE PLANS
GED; PROPOSED CHANGE TO USE AS FOLLOWS: MAIN ROOF (UNCHANGED) MENITY PENTHOUSE (L12) (CURRENTLY MECH PENTHOUSE) MECHANICAL/ELEVATOR PENTHOUSE (UNCHANGED)			DOUBLE TRAFFIC LANE: MIN: 6m; MAX: 3.6m FOR LESS THAN 20 PARKING SPACES, 6.7m FOR 20 OR MORE PARKING SPACES	

GFA AREA SCHEDULE								
LEVEL	EXISTING AREA	PROPOSED AREA	DIFFERENCE					
SUB-BASEMENT (PARK./MECH.)	-	-	-					
BASEMENT (PARK./MECH.)	-	-	-					
LEVEL 01 (RESI./AMNTY.)	708.78 m ²	152.31 m ²	- 556.47 m ²	(NEW EXT. WALL LOCATION, REPROGRAM)				
LEVEL 02 (RESIDENTIAL)	1,063.64 m ²	1,009.52 m ²	- 54.12 m ²	(NEW FLOOR OPENING @ LOBBY, CORE MODIF.				
LEVEL 03 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 04 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 05 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 06 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 07 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 08 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 09 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 10 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ²	(CORE MODIF.)				
LEVEL 11 (RESIDENTIAL)	1,057.27 m ²	1,079.50 m ²	+ 22.23 m ²	(CORE MODIF.)				
LEVEL 12 (AMENITIES)	-	-	-					
LEVEL 13 (MECH.)	-	-	-					
TOTAL	11,338.81 m ²	10,999.21 m ²	- 339.60 m ²					

SITE PLAN TO WITH KAGE	

RESIDENTIAL G.L.A. BREAKDOWN AREA (m²) AREA (ff²) 141.11 m² 1,519 ft² 842.65 m² 9.070 ft² 931.05 m² 10,022 ft² EVEL 03 931.05 m² 10,022 ft² EVEL 04 EVEL 0 931.05 m² 10,022 ft² 931.05 m² 10,022 ft² VFI 0 931.05 m² 10,022 ft² VFI 07 10,022 ft² 931.05 m² EVEL 08 EVEL 09 931.05 m² 10,022 ft² EVEL 10 931.05 m² 10,022 ft² 915.07 m² 9,850 ft2 9.347.24 m² 100.613 ft²

RI	ESIDENTIAL LEAS	ABLE AREA	
DESCRIPTION	BDRM. COUNT	AREA (m²)	AREA (f
LEVEL 01			
TOWN #1	2 BEDROOM	84.94 m ²	914 ft²
TOWN #2	1.5 BEDROOM	56.17 m ²	605 ft ²
1011112	110 02010 0111	141.11 m ²	1,519 ft
LEVEL 02	1.0500004	44 (0 2	400 512
SUITE 202	1 BEDROOM	44.63 m ²	480 ft ²
SUITE 203	1 BEDROOM	60.86 m ²	655 ft ²
SUITE 204	1 BEDROOM	57.91 m ²	623 ft ²
SUITE 205	2 BEDROOM	98.73 m ²	1,063 ft
SUITE 206	2 BEDROOM	88.33 m ²	951 ft ²
SUITE 207	1 BEDROOM	57.59 m ²	620 ft ²
SUITE 208	1 BEDROOM	40.99 m²	441 ft ²
SUITE 209	STUDIO	30.45 m ²	328 ft2
SUITE 210	STUDIO	30.45 m ²	328 ft ²
SUITE 211	1.5 BEDROOM	43.94 m ²	473 ft²
SUITE 212	1.5 BEDROOM	62.27 m ²	670 ft²
SUITE 213	2 BEDROOM	82.50 m ²	888 ft²
SUITE 214	2 BEDROOM	83.04 m²	894 ft²
SUITE 215	1.5 BEDROOM	60.95 m ²	656 ft²
		842.65 m ²	9,070 ft
LEVEL 03-10 (T		10 70 0	
SUITE x01	1 BEDROOM	43.73 m ²	471 ft ²
SUITE x02	1 BEDROOM	45.42 m ²	489 ft ²
SUITE x03	1 BEDROOM	61.55 m²	662 ft²
SUITE x04	1 BEDROOM	58.59 m²	631 ft²
SUITE x05	2 BEDROOM	99.40 m²	1,070 ft
SUITE x06	2 BEDROOM	88.33 m²	951 ft²
SUITE x07	1 BEDROOM	57.59 m²	620 ft²
SUITE x08	1 BEDROOM	40.99 m²	441 ft²
SUITE x09	STUDIO	30.45 m²	328 ft ²
SUITE x10	STUDIO	30.45 m²	328 ft ²
SUITE x11	1.5 BEDROOM		473 ft ²
SUITE x12	1.5 BEDROOM	62.27 m²	670 ft²
SUITE x13	2 BEDROOM	82.50 m²	888 ft²
SUITE x14	2 BEDROOM	83.71 m²	901 ft²
SUITE x15	1.5 BEDROOM	58.25 m²	627 ft²
SUITE x16	1 BEDROOM	43.89 m ²	472 ft ²
		931.05 m ²	10,022 1
LEVEL 11 SUITE 1101	2 BEDROOM	76.83 m²	827 ft ²
SUITE 1102	1 BEDROOM	45.42 m ²	489 ft ²
SUITE 1103	1 BEDROOM	61.55 m ²	662 ft ²
SUITE 1104	1 BEDROOM	58.59 m ²	631 ft ²
SUITE 1105	2 BEDROOM	99.40 m ²	1,070 ft
SUITE 1106	2 BEDROOM	88.33 m ²	951 ft ²
SUITE 1107	1 BEDROOM	57.59 m ²	620 ft ²
SUITE 1107		40.98 m ²	441 ft ²
	1 BEDROOM		
SUITE 1110	2 BEDROOM	61.77 m^2	665 ft ²
SUITE 1110	1.5 BEDROOM	43.94 m ²	473 ft ²
SUITE 1111	1.5 BEDROOM	62.60 m ²	674 ft ²
SUITE 1112	2 BEDROOM	81.57 m ²	878 ft ²
SUITE 1113	2 BEDROOM	83.10 m ²	895 ft ²
SUITE 1114	1 BEDROOM	53.39 m²	575 ft ²
		915.07 m ²	9,850 ft
TOTAL		9,347.24 m ²	100,613

RESIDENTIAL SUITE COUNTS						
SUITE TYPE	COUNT					
1 BEDROOM	67					
1.5 BEDROOM	30					
2 BEDROOM	43					
STUDIO	18					
TOTAL	158					



485 BANK ST #207, OTTAWA, ON K2P 1Z2 owner | propriétaire



structural engineers | ingénieur structure



Smith + Andersen 530 - 1600 Carling Avenue Ottawa Ontario K1Z 1G3 t 613 230 1186 smithandandersen.com MEP engineers | ingénieur MEP



civil engineers | ingénieur civil

Forest and Field Landscape Architecture

5 - 864 College Street Toronto Ontario M6H 1A3 t 647 933 1151 forestandfield.ca

landscape architects | architectes paysagistes



nord actuel true north

ISSUED FOR SITE PLAN CONTROL OCT 22, 2020 no revisions date

stamp | timbre



architect | architecte



general notes | note générale

1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS.
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project title

473 ALBERT PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

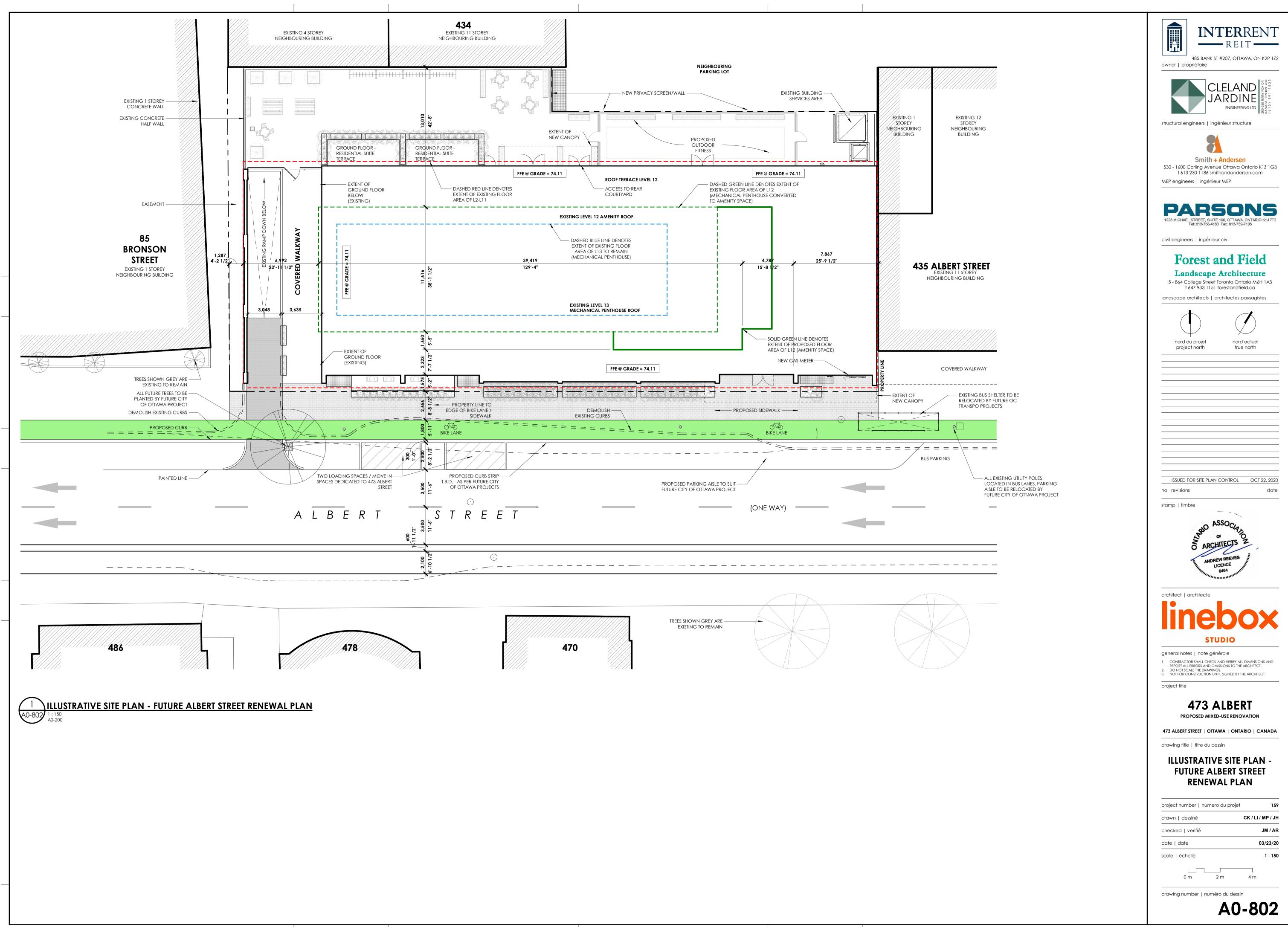
drawing title | titre du dessin

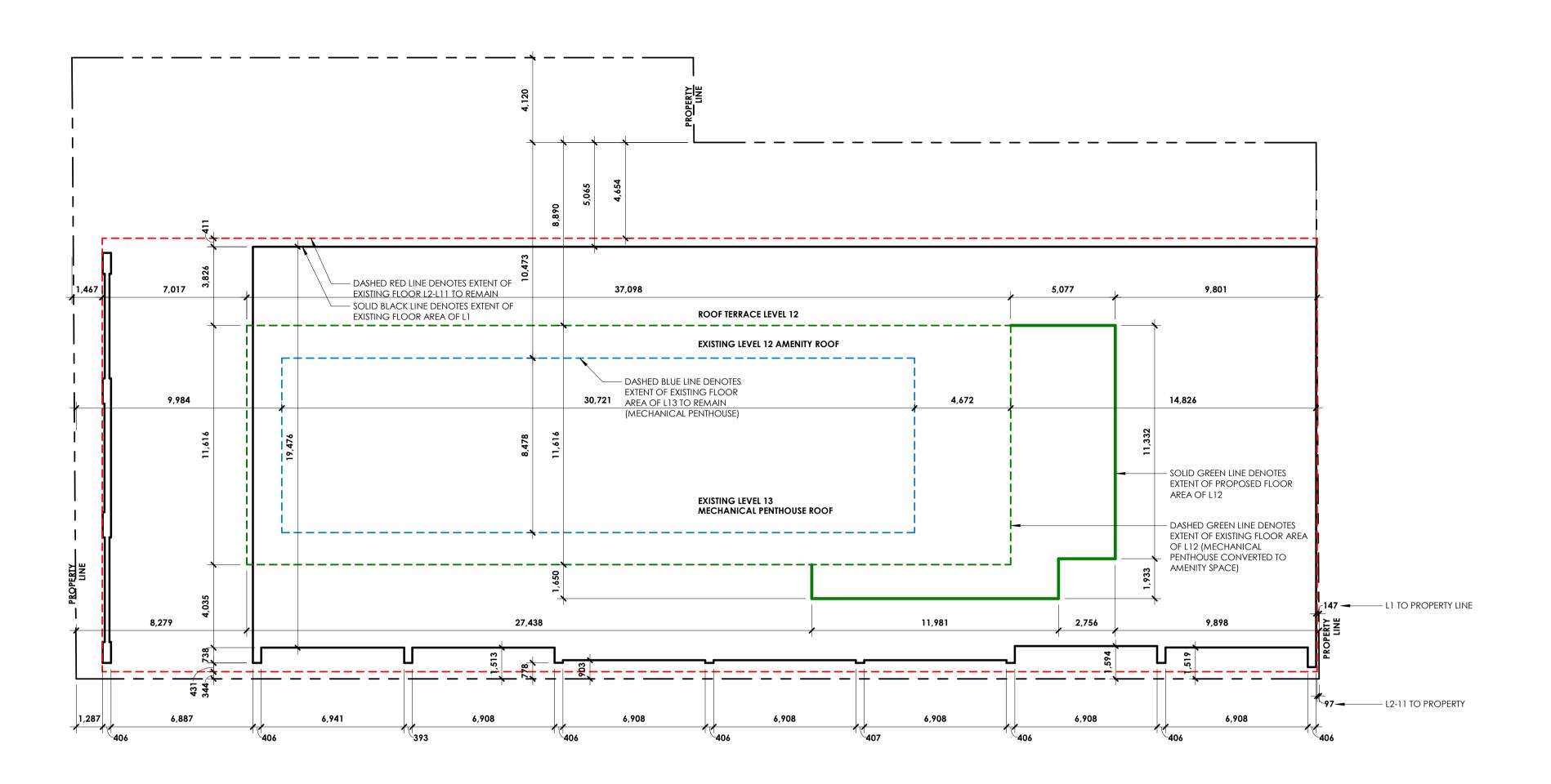
SITE PLAN - PROPOSED

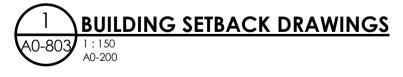
project number numero du projet	159
drawn dessiné	CK / LI / MP / JH
checked verifié	JM / AR
date date	03/23/20
scale échelle	As indicated
0 m 3 m	6 m

drawing number | numéro du dessin

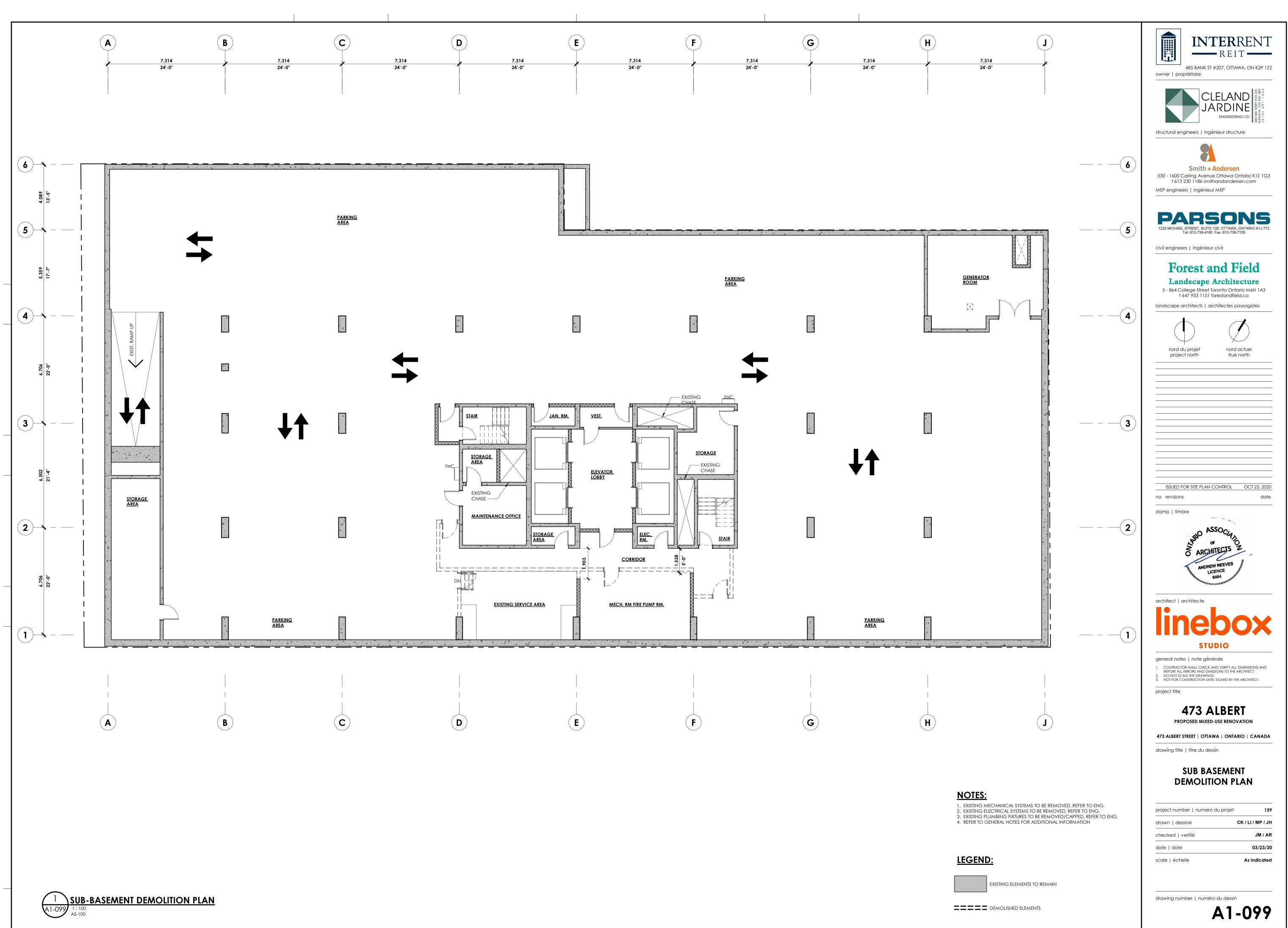
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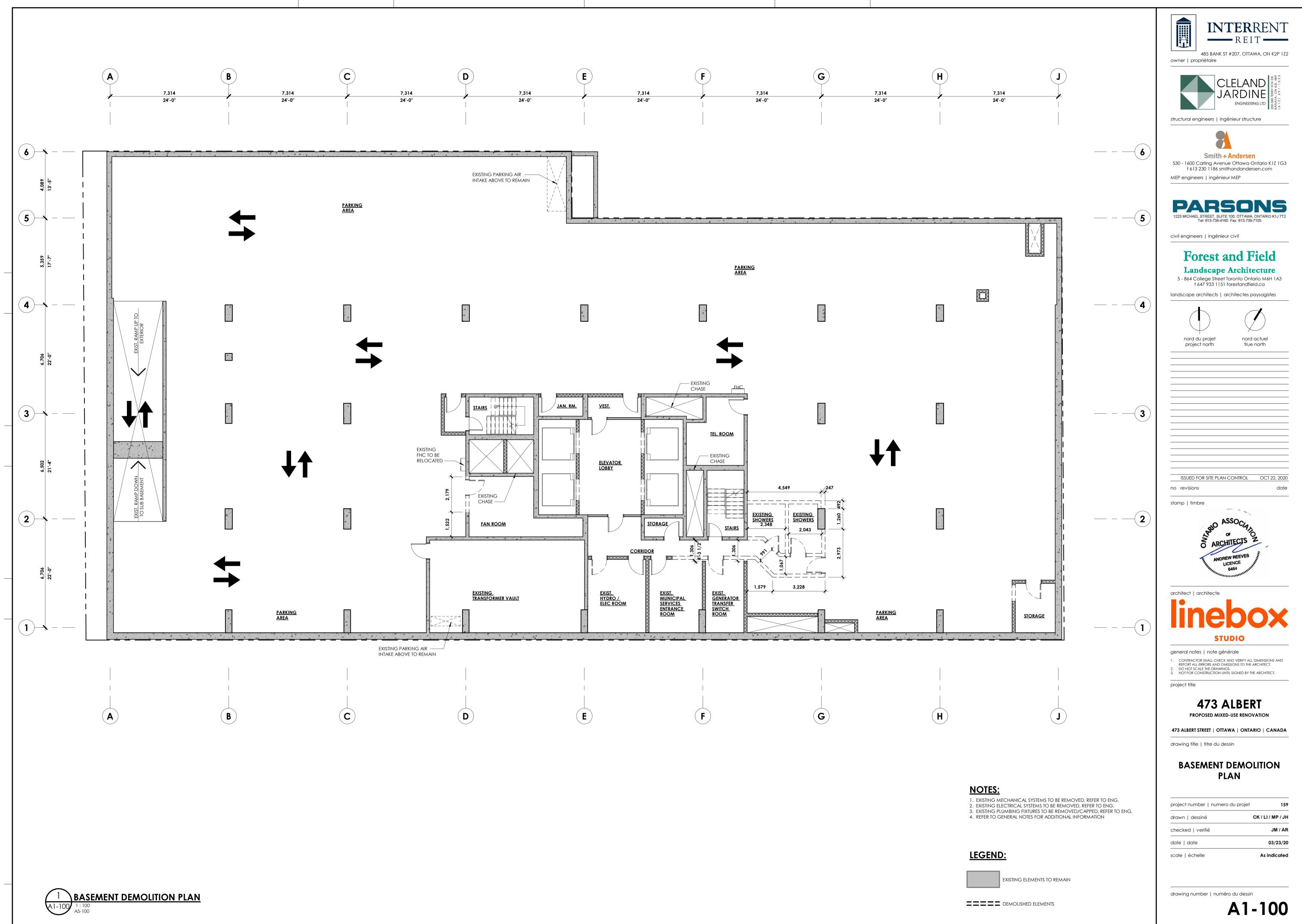


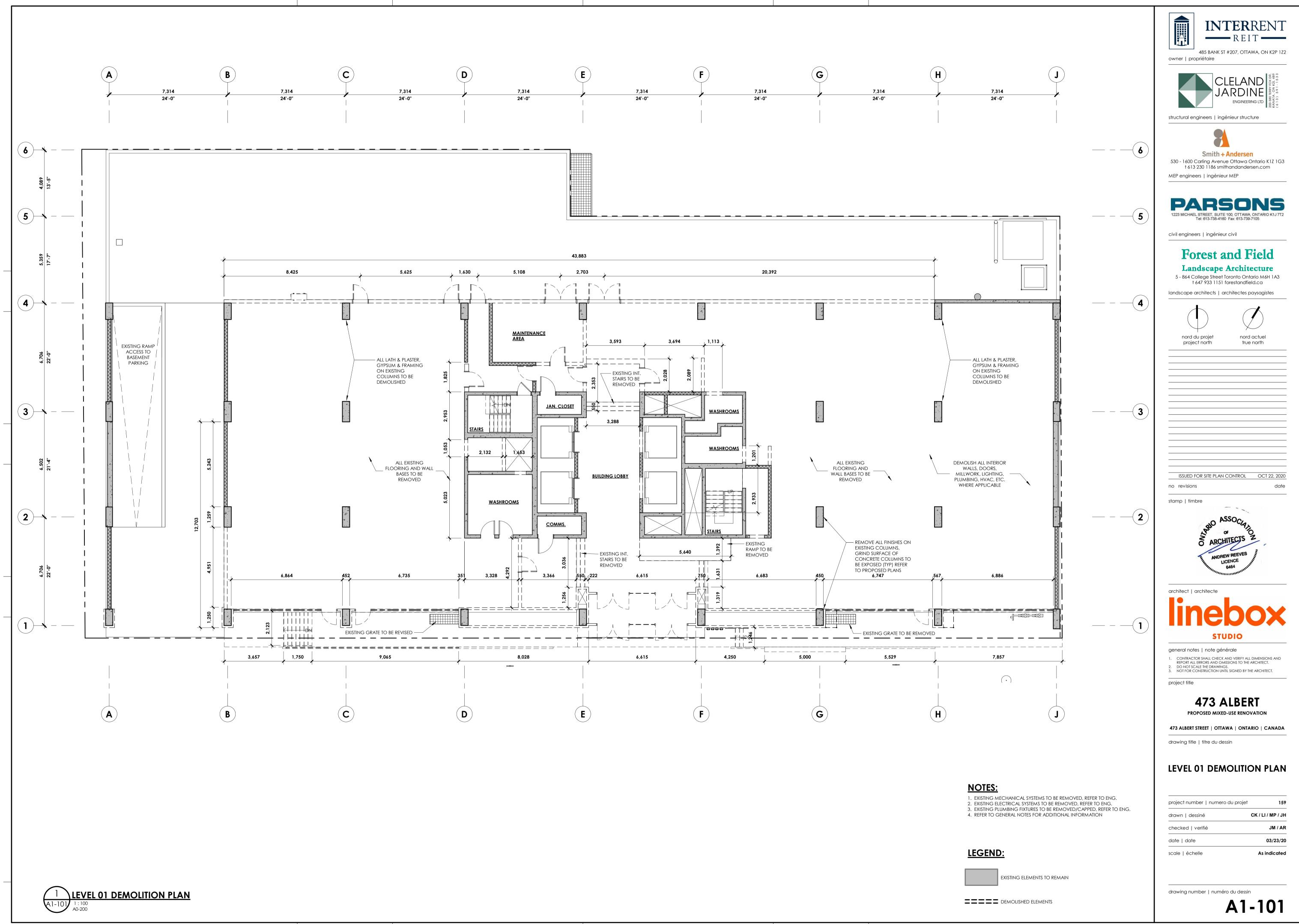


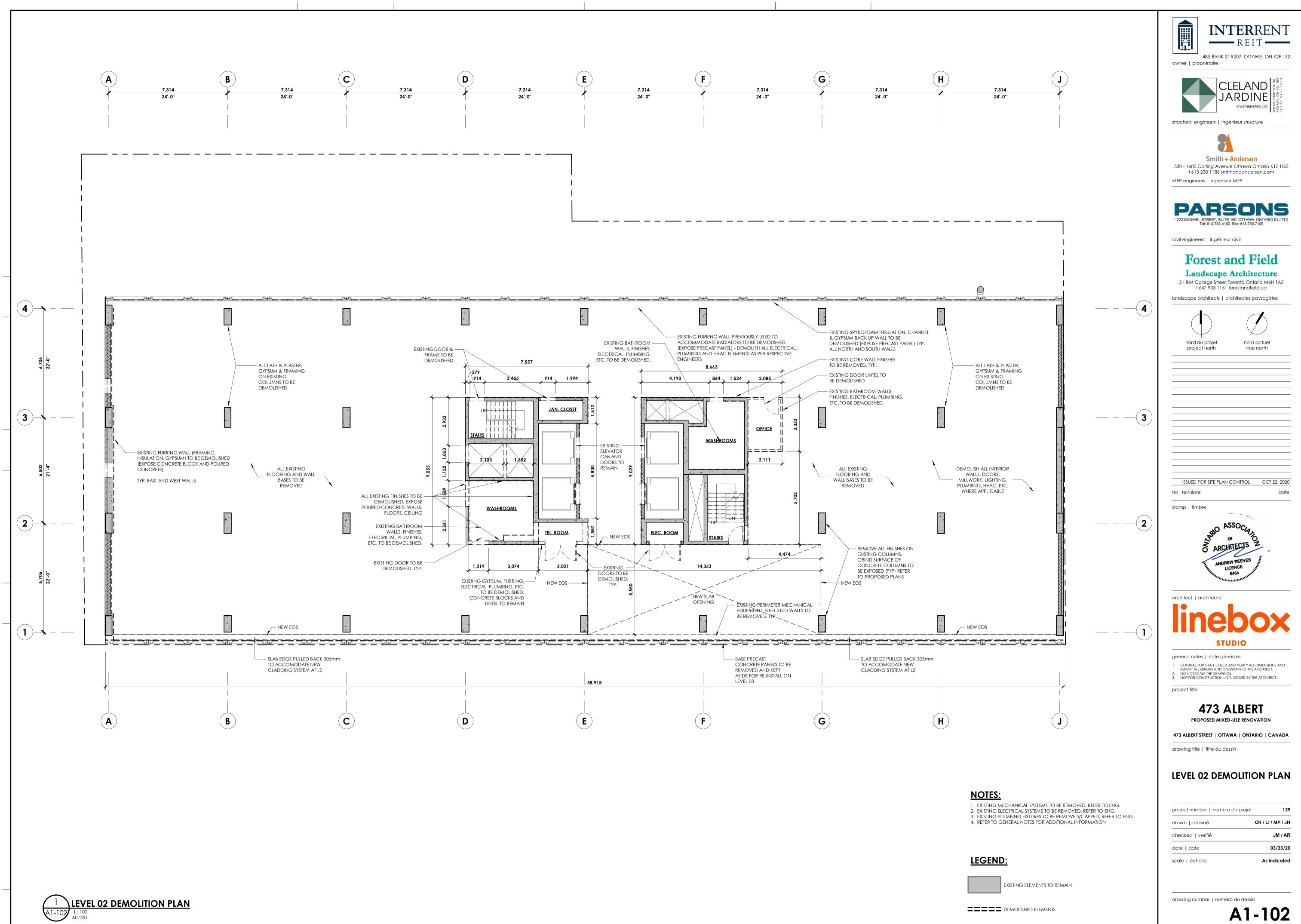




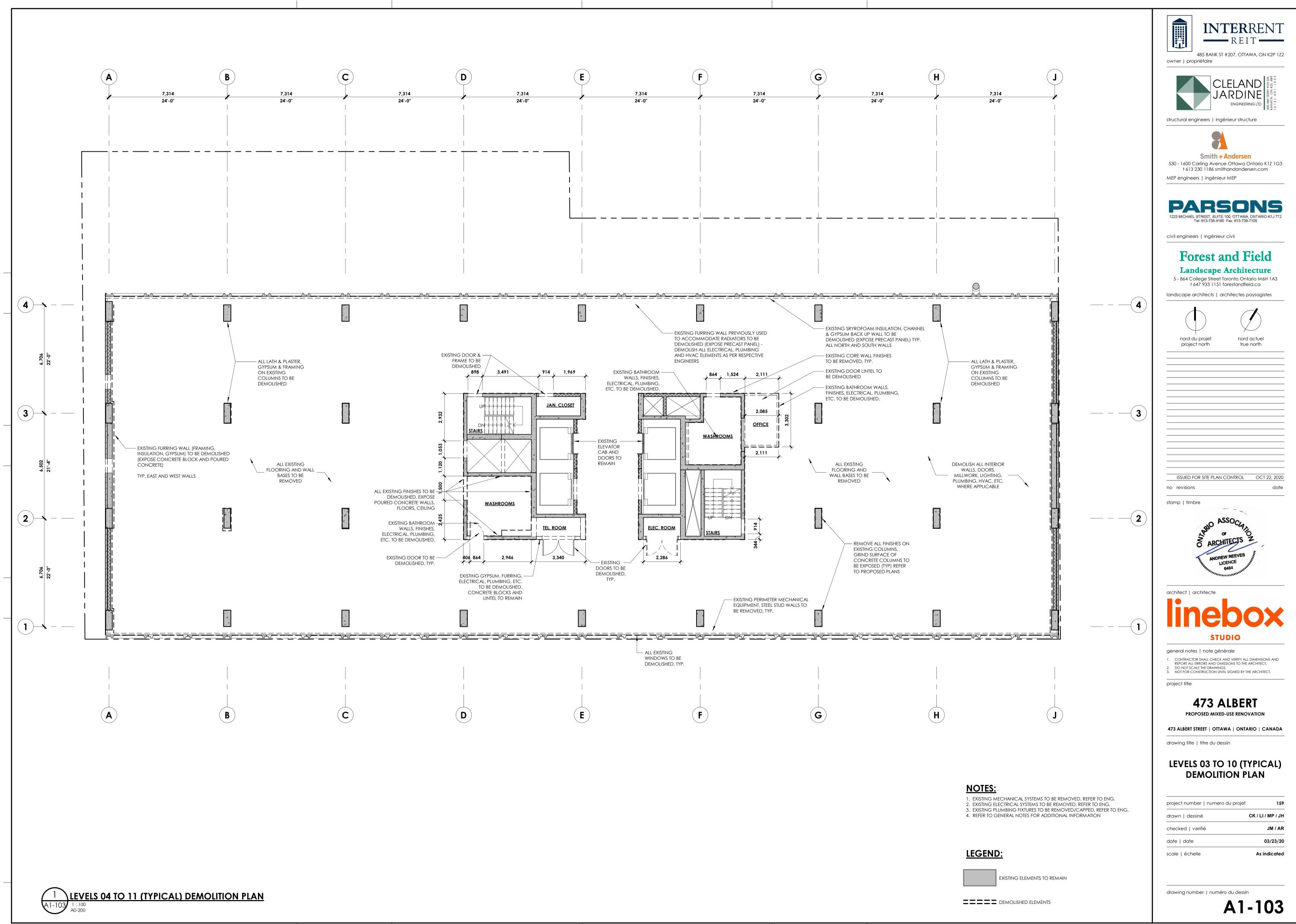


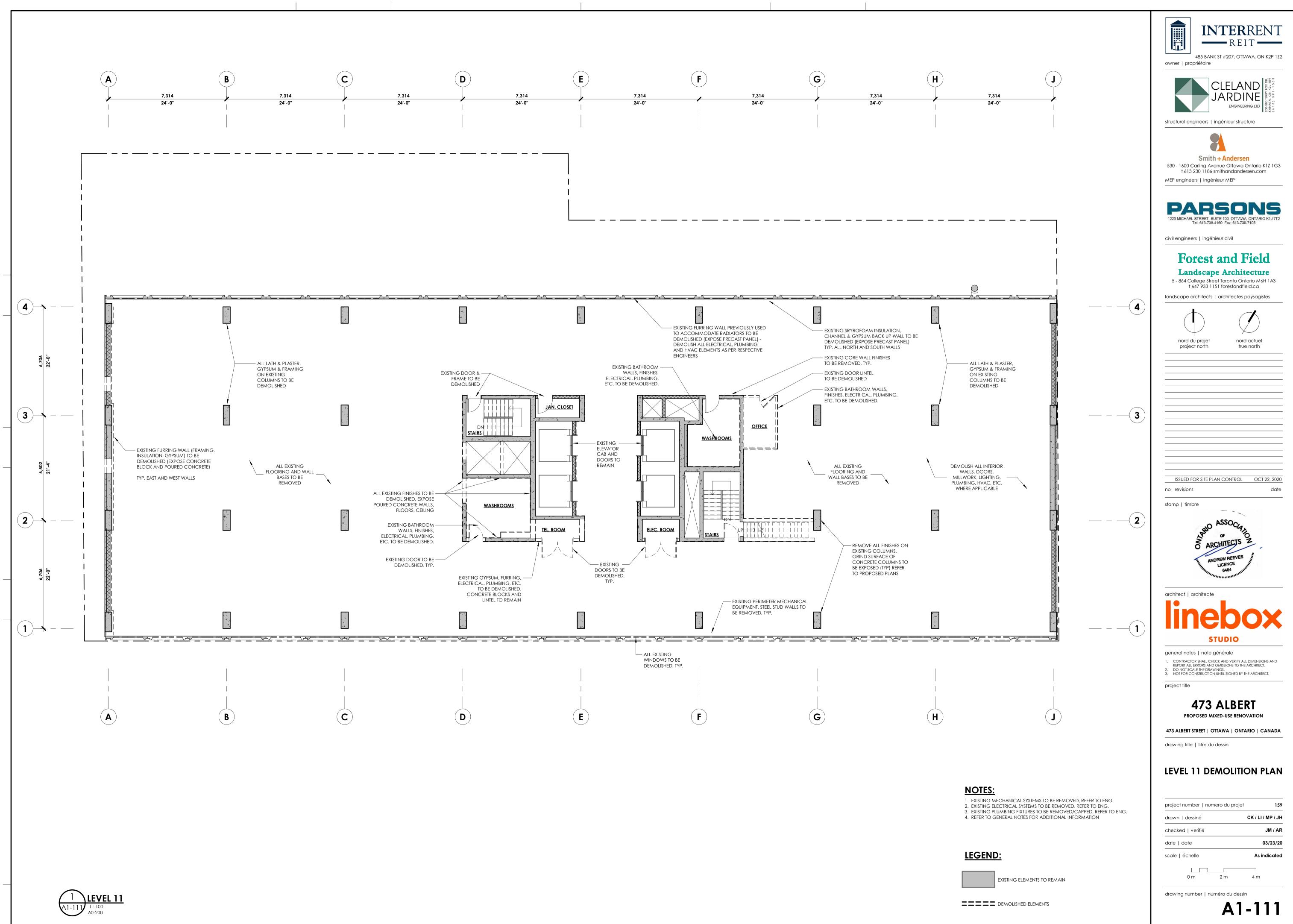


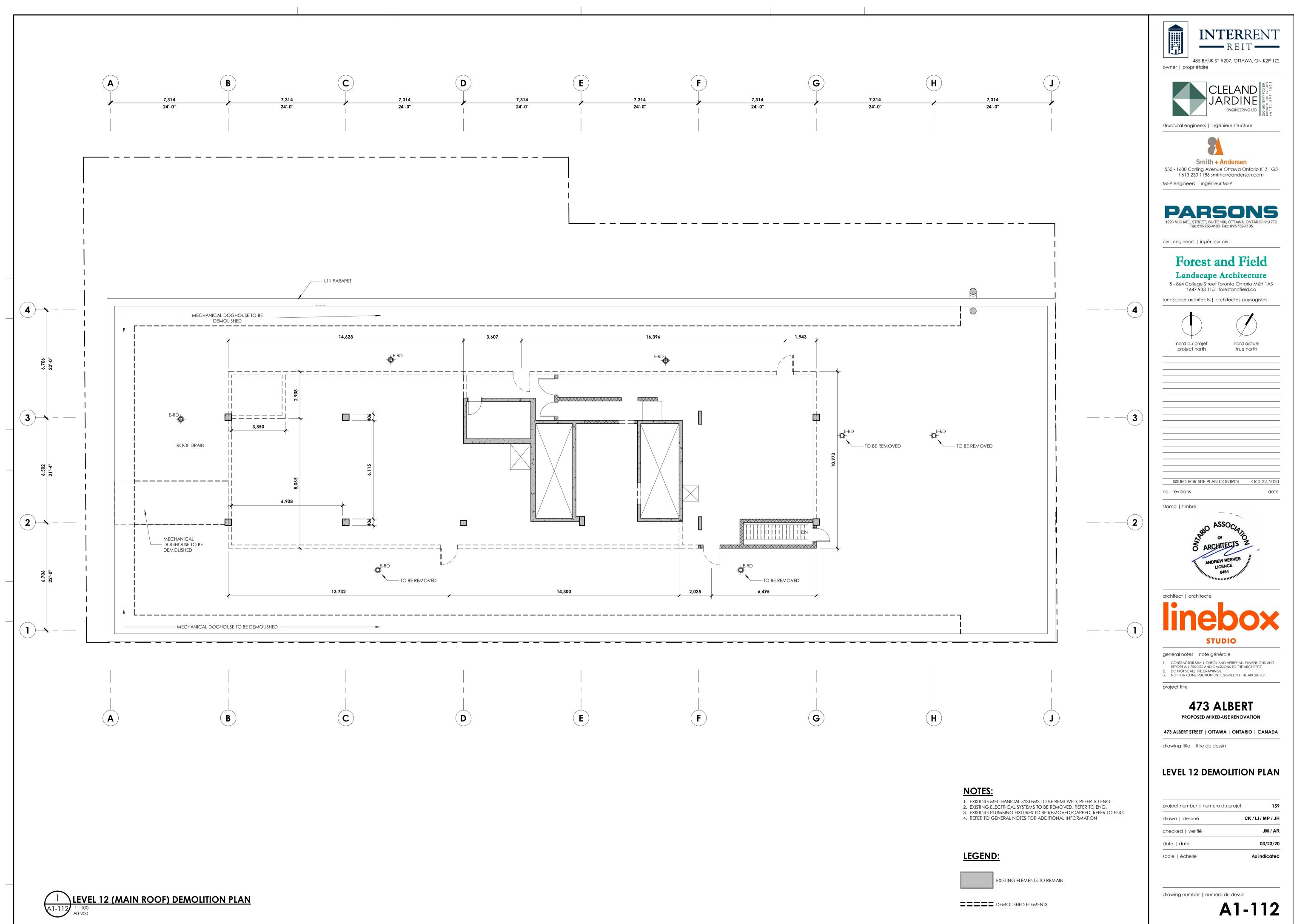


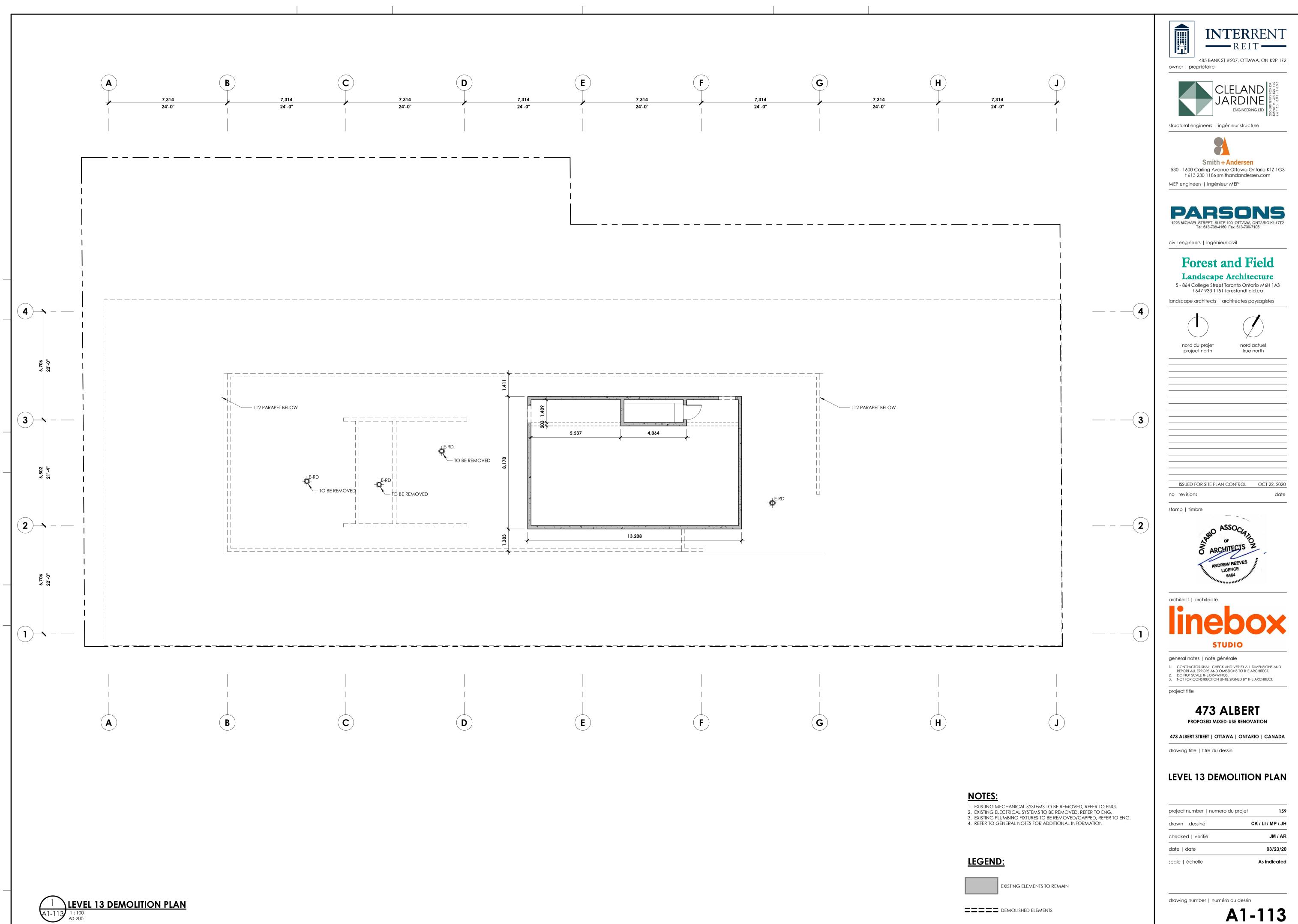


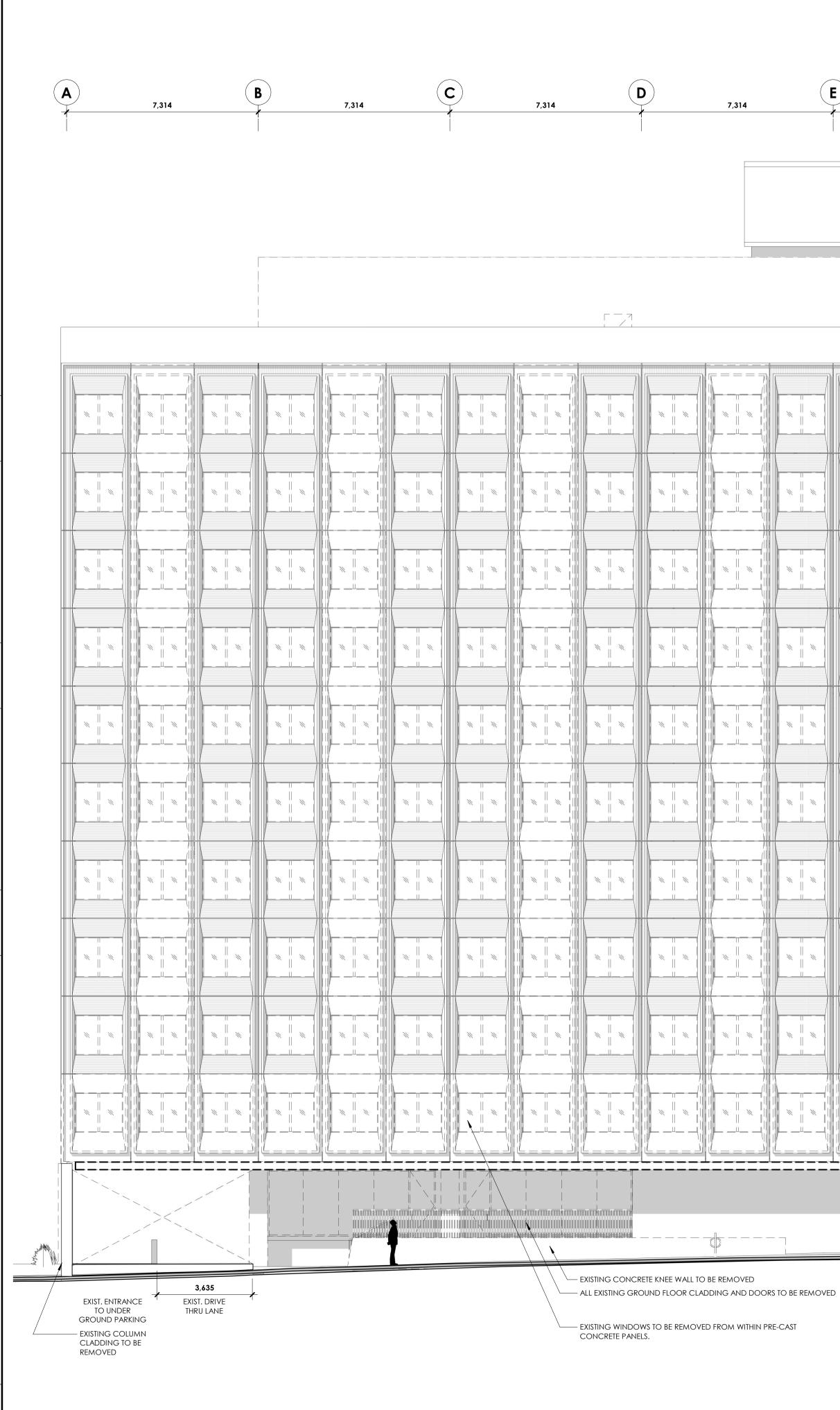
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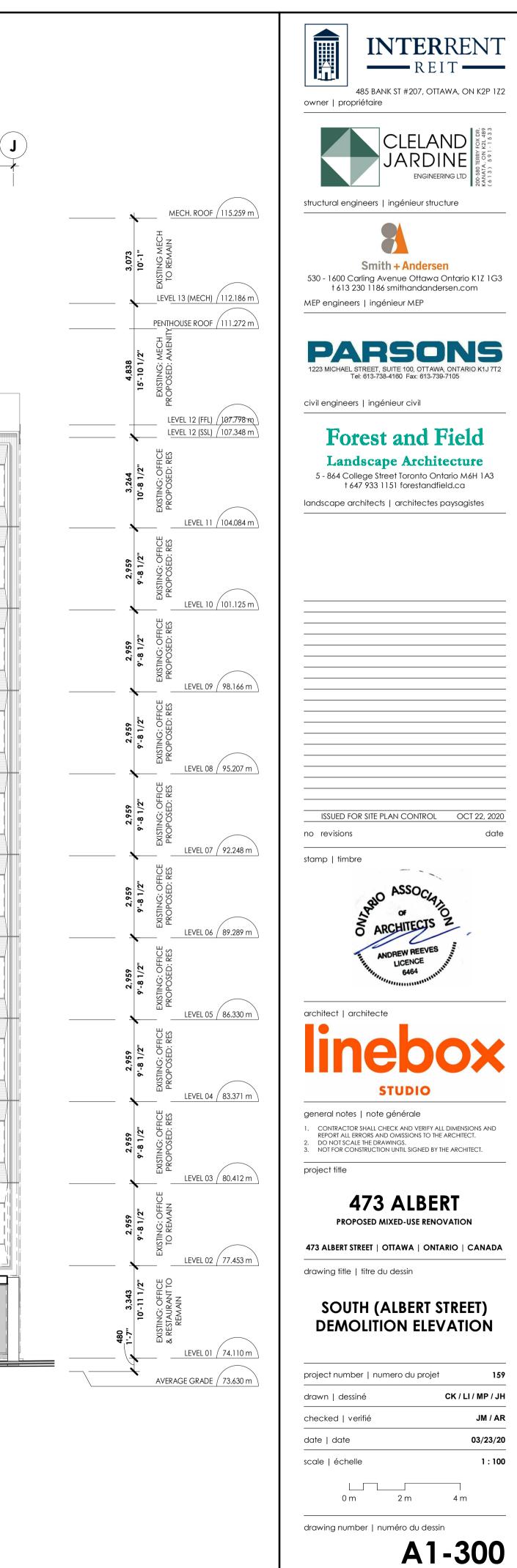






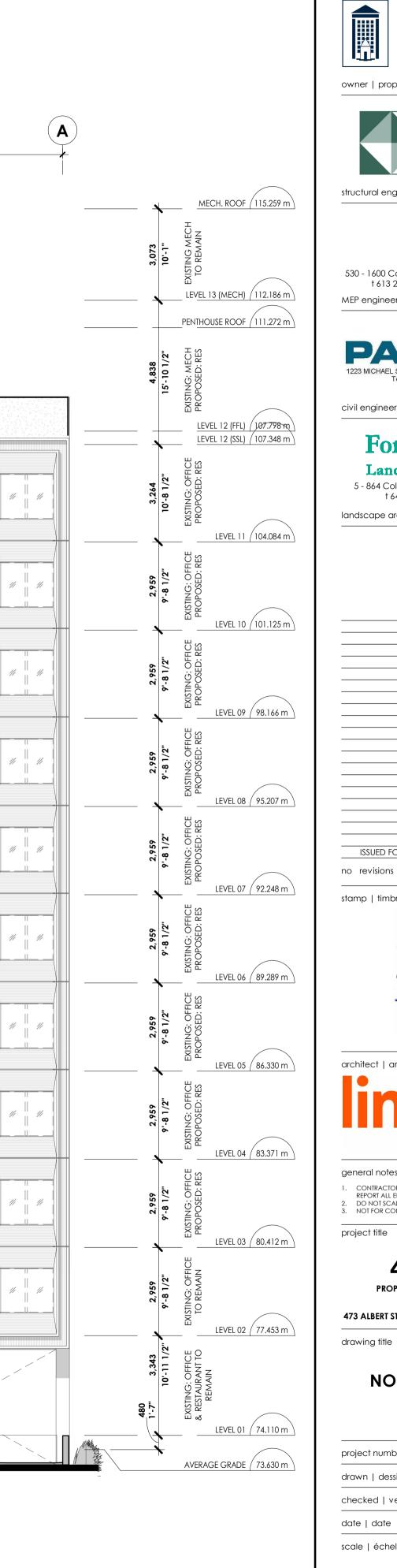
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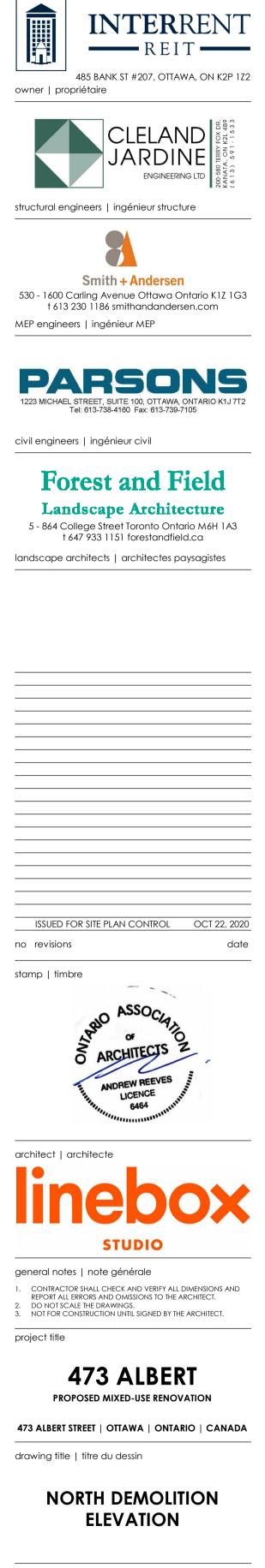
- PRECAST CONCRETE PANELS ON BASE OF LEVEL 02 TO BE REMOVED - INDICATED PRECAST CONCRETE PANELS TO BE REMOVED



2-19-0203 D07-1

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				7							Г	 					

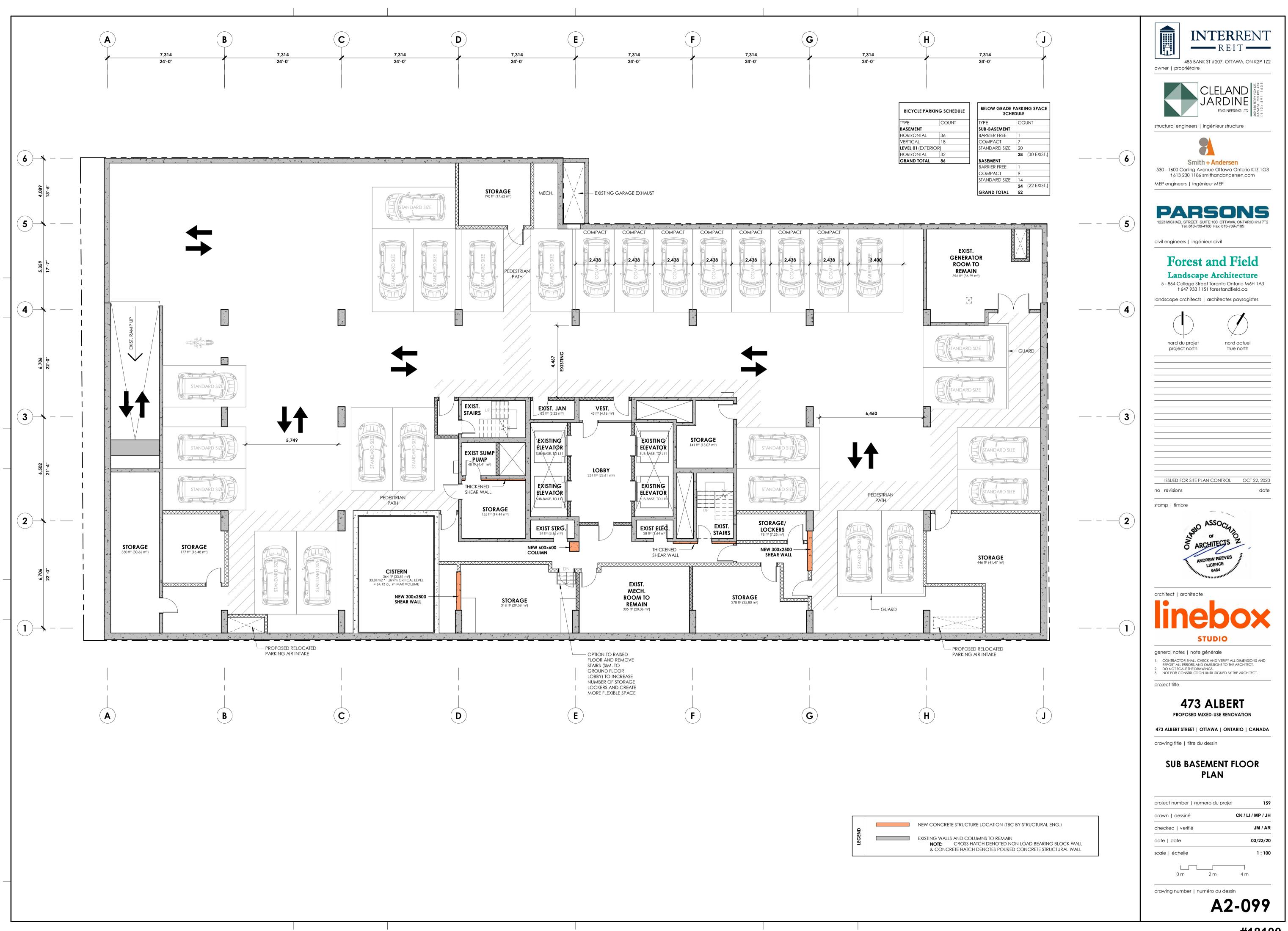




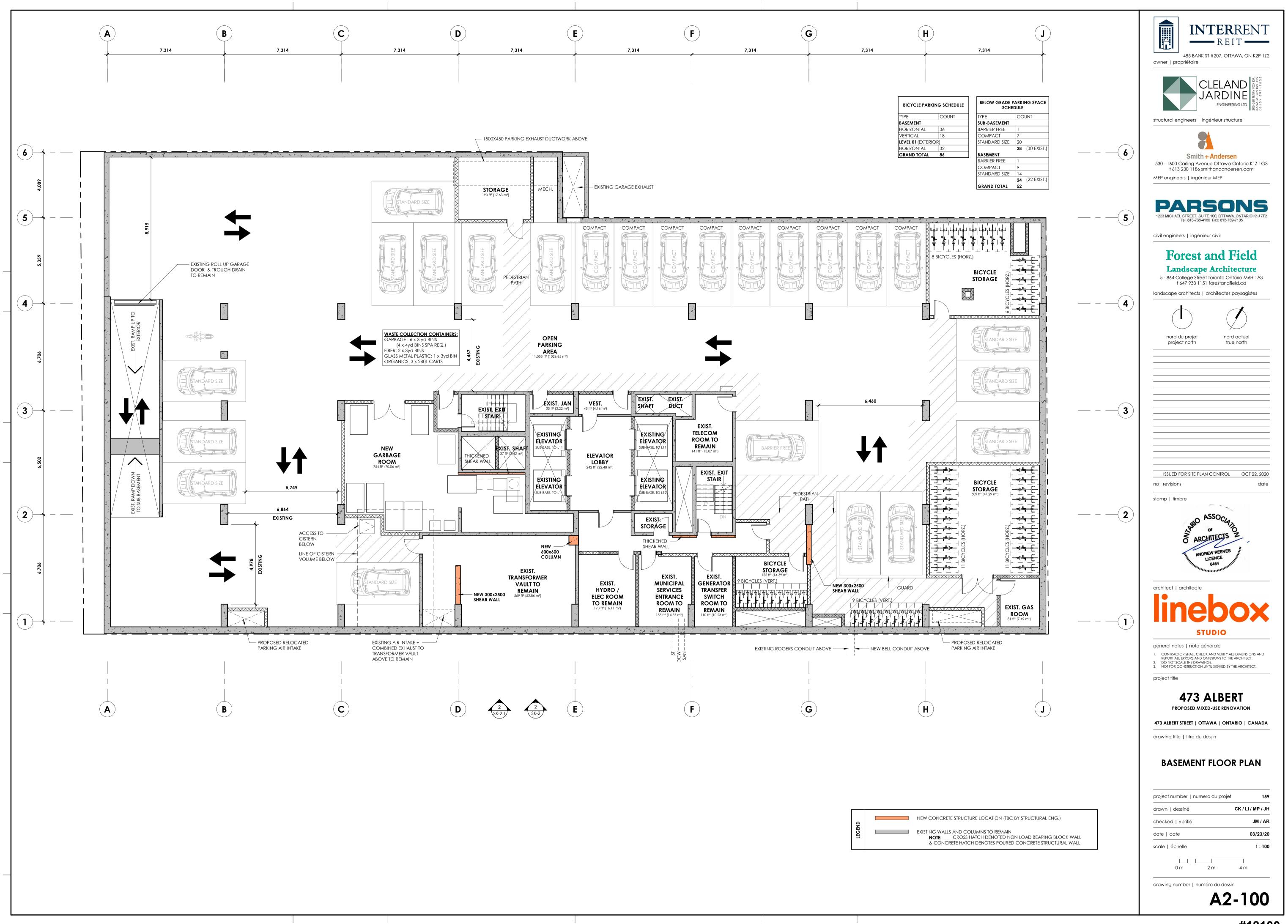
project number numero du projet	159
drawn dessiné	CK / LI / MP / JH
checked verifié	JM / AR
date date	03/23/20
scale échelle	1 : 100
0 m 2 m	4 m
drawing number numéro du dessi	n

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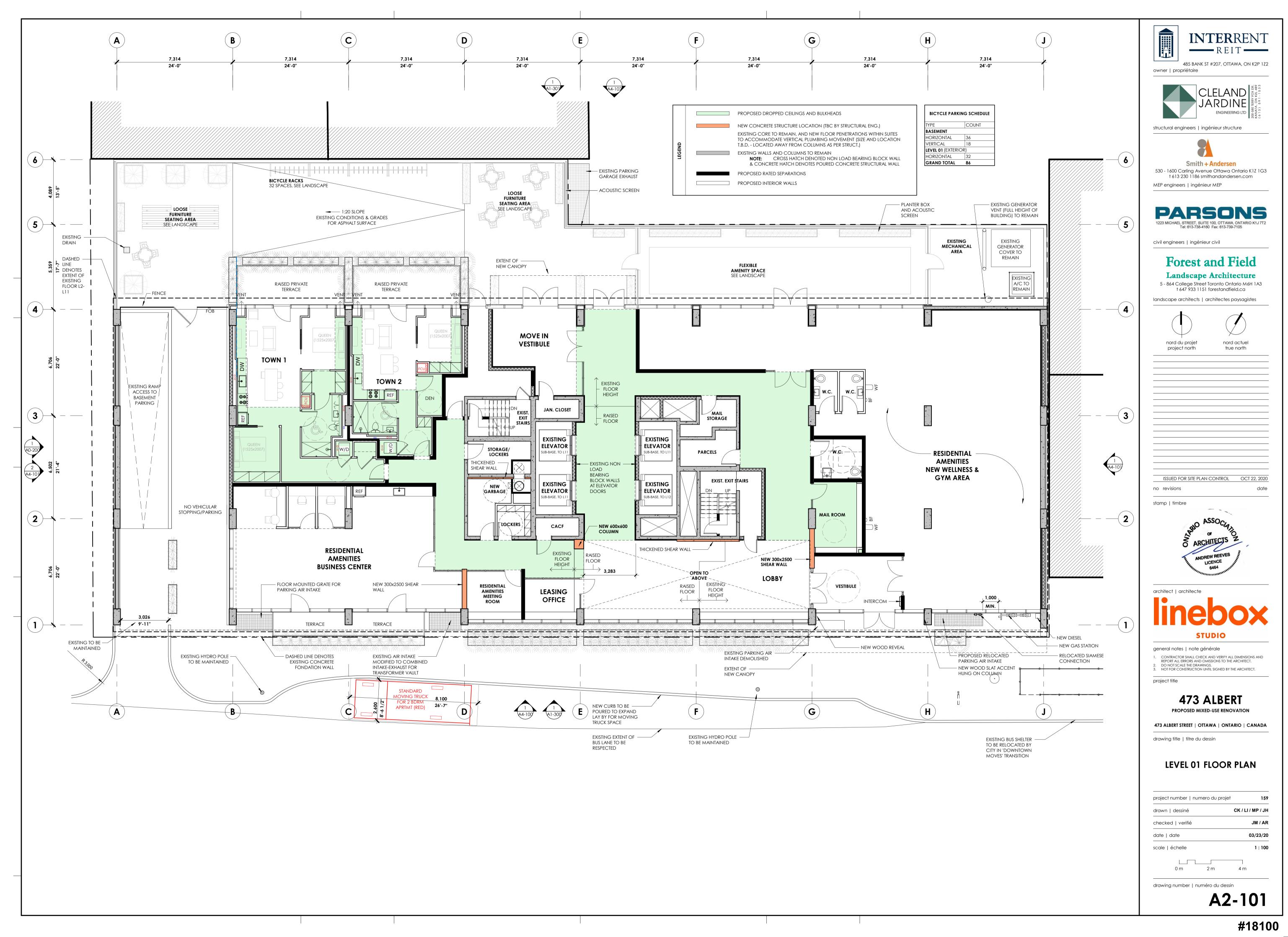
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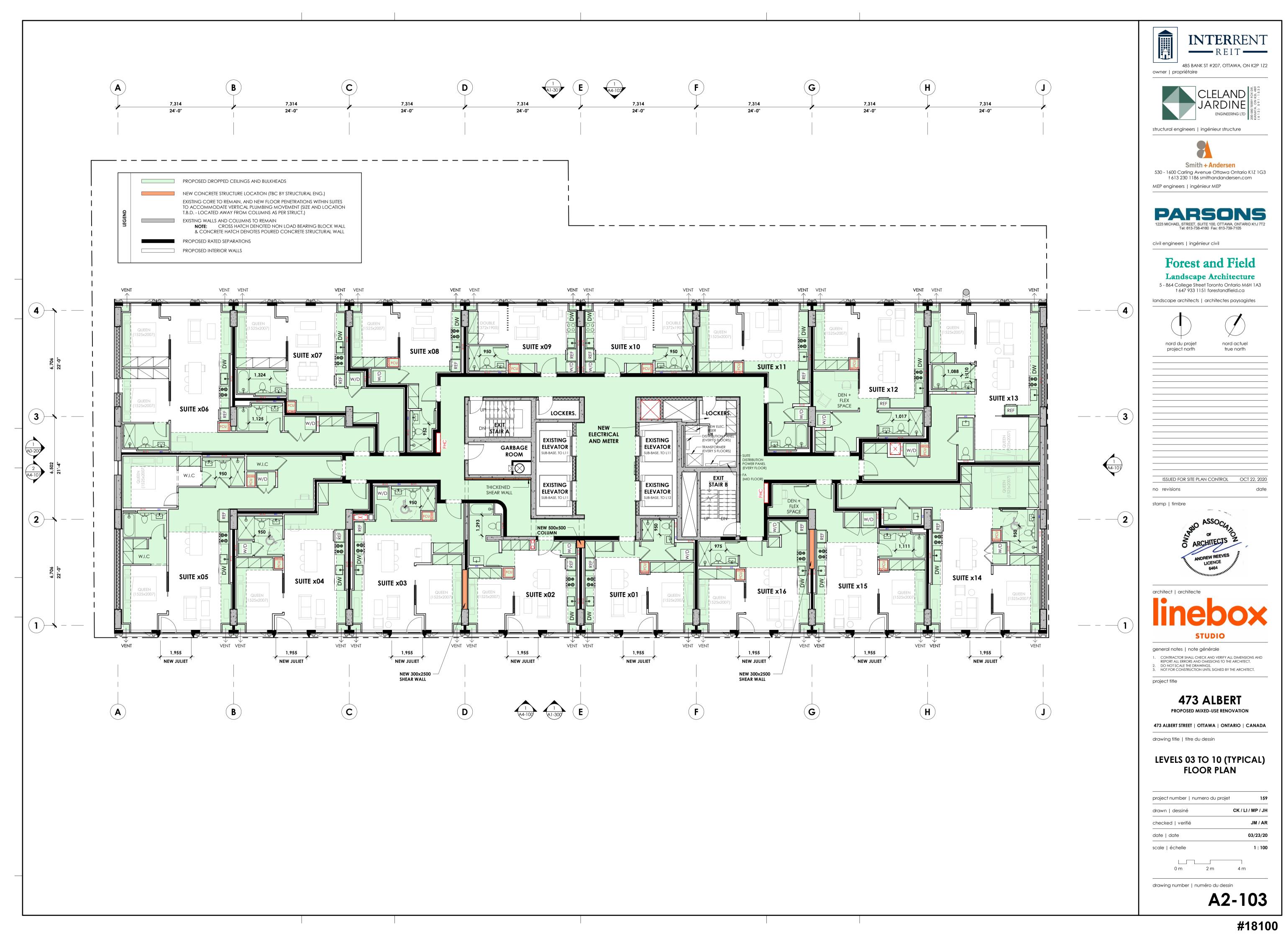
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LEGEN	EXISTING WALLS AND COLUN NOTE: CROSS HATC & CONCRETE HATCH D

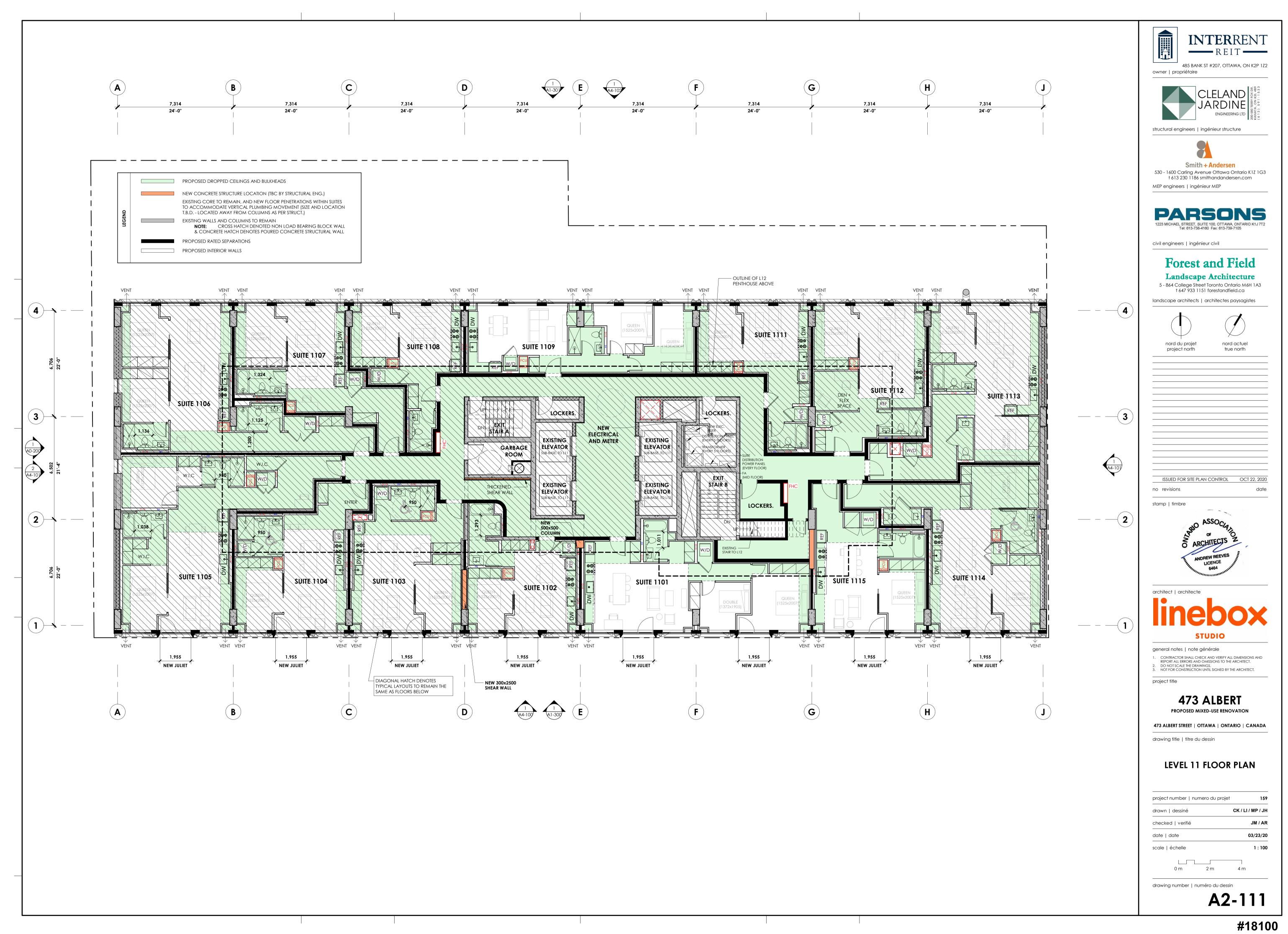


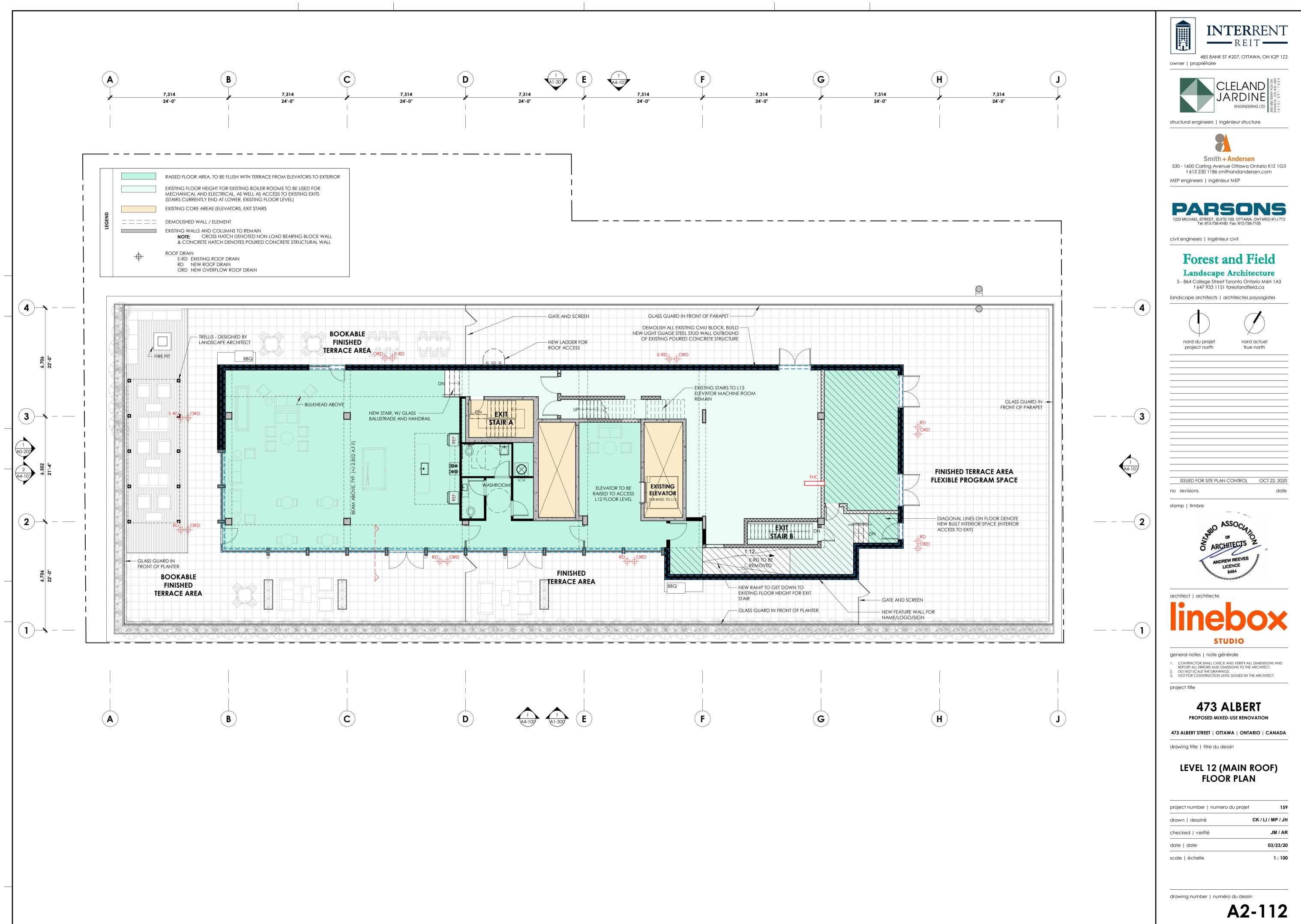
Q	NEW CONCRETE STRUCTURE
LEGEN	EXISTING WALLS AND COLUN NOTE: CROSS HATO & CONCRETE HATCH D

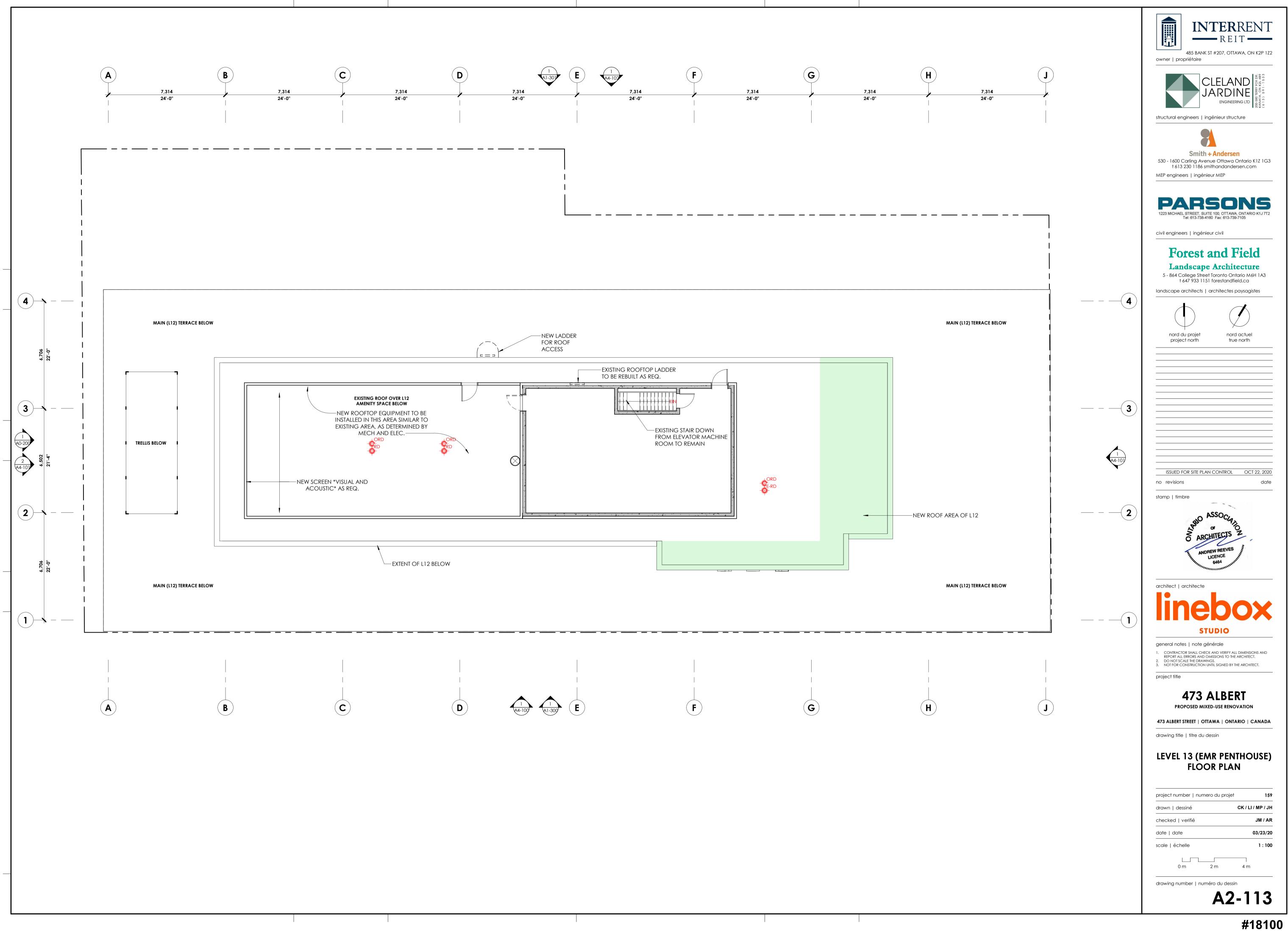






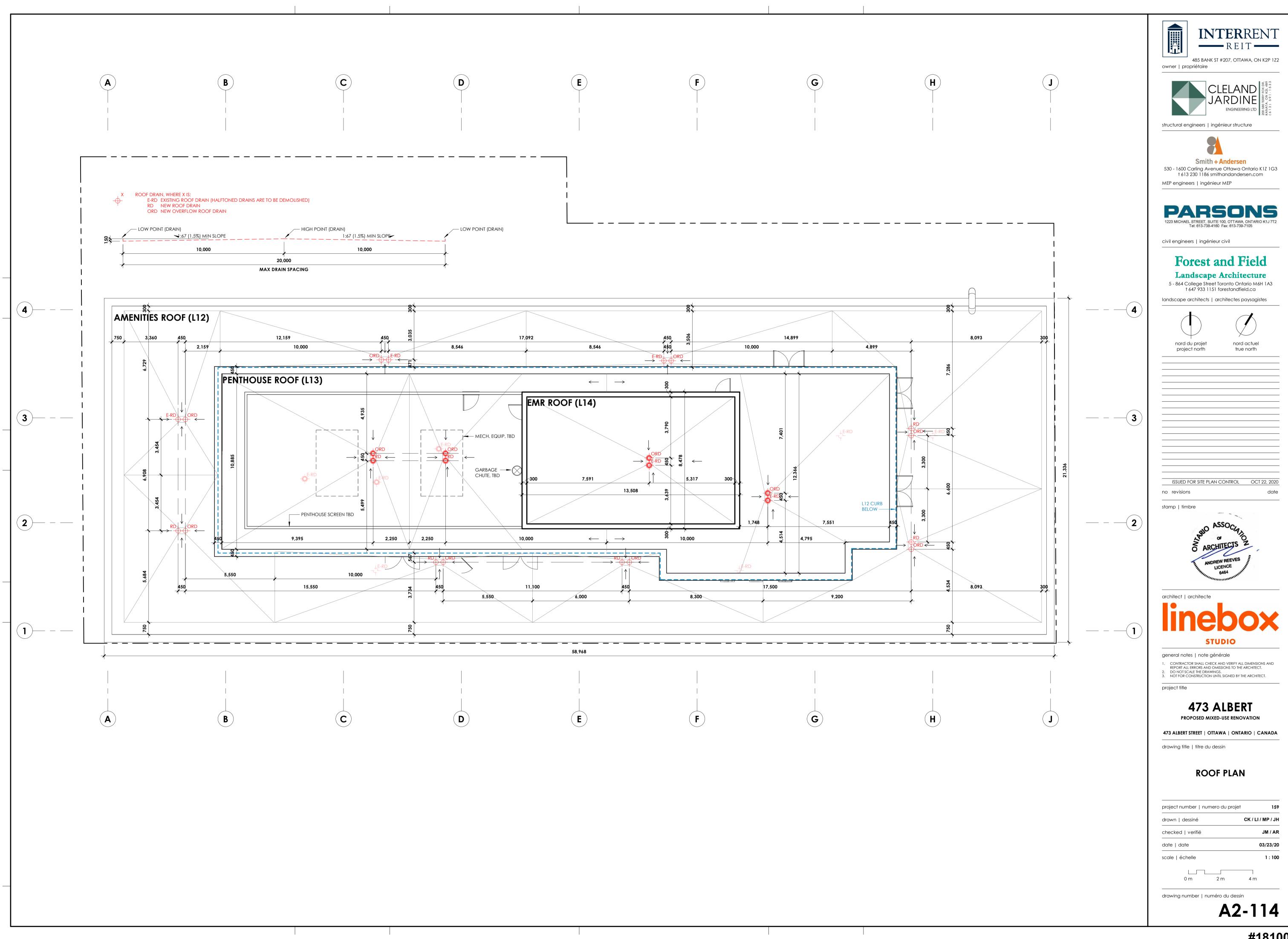


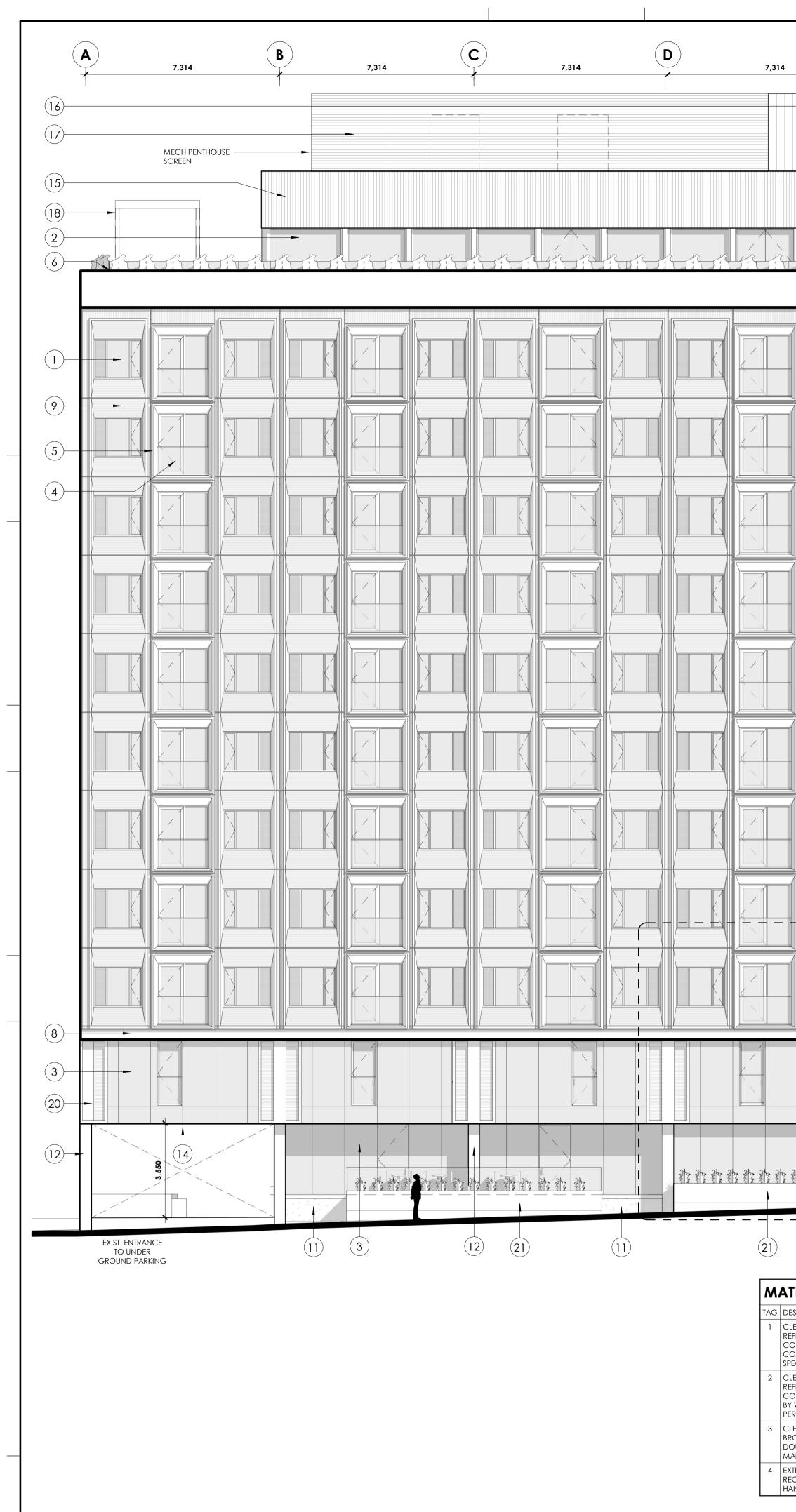




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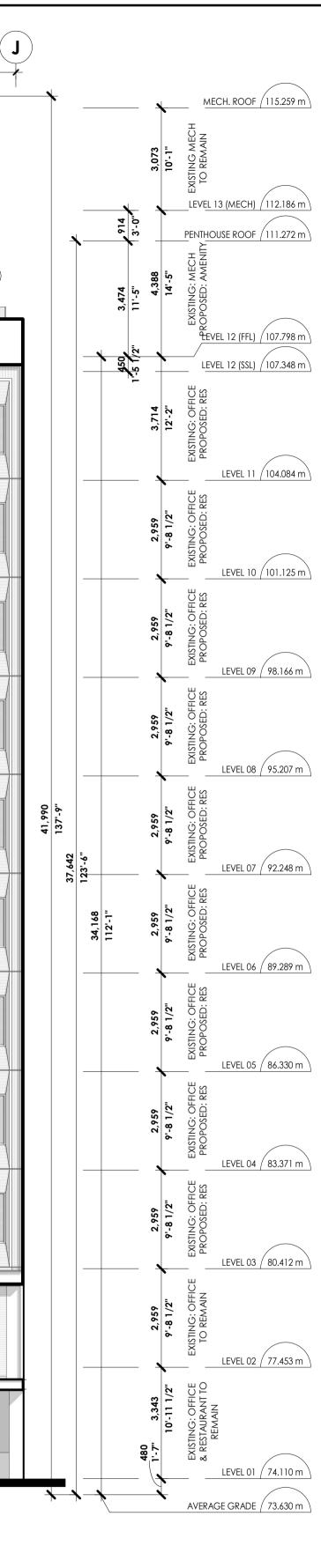
D07-13

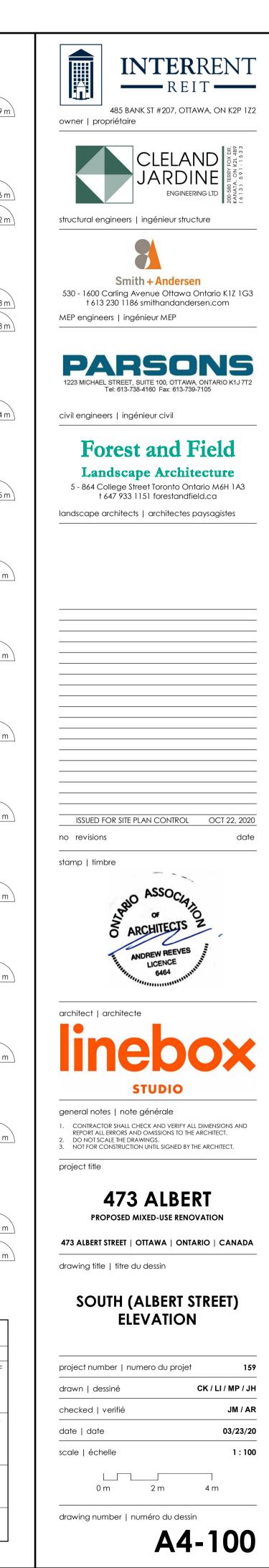


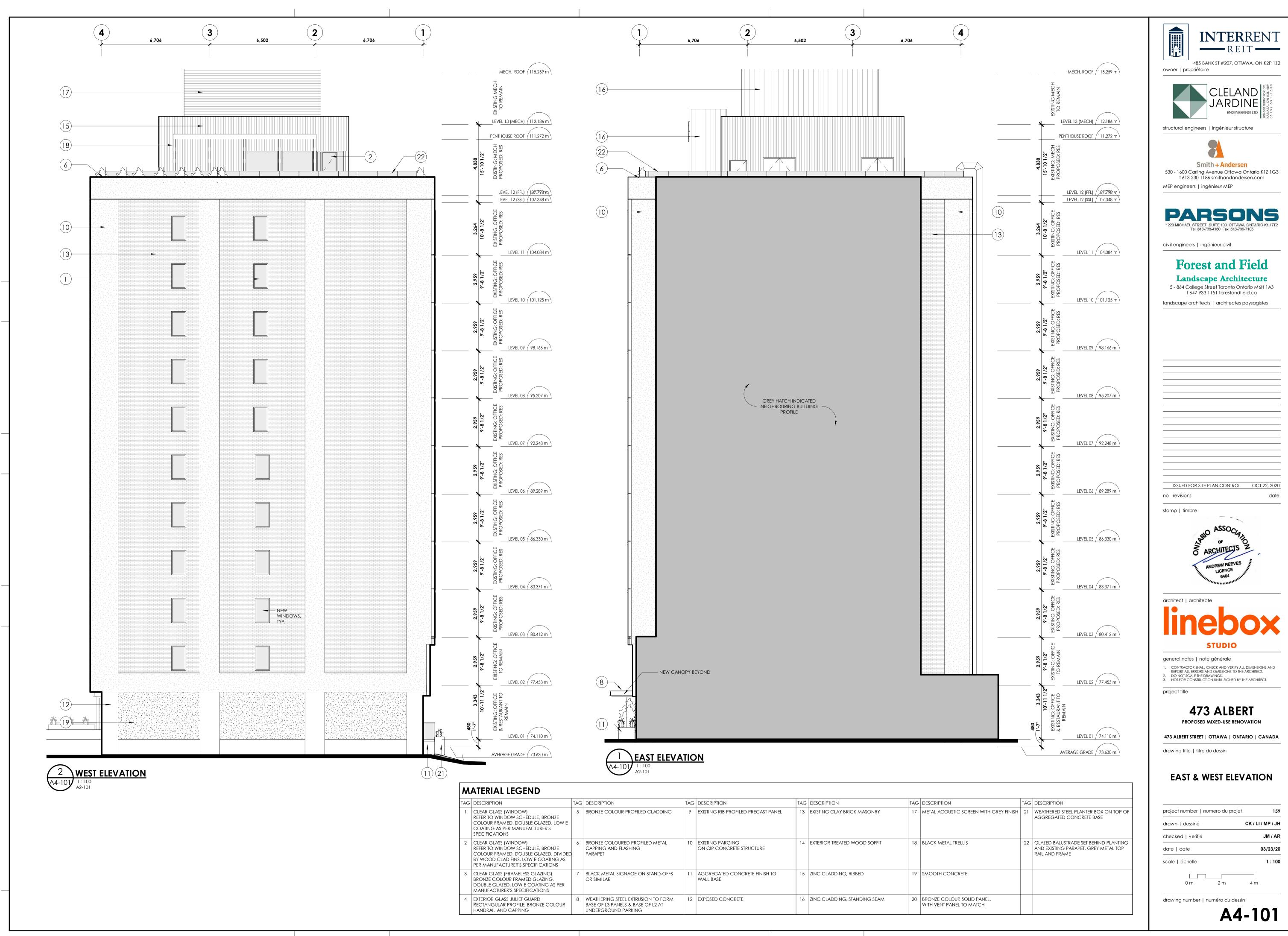


	7,314	4	F	7,314	G	7,314	H		7,314	
				7	3		ENTIAL LOCATION FOR	SIGNAGE		22)
DESCRIPTION CLEAR GLASS (WINDOW) REFER TO WINDOW SCHED COLOUR FRAMED, DOUBLE	TAG	DESCRIPTION BRONZE COLOUR PRO	FILED CLADDING	TAG DESCRIPTIO 9 EXISTING RIE	N 3 PROFILED PRECAST PA	TAG DESCRIPT NEL 13 EXISTING	ON CLAY BRICK MASONR'		escription 1etal acoustic	C SCREEN WITH

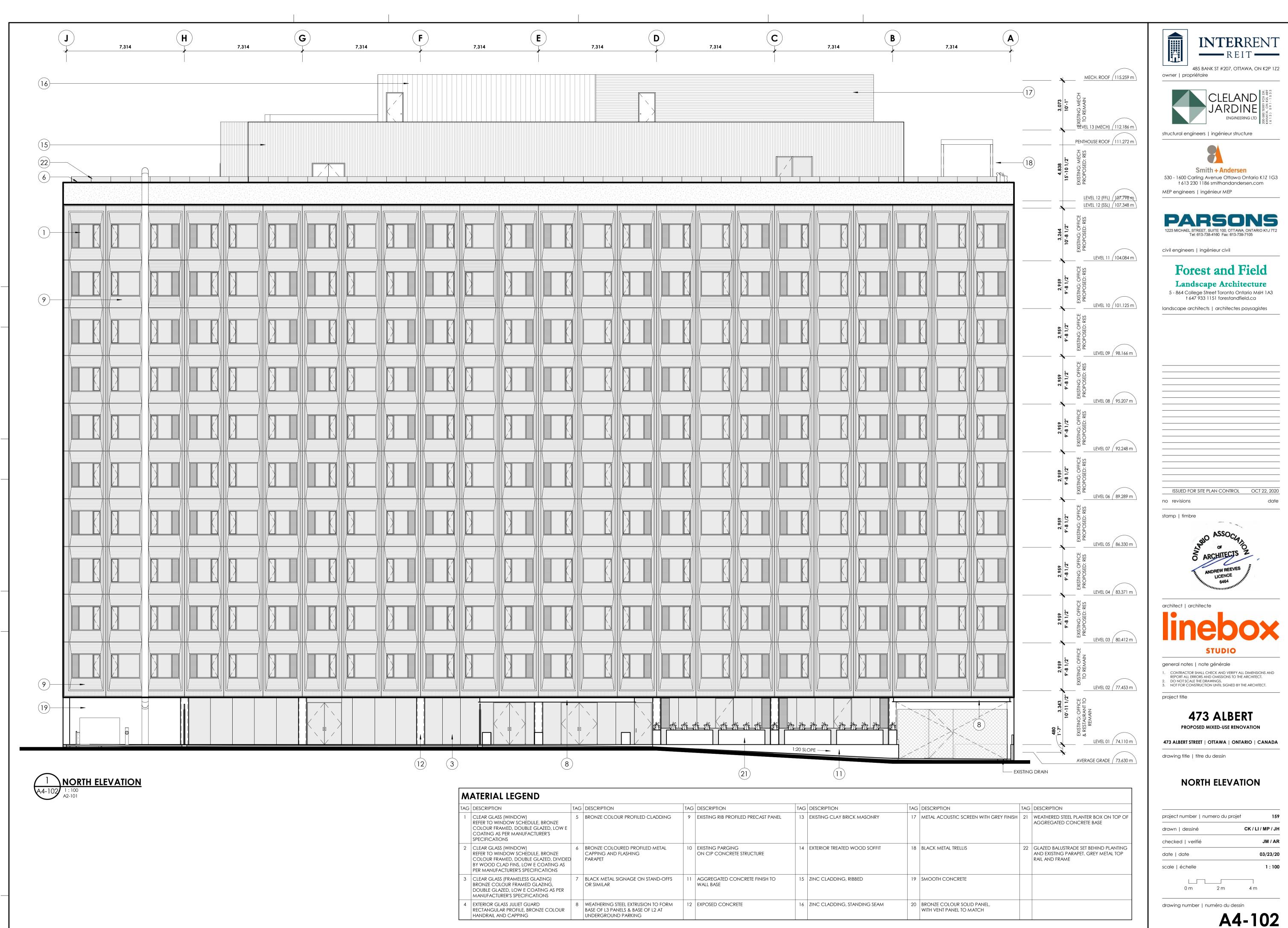
DESCRIPTION		DESCRIPTION		G DESCRIPTION	TAC	DESCRIPTION		DESCRIPTION		TAG DESCRIPTION		
CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH	21	WEATHERED STEEL PLANTER BOX ON TOP O AGGREGATED CONCRETE BASE		
CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, DIVIDEL BY WOOD CLAD FINS, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6	BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10	EXISTING PARGING ON CIP CONCRETE STRUCTURE	14	EXTERIOR TREATED WOOD SOFFIT	18	BLACK METAL TRELLIS	22	GLAZED BALUSTRADE SET BEHIND PLANTING AND EXISTING PARAPET. GREY METAL TOP RAIL AND FRAME		
CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE				
EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH				



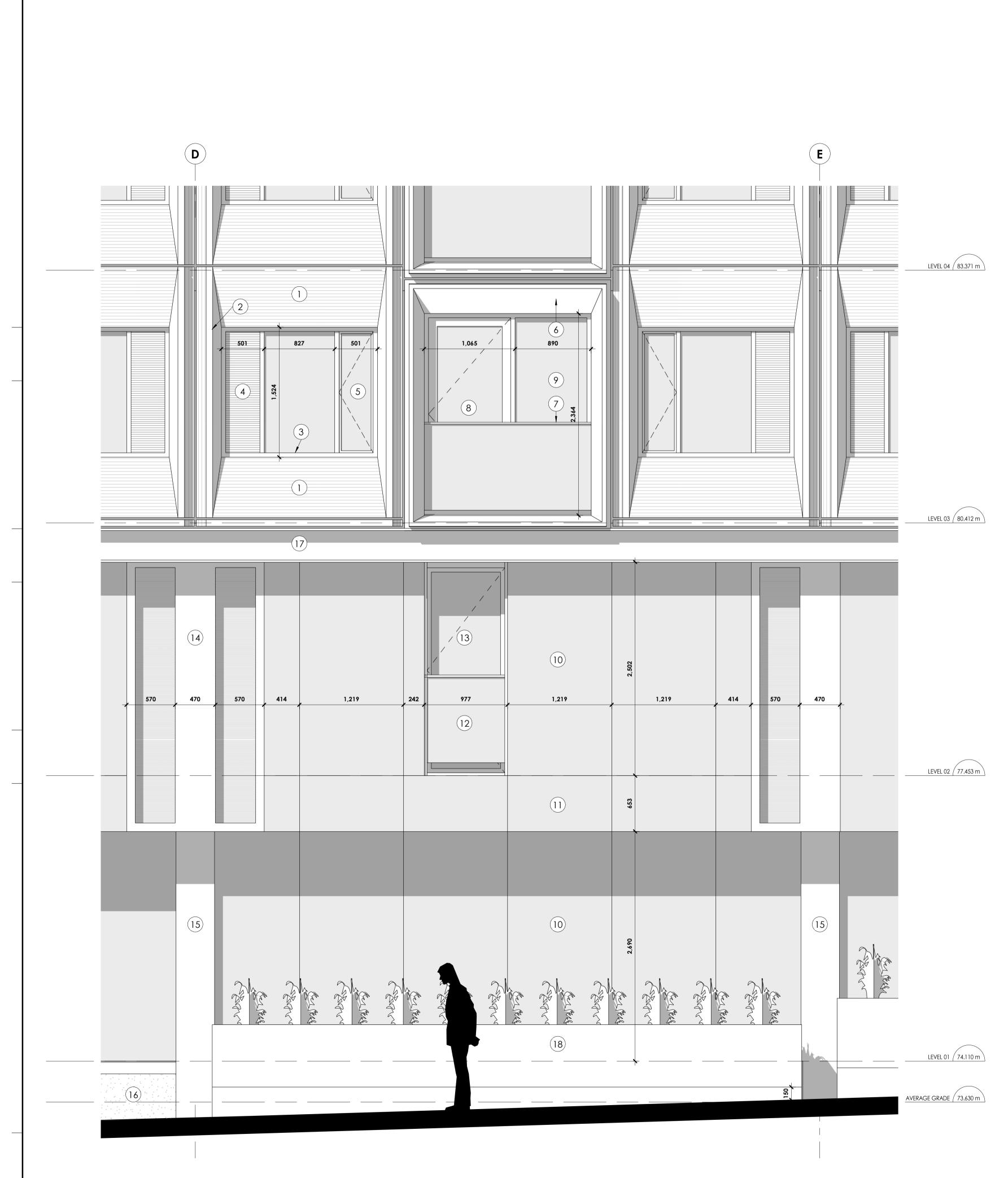




DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
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ESCRIPTION	TAG DESCRIPTION	TAG DESCRIPTION	TAG DESCRIPTION	TAG DESCRIPTION
LEAR GLASS (WINDOW) EFER TO WINDOW SCHEDULE, BRONZE OLOUR FRAMED, DOUBLE GLAZED, LOW E OATING AS PER MANUFACTURER'S PECIFICATIONS	5 BRONZE COLOUR PROFILED CLADDING	9 EXISTING RIB PROFILED PRECAST PANEL	13 EXISTING CLAY BRICK MASONRY	17 METAL ACOUSTIC SCREEN WIT
LEAR GLASS (WINDOW) EFER TO WINDOW SCHEDULE, BRONZE OLOUR FRAMED, DOUBLE GLAZED, DIVIDED Y WOOD CLAD FINS, LOW E COATING AS ER MANUFACTURER'S SPECIFICATIONS	6 BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10 EXISTING PARGING ON CIP CONCRETE STRUCTURE	14 EXTERIOR TREATED WOOD SOFFIT	18 BLACK METAL TRELLIS
LEAR GLASS (FRAMELESS GLAZING) RONZE COLOUR FRAMED GLAZING, OUBLE GLAZED, LOW E COATING AS PER ANUFACTURER'S SPECIFICATIONS	7 BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11 AGGREGATED CONCRETE FINISH TO WALL BASE	15 ZINC CLADDING, RIBBED	19 SMOOTH CONCRETE
(TERIOR GLASS JULIET GUARD ECTANGULAR PROFILE, BRONZE COLOUR ANDRAIL AND CAPPING	8 WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12 EXPOSED CONCRETE	16 ZINC CLADDING, STANDING SEAM	20 BRONZE COLOUR SOLID PANE WITH VENT PANEL TO MATCH



EXISTING PANELS:

PRECAST CONCRETE PANELS

- (1) ANGLED, RIBBED PROFILE TO TOP + BASE EXPANSION JOINT TO ADJACENT MATERIALS.

- 2 SMOOTH-FACED, ANGLED VERTICAL PROFILES; WITH RIBBED INFILL SECTION AND MASTIC SEALED EXPANSION
- JOINT.

NEW WINDOWS - REPLACE EXISTING W/ BRONZE COLOURED FRAMED, DOUBLE-GLAZED WINDOWS

- 3 BRONZE COLOURED FRAMED WINDOW

- 4 PROFILED BRONZE COLOURED VENTED PANEL TO HVAC EXHAUSTS

- 5 OPERABLE VENT WINDOW

- SINGLE JULIET BALCONIES: BRONZE COLOURED FRAMED JULIET BALCONY INSERTION, EXISTING CONC. PANEL REMOVED

LEVEL 01 TO LEVEL 02 FRAMELESS GLAZING

- 6 BRONZE COLOURED PROFILED COVER

8 INWARD OPENING, BRONZE COLOURED FRAMED, GLASS DOOR

LOW E COATING AS PER ANUFACTURER'S SPECIFICATIONS

(9) FIXED BRONZE COLOURED FRAMED GLAZED SIDE LIGHT

- (12) GLASS BALUSTRADE WITH RECTANGULAR PROFILE, BRONZE COLOU
- (13) INWARD OPENING, BRONZE COLOURED FRAMED, GLASS DOOR
- (14) BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH
- 15 EXPOSED CONCRETE COLUMN

(11) SHADOW BOX

- (16) AGGREGATED CONCRETE FINISH TO WALL BASE
- (17) WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS

STREET FACING PLANTER BOXES

 $\overbrace{(18)}$ weathered steel planter box on top of aggregated concrete base

A4-20 #18100

CK / LI / MP / JH
JM / AR
03/23/20
1 : 25
] 1 m
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-201

2-19-0203

D07

159

URED HANDRAIL + CAPPING	

(10) CLEAR GLASS (FRAMELESS GLAZING), BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED,

(7) GLASS BALUSTRADE WITH RECTANGULAR PROFILE, BRONZE COLOURED HANDRAIL + CAPPING



ISSUED FOR SITE PLAN CONTROL OCT 22, 2020

ASSOC

ARCHITECTS

ANDREW REEVES

STUDIO

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 DO NOT SCALE THE DRAWINGS.
 NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

473 ALBERT PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

ENLARGED ELEVATIONS

0.5 m

date

no revisions

stamp | timbre

architect | architecte

general notes | note générale

drawing title | titre du dessin

project number | numero du projet

drawn | dessiné

checked | verifié

date | date

scale | échelle

0 m

drawing number | numéro du dessin

project title





structural engineers | ingénieur structure

MEP engineers | ingénieur MEP

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owner | propriétaire CLELAND



JARDINE ENGINEERING LTD