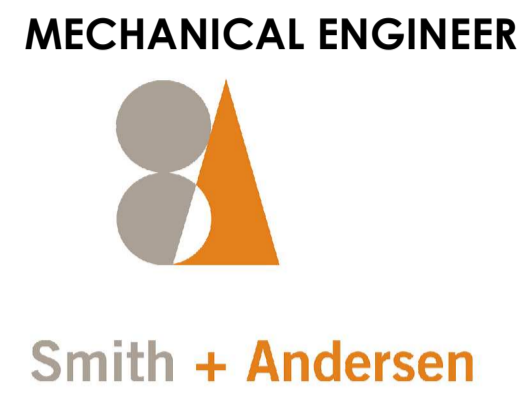


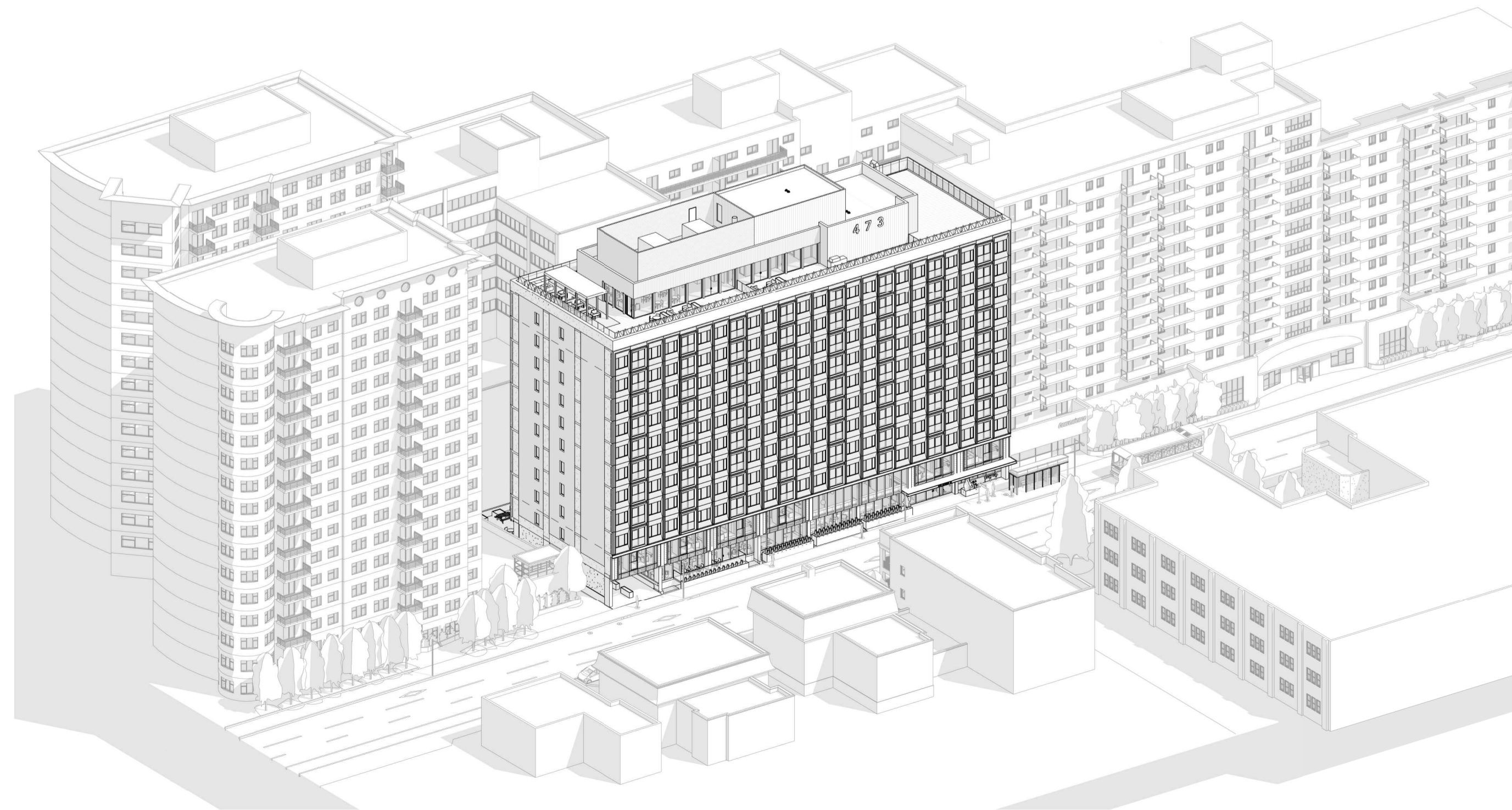
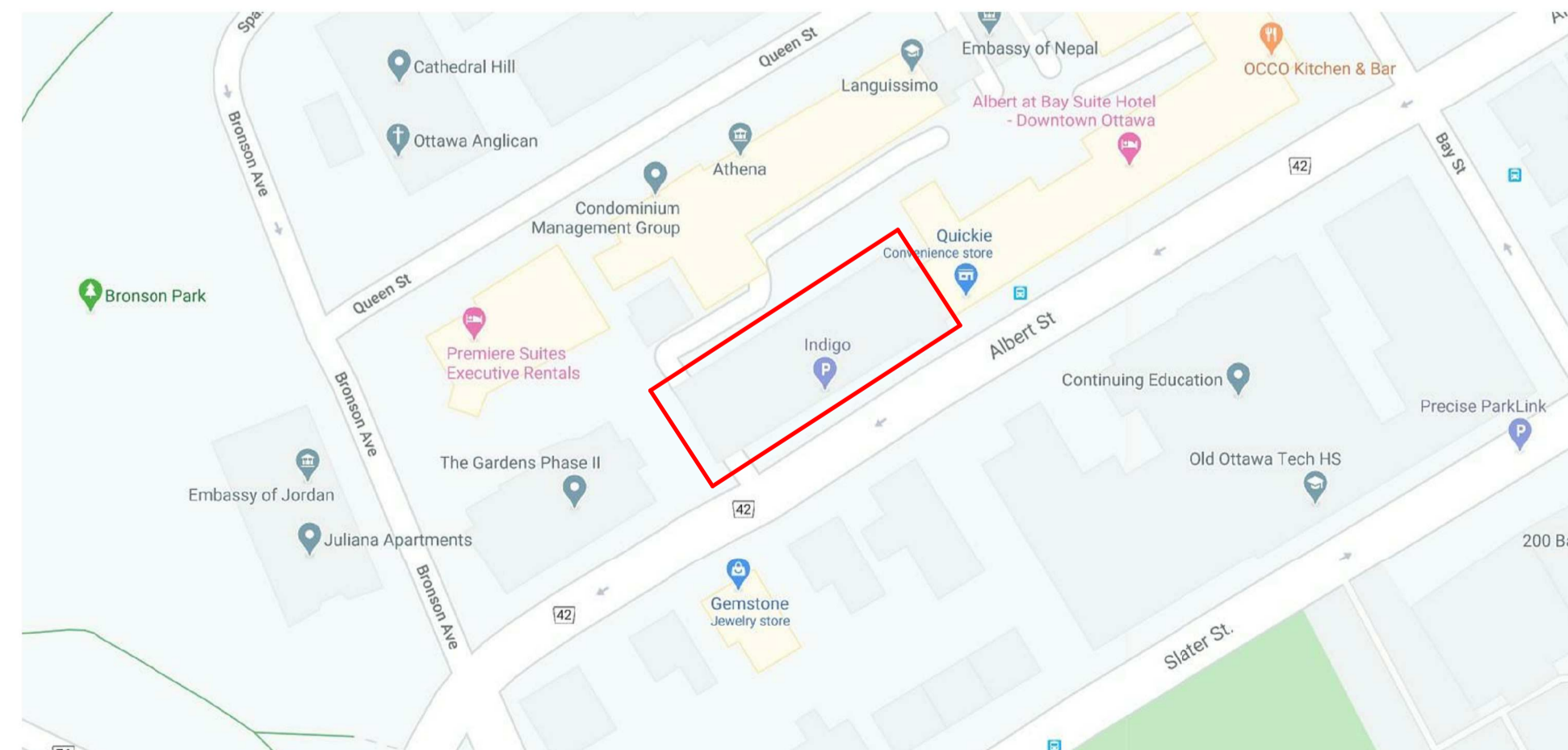
# 473 ALBERT STREET

## SITE PLAN APPLICATION - ARCHITECTURAL DRAWINGS



### ARCHITECTURAL DRAWING LIST

DWG NO.	DRAWING TITLE
<b>A0 GENERAL</b>	
A0-000	COVER SHEET
A0-101	GENERAL NOTES
A0-102	GENERAL NOTES
A0-200	OBC MATRIX AND CODE NOTES
A0-800	SITE PLAN - DEMOLITION
A0-801	SITE PLAN - PROPOSED
A0-802	ILLUSTRATIVE SITE PLAN - FUTURE ALBERT STREET RENEWAL PLAN
A0-803	INDEX TO BUILDING SETBACKS
<b>A1 DEMOLITION</b>	
A1-099	SUB BASEMENT DEMOLITION PLAN
A1-100	BASEMENT DEMOLITION PLAN
A1-101	LEVEL 01 DEMOLITION PLAN
A1-102	LEVEL 02 DEMOLITION PLAN
A1-103	LEVELS 03 TO 10 (TYPICAL) DEMOLITION PLAN
A1-111	LEVEL 11 DEMOLITION PLAN
A1-112	LEVEL 12 DEMOLITION PLAN
A1-113	LEVEL 13 DEMOLITION PLAN
A1-300	SOUTH (ALBERT STREET) DEMOLITION ELEVATION
A1-301	NORTH DEMOLITION ELEVATION
<b>A2 PLANS</b>	
A2-099	SUB BASEMENT FLOOR PLAN
A2-100	BASEMENT FLOOR PLAN
A2-101	LEVEL 01 FLOOR PLAN
A2-102	LEVEL 02 FLOOR PLAN
A2-103	LEVELS 03 TO 10 (TYPICAL) FLOOR PLAN
A2-111	LEVEL 11 FLOOR PLAN
A2-112	LEVEL 12 (MAIN ROOF) FLOOR PLAN
A2-113	LEVEL 13 (EMR PENTHOUSE) FLOOR PLAN
A2-114	ROOF PLAN
<b>A4 ELEVATIONS</b>	
A4-100	SOUTH (ALBERT STREET) ELEVATION
A4-101	EAST & WEST ELEVATION
A4-102	NORTH ELEVATION
A4-201	ENLARGED ELEVATIONS



ISSUED FOR SITE PLAN CONTROL OCT 22, 2020

no revisions date

stamp | fibre



general notes | note générale

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

project title

**473 ALBERT**  
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

**COVER SHEET**

project number | numéro du projet **159**

drawn | dessiné **CK / LI / MP / JH**

checked | vérifié **JM / AR**

date | date **03/23/20**

scale | échelle

drawing number | numéro du dessin

**A0-000**

## GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE, REPORT TO THE OWNER AND ARCHITECT ON ANY DISCREPANCIES BETWEEN THE EXISTING SITE CONDITIONS AND THE FINAL DRAWINGS PRIOR TO CONTINUING CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE FOR CONFORMANCE OF WORKMANSHIP, MATERIAL, AND METHODS.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE AND LOCAL AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO CHECK AVAILABILITY OF ALL MATERIALS AND REPORT ANY DISCONTINUATIONS OR DELAYS TO THE OWNER AND ARCHITECT.
- CONTRACTOR TO CLEAN ALL WINDOWS, FLOORS, ETC. AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN AND BE FAMILIAR WITH ALL REQUIRED TESTING AND REPORTS DURING THE PROGRESS OF THE WORK.
- FINISH MATERIALS TO MEET 2012 ONTARIO BUILDING CODE REQUIREMENTS FOR FLAME SPREAD RATINGS AND SMOKE DEVELOPED CLASSIFICATION.
- ALL INTERIOR FURNISHINGS ARE BY THE TENANT UNLESS OTHERWISE NOTED.
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL ITEMS.
- SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR BASE BUILDING RELEVANT NOTES AND DETAILS.
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR HEATING, VENTILATION, AIR CONDITIONING, LIGHTS, AND SPRINKLERS.
- ALL CONSTRUCTION TO CONFORM TO 2012 ONTARIO BUILDING CODE SECTION 3.8 BARRIER-FREE DESIGN.
- CAULK AND SEAL ALL AROUND OPENINGS AT PENETRATIONS.
- FOR ALL ELECTRICAL, AV & MECHANICAL EQUIPMENT MOUNTING HEIGHTS REFER TO ENGINEERING DRAWINGS.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE COMPLEMENTARY. ANYTHING SHOWN ON ARCHITECTURAL DRAWINGS AND NOT SHOWN ON STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS OR VISE VERSA, SHALL BE INTERPRETED AS BEING SHOWN ON ALL FOUR. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS
- ALL STEEL STUDS TO BE DESIGNED & STAMPED BY PROFESSIONAL ENGINEER LICENSED IN ONTARIO - SUBMIT SHOP DRAWINGS
- CONCRETE FLOORS TO BE SMOOTH & LEVEL WITH A MAXIMUM DEVIATION OF 1/2 INCH IN 20 FEET READY TO ACCEPT TENANT'S FLOOR FINISH MATERIAL UNLESS NOTED OTHERWISE ON FLOOR PLAN OR SPECIFICATIONS - TO COMPLY WITH TENANTS REQUIREMENTS.
- SEE DOOR SCHEDULE FOR DOOR & FRAME TYPE, SIZE & HARDWARE.
- METAL ROOF DECK CEILING TO BE SUITABLE FOR PAINT WITHOUT ADDITIONAL PREPARATION BY TENANT
- ROUGH IN OF WASHROOM FIXTURES TO BE BY GENERAL CONTRACTOR & LOCATION OF SUITE FINAL LAYOUT TO FOLLOW ON COMMERCIAL AND RESIDENTIAL SUITES IDENTIFIED AS 'BY FUTURE PERMITS'. EACH TENANT IDENTIFIED AS SUCH TO OBTAIN SEPARATE PERMIT FOR ALL INTERIOR WORK.
- HVAC BY GENERAL CONTRACTOR & TO SUIT FINAL COMMERCIAL TENANT LAYOUT (TO FOLLOW) WHERE APPLICABLE.
- TENANT TO OBTAIN A SEPARATE PERMIT REGARDING EXTERIOR SIGNAGE.
- SHOP QUALITY SPRINKLER DRAWINGS COMPLETE WITH HYDRAULIC CALCULATIONS TO BE SUBMITTED TO THE CITY UNDER SEPARATE COVER BY THE SUCCESSFUL CONTRACTOR'S SPRINKLER SYSTEM DESIGN ENGINEER WHEREVER SPRINKLERS ARE REQUIRED.
- USE HILTI FS601 OR FS-ONE FLEXIBLE FIRE STOP AT TOP OF ALL FIRE RATED WALLS AT ROOF DECKS AND WALL PENETRATIONS TO SUIT RATING OF WALL (TYP.)
- ALL R.W.L. TO BE TIGHT TO BACK OF COLUMNS (STEEL)
- 50mm METAL STRAPS @ 600 o.c. AT ALL DOUBLE WALL CONSTRUCTION TO SECURE BATT INSULATION IN PLACE.
- ALL STEEL STRUCTURAL MEMBERS TO BE WITHIN STUD CAVITIES
- PIPING, TUBING, DUCTS, CHIMNEYS, OPTICAL FIBRE CABLES, ELECTRICAL WIRES AND CABLES, TOTALLY ENCLOSED NON-COMBUSTIBLE RACEWAYS, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR BUILDING SERVICES THAT PENETRATE A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING, OR A FIRE SEPARATION, SHALL BE SEALED BY A FIRE STOP SYSTEM.
- AT ALL TRANSITIONS OF MATERIALS, JOINTS TO BE CAULKED c/w BACKER ROD
- WRAP ENTIRE PERIMETER OF ROUGH OPENINGS WITH PEEL AND STICK MEMBRANE BEFORE INSTALLATION OF WINDOW AND DOOR FRAMES.
- PROVIDE 12.7mm EXTERIOR GRADE PLYWOOD @ ALL SIGNAGE, AWNINGS, LIGHT FIXTURE LOCATIONS, AND GAS PIPES UNLESS OTHERWISE NOTED. PROVIDE WOOD BLOCKING FOR ALL WASHROOM FIXTURES, ELECTRICAL & MECHANICAL FIXTURES WHERE APPLICABLE (TYP.)
- GENERAL CONTRACTOR TO ENSURE THAT FIRE RATING OF DEMISING WALLS IS NOT ALTERED FROM THE DESIGNATED WALL CONSTRUCTION LISTED
- GAS PIPES TO BE PAINTED SAME COLOR AS WALL OR CEILING ON WHICH THEY ARE MOUNTED. w/ YELLOW STRIPES SPACED @ 4'-0" FROM EACH OTHER
- WHERE FIRE RATED WALL RUNS PERPENDICULAR TO METAL DECK, DRYWALL TO FOLLOW DECK CONTOUR c/w 12mm TO 20mm GAP. FILL ALL VOIDS WITH FIRE STOP MINERAL WOOL AND FIRE STOP CAULKING/SPRAY TO MAINTAIN WALL FIRE RATING.
- HORIZONTAL JOINT @ DEFLECTION TRACK CAULKING TO MAINTAIN FIRE RATING (TYP.)
- VERTICAL DRYWALL CONTROL JOINT TO BE @ EVERY STEEL COLUMN TYP. (SEE SPECIFICATIONS)
- PAINT EXTERIOR H.M. DOOR EDGES
- GRADES SHOWN ON FLOOR PLANS, ELEVATIONS, AND SECTION DATUM TAGS ARE FOR REFERENCE ONLY. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL GRADES WITH GRADING PLAN.
- GENERAL CONTRACTOR TO BOX IN ALL ELEC. & MECH. SERVICES NOT CONCEALED IN WALLS UNLESS OTHERWISE NOTED. PROVIDE ACCESS PANELS WHERE APPLICABLE.
- GENERAL CONTRACTOR TO CLEAN (SCRAPE AND VACUUM) BOTTOM OF STUD TRACK BEFORE BATT TYPE INSULATION INSTALLATION.
- REFER TO WALL TYPES, ULC MANUAL, AND OBC DRAWINGS FOR ALL FIRE RATINGS REQUIRED FOR ALL INTERIOR AND EXTERIOR WALLS. NO SUBSTITUTIONS FOR GYPSUM BOARD LISTED IN THE ULC MANUAL FOR THE FIRE RATED WALLS.
- FIRE STOP NOTE: FOR ALL DOUBLE STUD WALLS WITHIN AN AIR SPACE MORE THAN 25mm - PROVIDE 12.7 EXTERIOR GRADE GYPSUM WALL BOARD FIRE STOP @ 3m o.c. VERTICAL INTERVALS x 20m o.c. HORIZONTAL INTERVALS OR FILL CAVITY WITH BATT TYPE INSULATION.

### NOTES: ONTARIO BUILDING CODE INTERIOR FINISHES:

- ALL SURFACES FOR EXIT STAIRS, LOBBIES (ELEVATOR), SERVICE ROOMS MEET:
- FLAME SPREAD RATING: 25
  - SMOKE DEVELOPED RATING: 50

- 10% MAX. OF A SURFACE WITHIN AN EXIT OR LOBBY:
- FLAME SPREAD RATING: 150
  - SMOKE DEVELOPED RATING: 300

- ALL OTHER WALLS:
- FLAME SPREAD RATING: 150
  - SMOKE DEVELOPED RATING: 0

- COMBUSTIBLE CEILING FINISHES:
- FLAME SPREAD RATING: 25

## GENERAL NOTES FOR SLAB EDGE DRAWINGS

- FOR STAIR OPENINGS AND SLAB EDGE DETAILS REFER TO THE PRECAST STAIR SHOP DRAWINGS.
- FOR ELEVATOR SHAFT OPENING REFER TO ELEVATOR SHOP DRAWINGS.
- FOR DUCT/SHAFT OPENING AND PENETRATIONS THROUGH WALLS & FLOORS, REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. COORDINATE ALL PENETRATIONS FOR LIGHTING w/ ELECTRICAL ENGINEERS DRAWINGS PRIOR TO CONSTRUCTION OF FLOOR SLABS.
- FOR DOOR AND WINDOW OPENINGS THROUGH WALLS, CHECKS IN FLOORS, ELEMENTS TO BE CAST INTO FLOORS - COORDINATE WITH OTHER ARCHITECTURAL DRAWINGS, SPECIFICATIONS AND DOOR AND WINDOW SHOP DRAWINGS.
- PROVIDE POCKETS FOR PRECAST
- PROVIDE POCKETS FOR PRECAST ANCHORS. FOR LOCATIONS AND DETAILS COORDINATE WITH PRECAST CONCRETE SHOP DRAWINGS.
- ALL STRUCTURAL WALL THICKNESSES, COLUMN SIZES AND BEAM SIZES TO BE CONFIRMED BY STRUCTURAL DRAWINGS.
- FOR ROOF ANCHORS AND DAVIT BASES ON ROOF SLAB REFER TO ROOF ANCHOR SYSTEM PLAN FOR LOCATIONS AND DETAILS.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTER WALL DETAILS AND DIMENSIONS.
- ALL NOTCHES SHOWN FOR CURTAIN WALL & WINDOW WALL CONNECTION LOCATIONS ARE STRICTLY DIAGRAMMATIC. CONFIRM ALL LOCATIONS WITH CURTAIN WALL SHOP DRAWINGS PRIOR TO CONSTRUCTION OF SLAB

- DENOTES SLOPE DIRECTION OF CONCRETE SLAB
- ⊙ DENOTES TOP OF STRUCTURAL SLAB (T.S.S.)

## GENERAL NOTES FOR WALLS WITH S.T.C. RATINGS

- WALLS MUST EXTEND SLAB TO SLAB.
- THERE IS TO BE A MINIMUM AMOUNT OF STUDS PER WALL. (NO ADDITIONAL STUDS SHOULD BE INSTALLED)
- INNER AND OUTER LAYERS OF DRYWALL SHOULD HAVE NO GAPS OVER 6 MM.
- INNER LAYERS SHOULD BE TAPED BUT NOT SANDED.
- JOINTS MUST BE STAGGERED.
- FIRE RATED CAULKING SHOULD BE USED AS THE PRIMARY SEALANT.
- FIRE RATED CAULKING SHOULD BE DONE ON ALL LAYERS OF DRYWALL AROUND ENTIRE PERIMETER EXCEPT AT DRYWALL JOINTS.
- FIRE RATED CAULKING ON ANY GAP OVER 6 MM MUST BE OVER ROD BACKUP. BUT GAPS OVER 6 MM ARE TO BE AVOIDED.
- ELECTRICAL BOXES ON OPPOSING FACES OF THE WALL SHOULD BE LOCATED IN SEPARATE STUD CAVITIES.
- FIT DRYWALL TIGHTLY WITHIN 6 MM OF ALL SERVICES INCLUDING ELECTRICAL BOXES FOR EACH DRYWALL LAYER.
- ALL ELECTRICAL SERVICES IN PARTY WALLS SHOULD HAVE BACK BOXES.
- FIBERGLASS OR MINERAL FIBER BATT SHOULD BE RUN BEHIND AND AROUND ALL ELECTRICAL BOXES.
- ALL PENETRATIONS THROUGH RATED WALLS MUST BE SEALED AIR-TIGHT WITH A COMBINATION OF JOINT COMPOUND AND CAULKED
- NO DRYWALL IS TO PASS BETWEEN ROOMS. FOR EXAMPLE DRYWALL IS TO BE BROKEN (SEPARATED) AT TEES, CROSS AND CORNER JUNCTIONS. THIS AVOIDS A DIRECT LINK BETWEEN THE TWO ROOMS WHICH WOULD DECREASES STC RATINGS CONSIDERABLY.
- BLOCKING INSTALLED IN THE DEMISING WALLS SHOULD NOT BRIDGE THE TWO FACES OF THE WALLS, BUT BE INSTALLED ONLY ON THE FACE OF THE STUDS ACCEPTING THE CABINETRY
- BLOCKING FOR CABINETS WILL BE REPLACING PART OF THE INNER LAYER OF A DOUBLE LAYER DRYWALL WALL WITH PLYWOOD, WHEREVER PLYWOOD IS USED INSTEAD OF DRYWALL. SEAL ALL AROUND THE PLYWOOD TO THE ADJACENT DRYWALL.
- BATT TYPE INSULATION FOR INTERIOR WALLS MAY BE MINERAL WOOL OR FIBERGLASS - AT OWNER'S DISCRETION

## GENERAL NOTES FOR ROOF PLANS

- DRAINAGE:**
- CO-ORD ROOF DRAIN LOCATIONS AS SHOWN W/ MECH. DWGS.
  - ROOF TRUSS /BEAM FRAMING TO BE SHIMMED /LOWERED AS REQ'D. @ LOW POINTS ALONG GRIDS TO PROVIDE ROOF SLOPE. CO-ORD W/ STRUCT DWGS.
  - PROVIDE TAPERED ROOF INSULATION AS REQ'D TO ACHIEVE POSITIVE DRAINAGE IN ALL NOTED AREAS.
  - ENSURE THAT RAIN WATER LEADERS ARE GROUPED (SEE MECH. DWGS).

- ROOF ASSEMBLY:**
- PROVIDE MANUF SPECS & DETAILS FOR APPROVAL BY ARCHITECT, FOR NEW ROOF SYSTEM, C/W RIGID INSULATION & BASE SHEATHING. SEE TYP. SEC. DETAILS.\*\*
  - SEE MECH /ELECT DWGS FOR ROOF EQUIPMENT OPENINGS, CURBS, ETC & ROOF MEMBRANE MANUFACTURER'S INSTALLATION DETAILS /SPCS AT ALL LOCATIONS.\*\*

- WARRANTY:**
- PROVIDE WRITTEN WARRANTY FROM BOTH THE ROOFING CONTRACTOR & THE ROOFING MEMBRANE MANUFACTURER, CO-ORD WITH OWNER FOR REQUIREMENTS. THIS WARRANTY SHALL COVER BOTH MATERIALS & WORKMANSHIP FOR ALL COMPONENTS OF THE ROOFING SYSTEM INCLUDING, BUT NOT LIMITED TO ROOF MEMBRANE, FLASHING, MECHANICAL & ELECTRICAL EQUIPMENT PENETRATIONS AND TERMINATIONS W/ OTHER ELEMENTS OF THE BUILDING ENVELOPE SYSTEM.

- COORDINATE PRO BEL SAFETY ROOF ANCHORS W/ STRUCTURAL ENGINEERING DRAWINGS FOR REQUIRED STRUCTURAL CONNECTIONS
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS


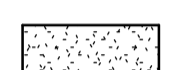
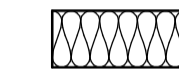


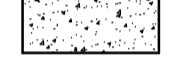



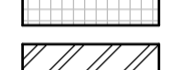
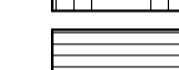



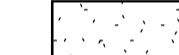

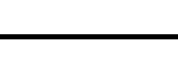
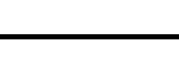
## GENERAL NOTES FOR FLOOR FINISH PLANS

- ALL WALL TILE LOCATIONS TO BE SHOWN ON INTERIOR ELEVATIONS AND ALL RELATED DETAILING ON ARCHITECTURAL DRAWINGS.
- ALL FLOORING MATERIALS AND RELATED WALL TILES TO BE INSTALLED IN FULL ACCORDANCE WITH SPECIFICATIONS AND RELATED ARCHITECTURAL DETAILS.
- METAL TRANSITION STRIPS ARE TO BE SUPPLIED AND INSTALLED AT ALL TRANSITIONS BETWEEN DISSIMILAR FLOOR FINISHES AS PER SPECIFICATIONS.
- TILE EDGING STRIPS ARE TO BE USED AT ALL TILE EDGES AS NOTED IN SPECIFICATIONS.
- ALL FLOORING MATERIALS ARE TO BE INSTALLED ONLY ONCE ALL SUBFLOOR CONDITIONS ENSURING PROPER INSTALLATION ARE MET (INCLUDING ALL REQUIRED FLOOR LEVELING ON STRUCTURE).
- ANY FLOORING MATERIALS EXHIBITING IMPROPER ADHESION, SIGNS OF TELEGRAPHING, CALENDERING, OR IRREGULARITIES THROUGH THE FINISHED SUBFLOOR, ETC. MAY BE DEEMED UNSUITABLE - REQUIRING RECTIFICATION TO THE ARCHITECT'S STANDARDS.
- EXTEND ALL FLOORING UNDER MILLWORK IN COMMON BUILDING AREAS
- FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE FLOORING MATERIAL LEGEND FOR NOTES ON INSTALLATION
- ALL FINISHING PRODUCING NOXIOUS OR IRRITATING FUMES OR ODORS (ELECTROSTATIC PAINTING, FLOOR FINISHES, ETC.) SHALL BE DONE ONLY AFTER BUILDING MANAGEMENT REVIEW AND ONLY AFTER BUSINESS HOURS.
- ALL VCT, RUBBER, & OTHER HARD SURFACE FLOORING TO BE PREPPED AND SEALED TO MANUFACTURERS' RECOMMENDATIONS
- REFER TO ARCHITECTURAL SPECIFICATIONS FOR MORE NOTES ON FLOOR FINISHES

## GENERAL NOTES FOR SUITE PLANS

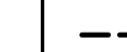




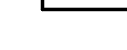


- BATHROOMS:**
- PROVIDE WOOD BLOCKING BEHIND TOILETS & BATHTUBS TO PROVIDE FOR FUTURE GRAB BARDS & ACCESSORIES. SEE TYPICAL SUITE ELEVATIONS & DETAILS.
  - BATHROOM VANITY w/ RECESSED SINK & BASE CABINETS ARE TYPICAL. COORDINATE WIDTH.
  - COORDINATE MIRROR CABINET RECEIVED IN WALL. COORDINATE SIZE (SPEC. TBD)
  - COORDINATE TOWEL BAR(S), TOILET PAPER DISPENSER LOCATIONS.
  - DIMENSIONS OF TUB/SHOWER SUIT TO FIT MANUFACTURER.
  - PROVIDE WOOD BLOCKING SUPPORT FOR OPTIONAL FUTURE GRAB BARS TOWEL BAR & DISPENSERS.
  - ALL WALLS & CEILINGS TO HAVE MOLD RESISTANT GYPSUM BOARD
  - SUITE WASHROOM WALL STUD FRAMING TO BE FILLED TO ABOVE CEILING w/ SOUND BATT (TYPICAL)
- KITCHEN:**
- KITCHENS SHOWN FOR GENERAL LAYOUT, CABINETRY & COUNTER-TOP STYLE, FINISHES, HARDWARE, ETC. TBD. PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL.\*
  - PROVIDE REQ'D BACKING AS PER MANUF. SPEC
- LAUNDRY / WASHER/DRYER CLOSET**
- COORDINATE DIMENSIONS & CLEARANCES REQUIRED FOR WASHER/ DRYER UNIT, PLUMBING CONNECTIONS, & DOOR FRAME CLEARANCE (TYPICAL)
  - FLOOR DRAIN TO BE INSTALLED IN LAUNDRY ROOM (TYPICAL) REFER TO MECH/ ELECT. DWGS.
  - COORDINATE 'FLOOD SAVER' OR APPROVED EQUAL (REFER TO MECHANICAL)

## MATERIAL NOTES

	ALUMINUM		PLASTER
	BATT / FIBRE INSULATION		PLYWOOD
	BRICK		PRECAST (CONCRETE)
	CONCRETE		RIGID INSULATION
	CONCRETE BLOCK		SEMI-RIGID INSULATION
	EARTH		STEEL
	GLASS		STONE
	GRAVEL		TILE
	GYPSUM BOARD		WOOD

## SYMBOL LEGEND

### FIRE STRATEGY LEGEND

	00 min (0HR)
	60 min (1.0HR)
	90 min (1.5HR)
	120 min (2.0HR)
	180 min (3.0HR)
	TRAVEL DISTANCE
	SEPARATION DISTANCE BETWEEN EXITS
	DEAD END TRAVEL DISTANCE
	FIRE HOSE LENGTH

## GENERAL NOTES FOR DEMOLITION PLANS

- ALL DEMOLITION TO MAKE GOOD ALL CONNECTIONS.
- DASHED LINES ON DEMOLITION PLAN REPRESENT WALLS, DOORS, WINDOWS, MILLWORK, PLUMBING FIXTURES, ETC. TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN. MAKE GOOD ALL CONNECTIONS.
- THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION PLAN WITH HVAC, ELECTRICAL AND PLUMBING REQUIREMENTS. REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL OR PLUMBING REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DEVIATION FROM THE DRAWINGS.
- MAINTAIN ACCESS TO EXITS AT ALL TIMES ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
- PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING.
- CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
- DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF SITE. COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ANY HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION. NOTIFY
- OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING WITH OTHER WORK.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.



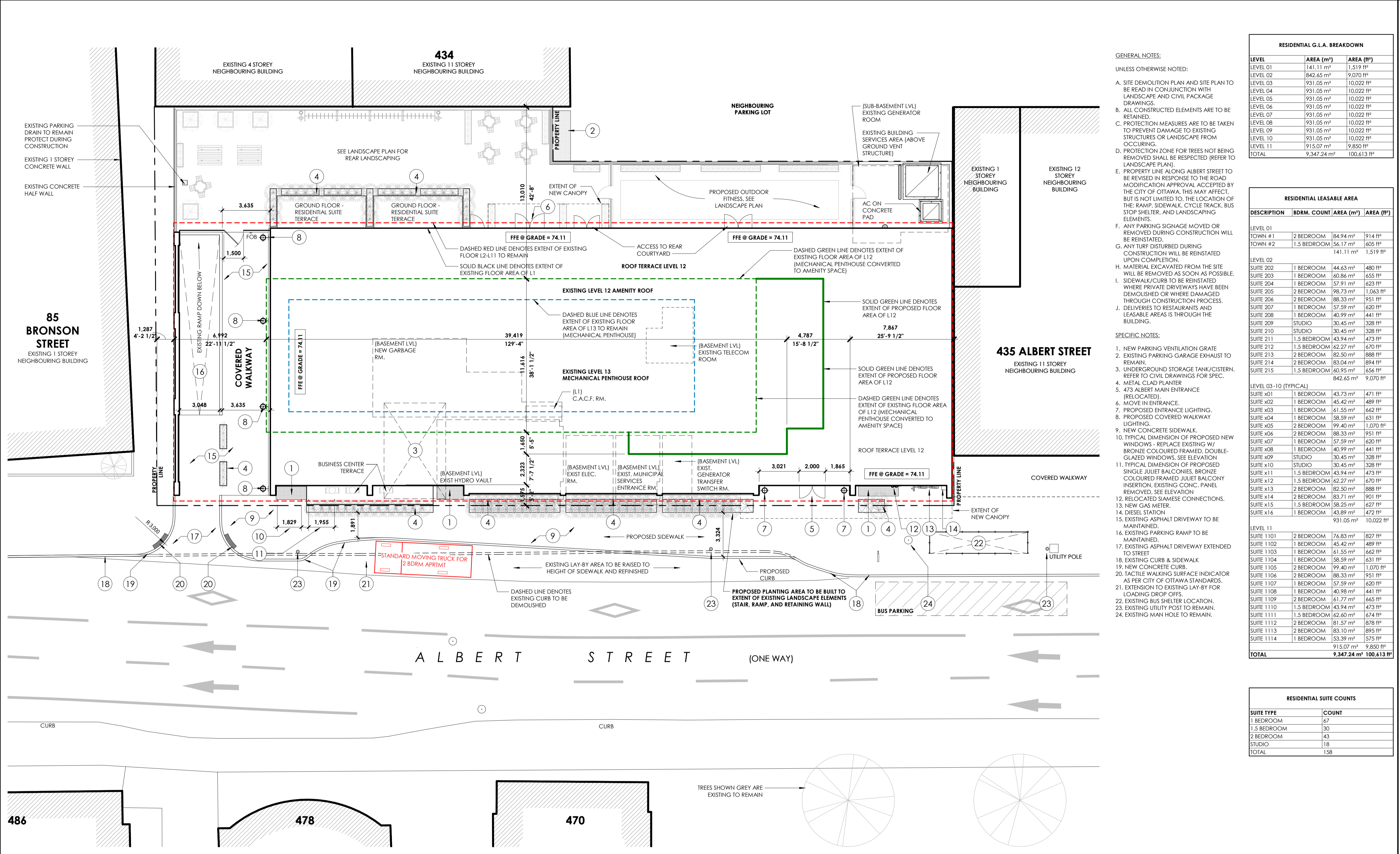
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

## GENERAL NOTES









**1 PROPOSED SITE PLAN**  
A0-801 1:150  
A0-200

Item	Field	Data	Item	Field	Data
1	LEGAL DESCRIPTION	PLAN 3922 LOT 25 S PT LOT 23; PT LOT 24	9	LOADING ZONE	REQUIRED: RESIDENTIAL: 0 spaces (min) PROPOSED: 1 SHARED LOADING ZONE
2	CURRENT ZONING PERMITTED USES:	RSP[2469][H][S7] APARTMENT DWELLINGS (HIGH RISE), RESTAURANT (CONDITIONAL), OFFICE (CURRENT EXCEPTION)	10	PARKING	REQUIRED: RESIDENTIAL: 0.5 / UNIT = 237 spots VISITOR: 0 FOR 1ST 12 UNITS, THEN 0.1 PER DWELLING UNIT = 14 SPOTS PROPOSED: RESIDENTIAL: 42 VISITOR: 10 TOTAL: 52
3	LOT AREA	1,979.01 m <sup>2</sup> (EXISTING UNCHANGED)	11	BICYCLE PARKING	REQUIRED: RESIDENTIAL: 0.5 / UNIT = 79 SPACES TOTAL: 79 SPACES PROPOSED: BASEMENT 36 HORIZONTAL BASEMENT 18 VERTICAL LEVEL 01 32 HORIZONTAL TOTAL: 86
4	LOT FRONTAGE	60.35 m (EXISTING UNCHANGED)	12	LANDSCAPED AREAS	REQUIRED: 593.7 m <sup>2</sup> (30% OF LOT AREA) PROPOSED: GROUND LEVEL: 162 m <sup>2</sup> L12 ROOF TERRACE: 585 m <sup>2</sup> TOTAL: 747 m <sup>2</sup>
5	BUILDING AREA	1,276.40 m <sup>2</sup> (EXISTING UNCHANGED)	13	DRIVE AISLES	REQUIRED: DOUBLE TRAFFIC LANE: MIN: 6m; MAX: 3.6m FOR LESS THAN 20 PARKING SPACES, 6.7m FOR 20 OR MORE PARKING SPACES PROPOSED: SEE PLANS
6	BUILDING SETBACKS	FRONT YARD REQUIRED: 3m FRONT YARD (EXISTING): 0m REAR YARD (REQUIRED): 7.5m REAR YARD (EXISTING): 4.7m INTERIOR SIDE YARD (REQUIRED): 1.5m FOR FIRST 21m, THEN 6m INTERIOR SIDE YARD (EXISTING): 0m (EAST) 1.5m (WEST)			
7	AMENITY SPACE	REQUIRED: 6m <sup>2</sup> x 158 DWELLING UNITS = 948m <sup>2</sup> PROPOSED COMMUNAL AMENITY: GROUND LEVEL, EXTERIOR: 162.81 m <sup>2</sup> GROUND LEVEL, INTERIOR: 382.53 m <sup>2</sup> L12, INTERIOR: 187.15 m <sup>2</sup> L12, EXTERIOR: 585.39 m <sup>2</sup> TOTAL: 1,317.88 m <sup>2</sup>			
8	BUILDING HEIGHT	HEIGHTS UNCHANGED; PROPOSED CHANGE TO USE AS FOLLOWS: 34.2M TO TOP OF MAIN ROOF (UNCHANGED) 37.6M TO TOP OF AMENITY PENTHOUSE (L12) (CURRENTLY MECH PENTHOUSE) 41.99M TO TOP OF MECHANICAL/ELEVATOR PENTHOUSE (UNCHANGED)			

LEVEL	EXISTING AREA	PROPOSED AREA	DIFFERENCE
BASEMENT (PARK./MECH.)	-	-	-
LEVEL 01 (RES./AMENITY)	708.78 m <sup>2</sup>	152.31 m <sup>2</sup>	- 556.47 m <sup>2</sup> [NEW EXT. WALL LOCATION, REPROGRAM]
LEVEL 02 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,099.52 m <sup>2</sup>	+ 35.88 m <sup>2</sup> [NEW FLOOR OPENING @ LOBBY, CORE MODIF.]
LEVEL 03 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 04 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 05 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 06 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 07 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 08 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 09 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 10 (RESIDENTIAL)	1,063.64 m <sup>2</sup>	1,094.73 m <sup>2</sup>	+ 31.09 m <sup>2</sup> [CORE MODIF.]
LEVEL 11 (RESIDENTIAL)	1,057.27 m <sup>2</sup>	1,079.50 m <sup>2</sup>	+ 22.23 m <sup>2</sup> [CORE MODIF.]
LEVEL 12 (AMENITIES)	-	-	-
LEVEL 13 (MECH.)	-	-	-
<b>TOTAL</b>	<b>11,338.81 m<sup>2</sup></b>	<b>10,999.21 m<sup>2</sup></b>	<b>- 339.60 m<sup>2</sup></b>

SUITE TYPE	COUNT
1 BEDROOM	67
1.5 BEDROOM	30
2 BEDROOM	43
STUDIO	18
<b>TOTAL</b>	<b>158</b>

**GENERAL NOTES:**  
UNLESS OTHERWISE NOTED:  
A. SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE AND CIVIL PACKAGE DRAWINGS.  
B. ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.  
C. PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.  
D. PROTECTION ZONE FOR TREES NOT BEING REMOVED SHALL BE RESPECTED (REFER TO LANDSCAPE PLAN).  
E. PROPERTY LINE ALONG ALBERT STREET TO BE REVISED IN RESPONSE TO THE ROAD MODIFICATION APPROVAL ACCEPTED BY THE CITY OF OTTAWA. THIS MAY AFFECT, BUT IS NOT LIMITED TO, THE LOCATION OF THE RAMP, SIDEWALK, CYCLE TRACK, BUS STOP SHELTER, AND LANDSCAPING ELEMENTS.  
F. ANY PARKING SIGNAGE MOVED OR REMOVED DURING CONSTRUCTION WILL BE REINSTATED.  
G. ANY TURF DISTURBED DURING CONSTRUCTION WILL BE REINSTATED UPON COMPLETION.  
H. MATERIAL EXCAVATED FROM THE SITE WILL BE REMOVED AS SOON AS POSSIBLE.  
I. SIDEWALK/CURB TO BE REINSTATED WHERE PRIVATE DRIVEWAYS HAVE BEEN DEMOLISHED OR WHERE DAMAGED THROUGH CONSTRUCTION PROCESS.  
J. DELIVERIES TO RESTAURANTS AND LEASABLE AREAS IS THROUGH THE BUILDING.  
**SPECIFIC NOTES:**  
1. NEW PARKING VENTILATION GRASTE  
2. EXISTING PARKING GARAGE EXHAUST TO REMAIN.  
3. UNDERGROUND STORAGE TANK/CISTERN. REFER TO CIVIL DRAWINGS FOR SPEC.  
4. METAL CLAD PLANTER  
5. 473 ALBERT MAIN ENTRANCE (RELOCATED).  
6. MOVE IN ENTRANCE.  
7. PROPOSED ENTRANCE LIGHTING.  
8. PROPOSED COVERED WALKWAY LIGHTING.  
9. NEW CONCRETE SIDEWALK.  
10. TYPICAL DIMENSION OF PROPOSED NEW WINDOWS - REPLACE EXISTING W/ BRONZE COLOURED FRAMED, DOUBLE-GLAZED WINDOWS, SEE ELEVATION  
11. TYPICAL DIMENSION OF PROPOSED SINGLE JULIET BALCONIES, BRONZE COLOURED FRAMED JULIET BALCONY INSERTION, EXISTING CONC. PANEL REMOVED, SEE ELEVATION  
12. RELOCATED SIAMSESE CONNECTIONS.  
13. NEW GAS METER.  
14. DIESEL STATION.  
15. EXISTING ASPHALT DRIVEWAY TO BE MAINTAINED.  
16. EXISTING PARKING RAMP TO BE MAINTAINED.  
17. EXISTING ASPHALT DRIVEWAY EXTENDED TO STREET  
18. EXISTING CURB & SIDEWALK  
19. NEW CONCRETE CURB.  
20. TACTILE WALKING SURFACE INDICATOR AS PER CITY OF OTTAWA STANDARDS.  
21. EXTENSION TO EXISTING LAY-BY FOR LOADING DROP OFFS.  
22. EXISTING BUS SHELTER LOCATION.  
23. EXISTING UTILITY POST TO REMAIN.  
24. EXISTING MAN HOLE TO REMAIN.

LEVEL	AREA (m <sup>2</sup> )	AREA (ft <sup>2</sup> )
LEVEL 01	141.11 m <sup>2</sup>	1,519 ft <sup>2</sup>
LEVEL 02	842.65 m <sup>2</sup>	9,070 ft <sup>2</sup>
LEVEL 03	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 04	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 05	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 06	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 07	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 08	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 09	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 10	931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 11	915.07 m <sup>2</sup>	9,850 ft <sup>2</sup>
<b>TOTAL</b>	<b>9,347.24 m<sup>2</sup></b>	<b>100,613 ft<sup>2</sup></b>

DESCRIPTION	BDRM. COUNT	AREA (m <sup>2</sup> )	AREA (ft <sup>2</sup> )
LEVEL 01			
TOWN #1	2 BEDROOM	84.94 m <sup>2</sup>	914 ft <sup>2</sup>
TOWN #2	1.5 BEDROOM	56.17 m <sup>2</sup>	605 ft <sup>2</sup>
		141.11 m <sup>2</sup>	1,519 ft <sup>2</sup>
LEVEL 02			
SUITE 202	1 BEDROOM	44.63 m <sup>2</sup>	480 ft <sup>2</sup>
SUITE 203	1 BEDROOM	60.86 m <sup>2</sup>	655 ft <sup>2</sup>
SUITE 204	1 BEDROOM	57.91 m <sup>2</sup>	623 ft <sup>2</sup>
SUITE 205	2 BEDROOM	98.73 m <sup>2</sup>	1,063 ft <sup>2</sup>
SUITE 206	2 BEDROOM	88.33 m <sup>2</sup>	951 ft <sup>2</sup>
SUITE 207	1 BEDROOM	57.59 m <sup>2</sup>	620 ft <sup>2</sup>
SUITE 208	1 BEDROOM	40.99 m <sup>2</sup>	441 ft <sup>2</sup>
SUITE 209	STUDIO	30.45 m <sup>2</sup>	328 ft <sup>2</sup>
SUITE 210	STUDIO	30.45 m <sup>2</sup>	328 ft <sup>2</sup>
SUITE 211	1.5 BEDROOM	43.94 m <sup>2</sup>	473 ft <sup>2</sup>
SUITE 212	1.5 BEDROOM	62.27 m <sup>2</sup>	670 ft <sup>2</sup>
SUITE 213	2 BEDROOM	82.50 m <sup>2</sup>	888 ft <sup>2</sup>
SUITE 214	2 BEDROOM	83.04 m <sup>2</sup>	894 ft <sup>2</sup>
SUITE 215	1.5 BEDROOM	60.95 m <sup>2</sup>	656 ft <sup>2</sup>
		931.05 m <sup>2</sup>	9,970 ft <sup>2</sup>
LEVEL 03-10 [TYPICAL]			
SUITE x01	1 BEDROOM	43.73 m <sup>2</sup>	471 ft <sup>2</sup>
SUITE x02	1 BEDROOM	45.42 m <sup>2</sup>	489 ft <sup>2</sup>
SUITE x03	1 BEDROOM	61.55 m <sup>2</sup>	662 ft <sup>2</sup>
SUITE x04	1 BEDROOM	58.59 m <sup>2</sup>	631 ft <sup>2</sup>
SUITE x05	2 BEDROOM	99.40 m <sup>2</sup>	1,070 ft <sup>2</sup>
SUITE x06	2 BEDROOM	88.33 m <sup>2</sup>	951 ft <sup>2</sup>
SUITE x07	1 BEDROOM	57.59 m <sup>2</sup>	620 ft <sup>2</sup>
SUITE x08	1 BEDROOM	40.99 m <sup>2</sup>	441 ft <sup>2</sup>
SUITE x09	STUDIO	30.45 m <sup>2</sup>	328 ft <sup>2</sup>
SUITE x10	STUDIO	30.45 m <sup>2</sup>	328 ft <sup>2</sup>
SUITE x11	1.5 BEDROOM	43.94 m <sup>2</sup>	473 ft <sup>2</sup>
SUITE x12	1.5 BEDROOM	62.27 m <sup>2</sup>	670 ft <sup>2</sup>
SUITE x13	2 BEDROOM	82.50 m <sup>2</sup>	888 ft <sup>2</sup>
SUITE x14	2 BEDROOM	83.71 m <sup>2</sup>	901 ft <sup>2</sup>
SUITE x15	1.5 BEDROOM	58.25 m <sup>2</sup>	627 ft <sup>2</sup>
SUITE x16	1 BEDROOM	43.89 m <sup>2</sup>	472 ft <sup>2</sup>
		931.05 m <sup>2</sup>	10,022 ft <sup>2</sup>
LEVEL 11			
SUITE 1101	2 BEDROOM	76.83 m <sup>2</sup>	827 ft <sup>2</sup>
SUITE 1102	1 BEDROOM	45.42 m <sup>2</sup>	489 ft <sup>2</sup>
SUITE 1103	1 BEDROOM	61.55 m <sup>2</sup>	662 ft <sup>2</sup>
SUITE 1104	1 BEDROOM	58.59 m <sup>2</sup>	631 ft <sup>2</sup>
SUITE 1105	2 BEDROOM	99.40 m <sup>2</sup>	1,070 ft <sup>2</sup>
SUITE 1106	2 BEDROOM	88.33 m <sup>2</sup>	951 ft <sup>2</sup>
SUITE 1107	1 BEDROOM	57.59 m <sup>2</sup>	620 ft <sup>2</sup>
SUITE 1108	1 BEDROOM	40.98 m <sup>2</sup>	441 ft <sup>2</sup>
SUITE 1109	2 BEDROOM	61.77 m <sup>2</sup>	665 ft <sup>2</sup>
SUITE 1110	1.5 BEDROOM	43.94 m <sup>2</sup>	473 ft <sup>2</sup>
SUITE 1111	1.5 BEDROOM	62.60 m <sup>2</sup>	674 ft <sup>2</sup>
SUITE 1112	2 BEDROOM	81.57 m <sup>2</sup>	878 ft <sup>2</sup>
SUITE 1113	2 BEDROOM	83.10 m <sup>2</sup>	895 ft <sup>2</sup>
SUITE 1114	1 BEDROOM	53.39 m <sup>2</sup>	575 ft <sup>2</sup>
		915.07 m <sup>2</sup>	9,850 ft <sup>2</sup>
<b>TOTAL</b>		<b>9,347.24 m<sup>2</sup></b>	<b>100,613 ft<sup>2</sup></b>

**INTERRENT REIT**  
485 BANK ST #207, OTTAWA, ON K2P 1Z2  
owner | propriétaire

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**Smith + Andersen**  
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**PARSONS**  
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Tel: 613-738-4160 Fax: 613-738-7105  
civil engineers | ingénieur civil

**Forest and Field Landscape Architecture**  
5 - 864 College Street Toronto Ontario M6H 1A3  
1 647 933 1151 forestandfield.ca  
landscape architects | architectes paysagistes

nord du projet  
nord actuel  
true north

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no revisions date

stamp | timbre

**ONTARIO ASSOCIATION OF ARCHITECTS**  
ANDREW REEVES  
LICENCE 6464

architect | architecte

**linebox STUDIO**

general notes | note générale  
1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.  
2. DO NOT SCALE THE DRAWINGS.  
3. NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

project title  
**473 ALBERT**  
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA  
drawing title | titre du dessin

**SITE PLAN - PROPOSED**

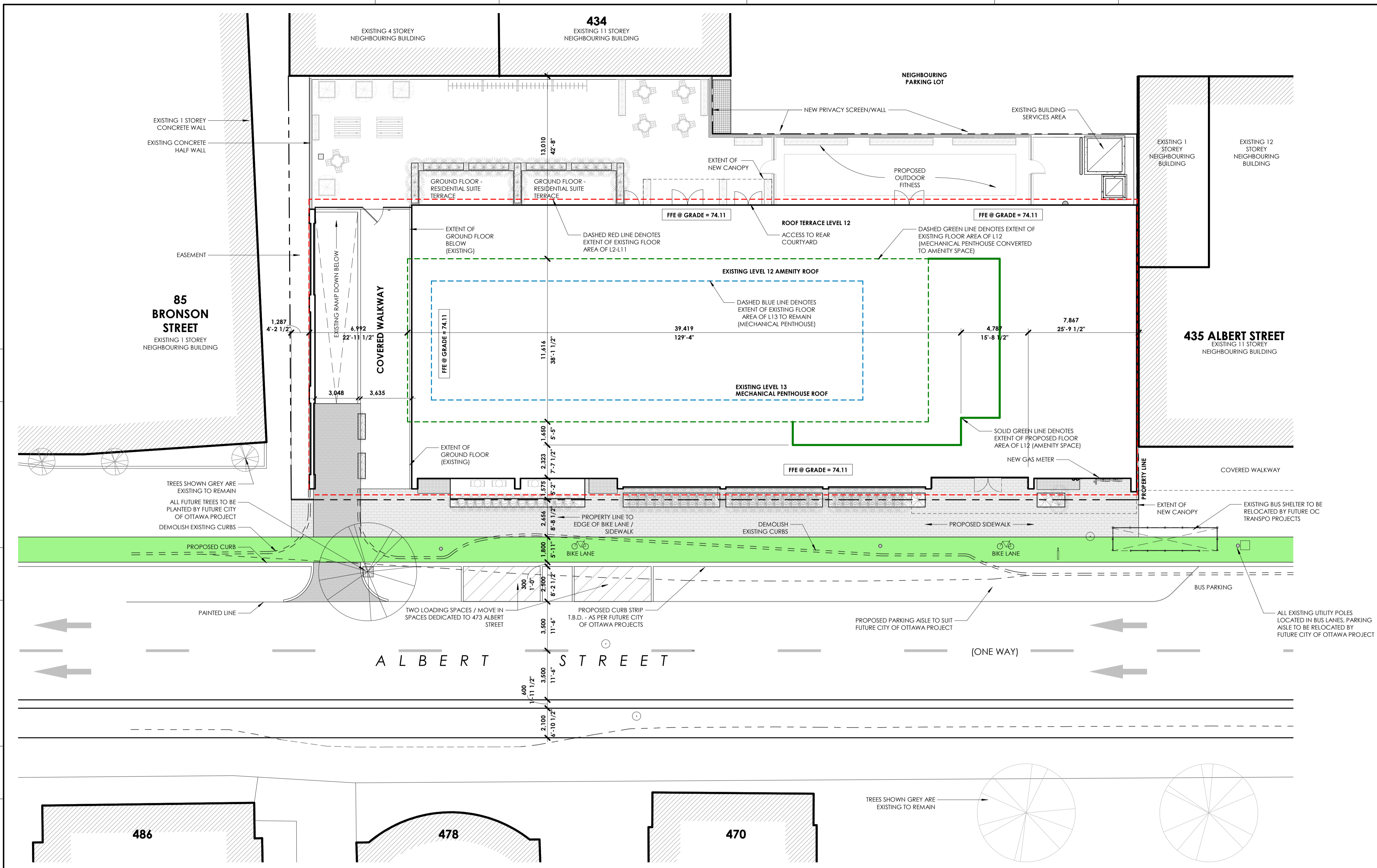
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drawn | dessiné **CK / LI / MP / JH**  
checked | vérifié **JM / AR**

date | date **03/23/20**  
scale | échelle **As indicated**

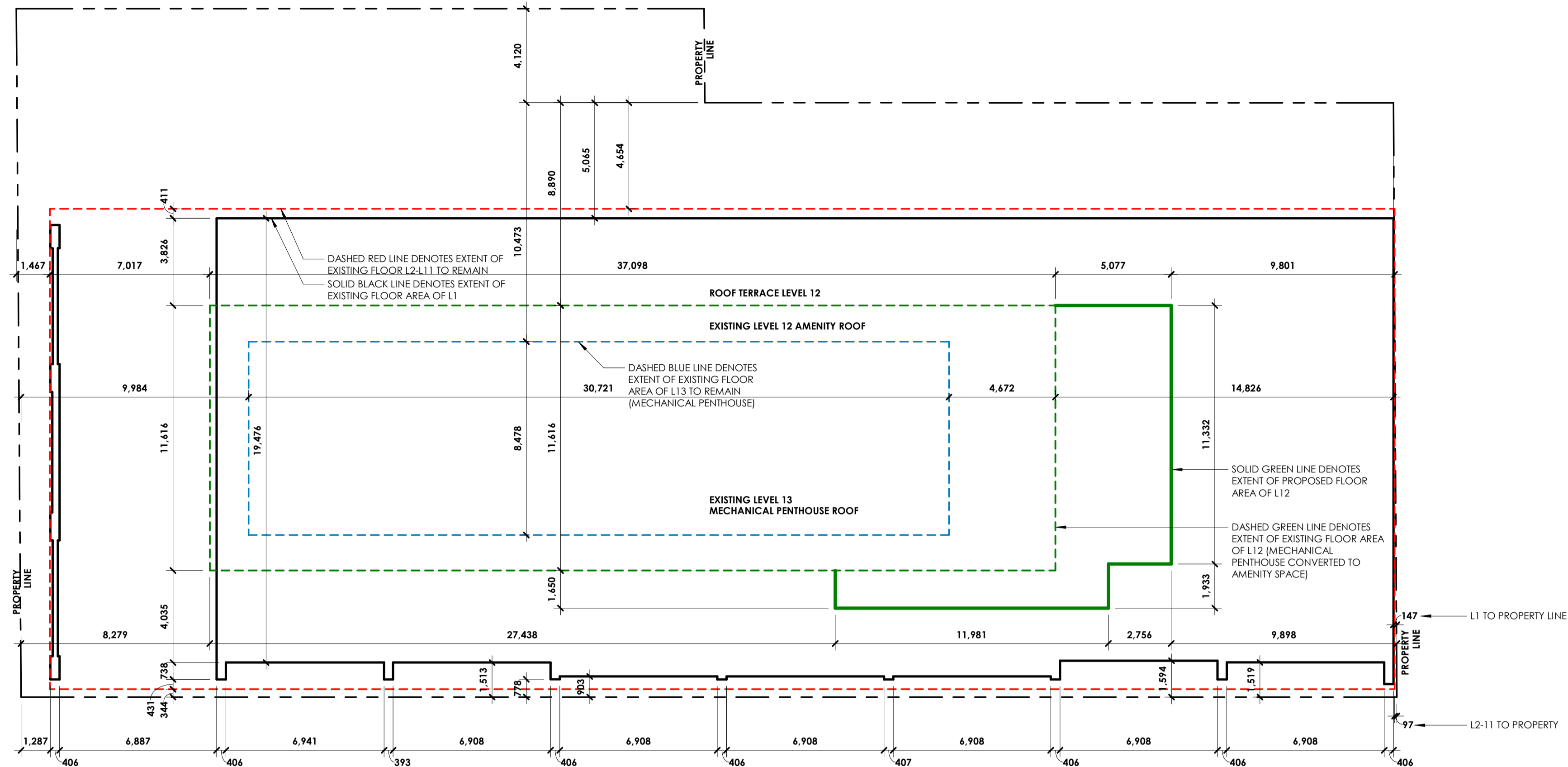
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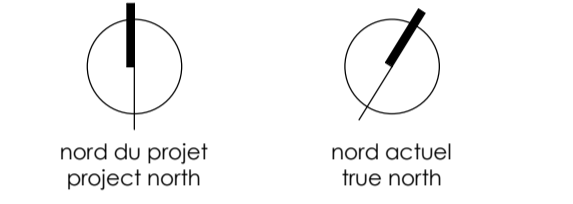
D07-12-19-0203



**1 ILLUSTRATIVE SITE PLAN - FUTURE ALBERT STREET RENEWAL PLAN**  
 A0-802 1:150  
 A0-200



**1 BUILDING SETBACK DRAWINGS**  
 A0-803 1:150  
 A0-200



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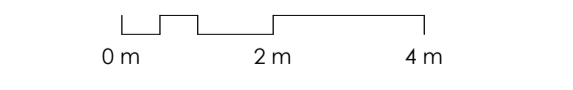
architect | architecte  
**linebox**  
 STUDIO

- general notes | note générale
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**INDEX TO BUILDING SETBACKS**

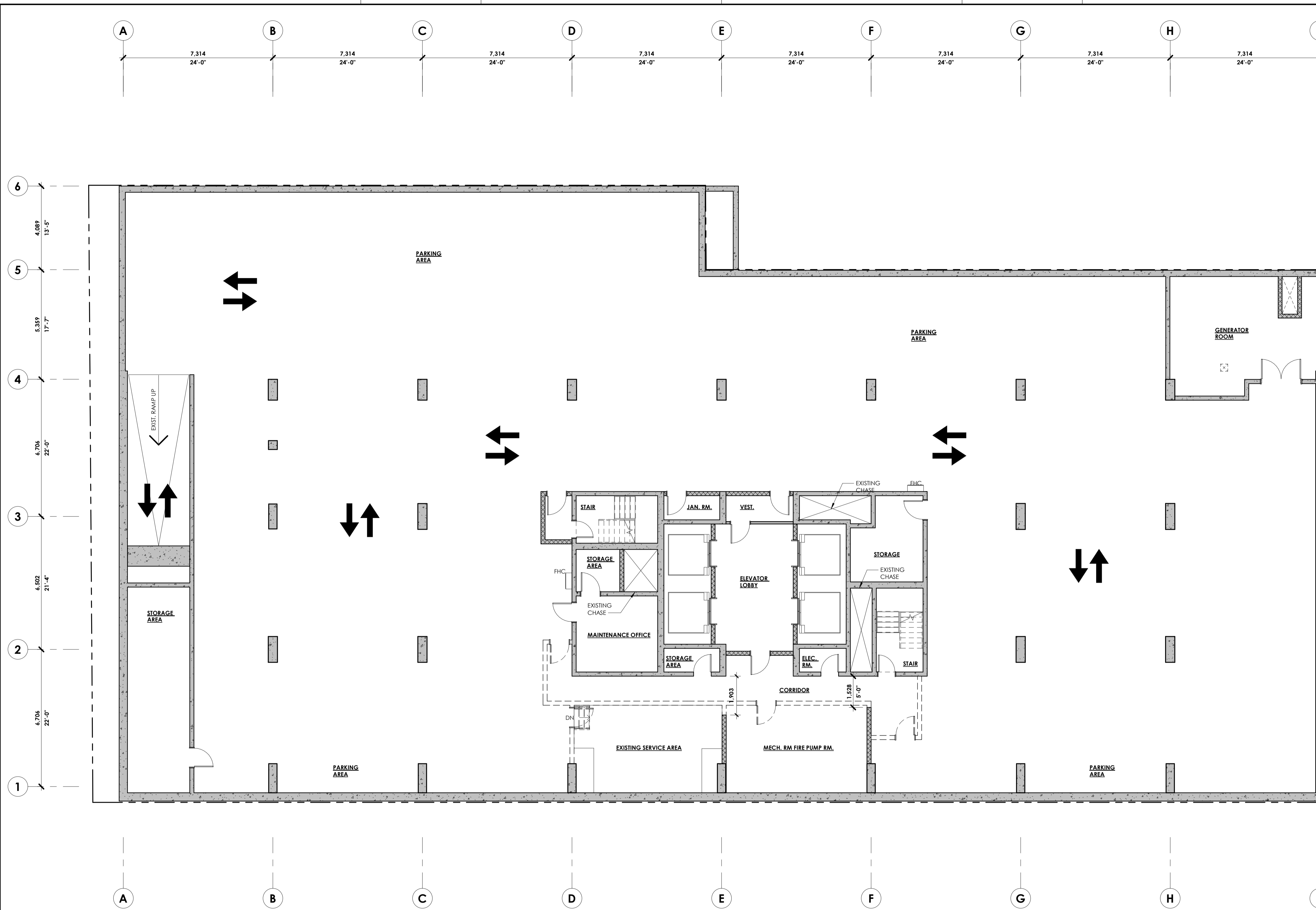
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 checked | vérifié **JM / AR**  
 date | date **03/23/20**  
 scale | échelle **1 : 150**



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**A0-803**

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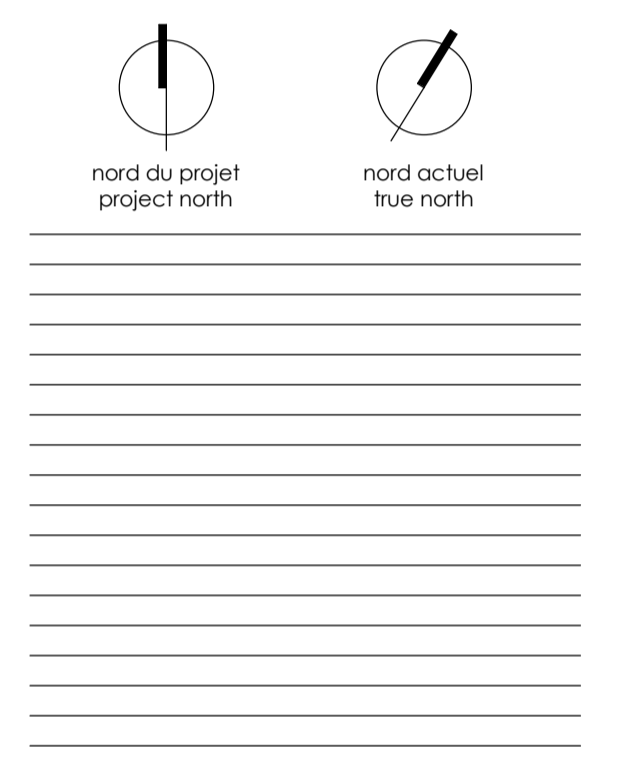




**1 SUB-BASEMENT DEMOLITION PLAN**  
 A1-099 1:100 AS-100

- NOTES:**
- EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
  - EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
  - EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.
  - REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

- LEGEND:**
- EXISTING ELEMENTS TO REMAIN
  - DEMOLISHED ELEMENTS



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 stamp | fibre



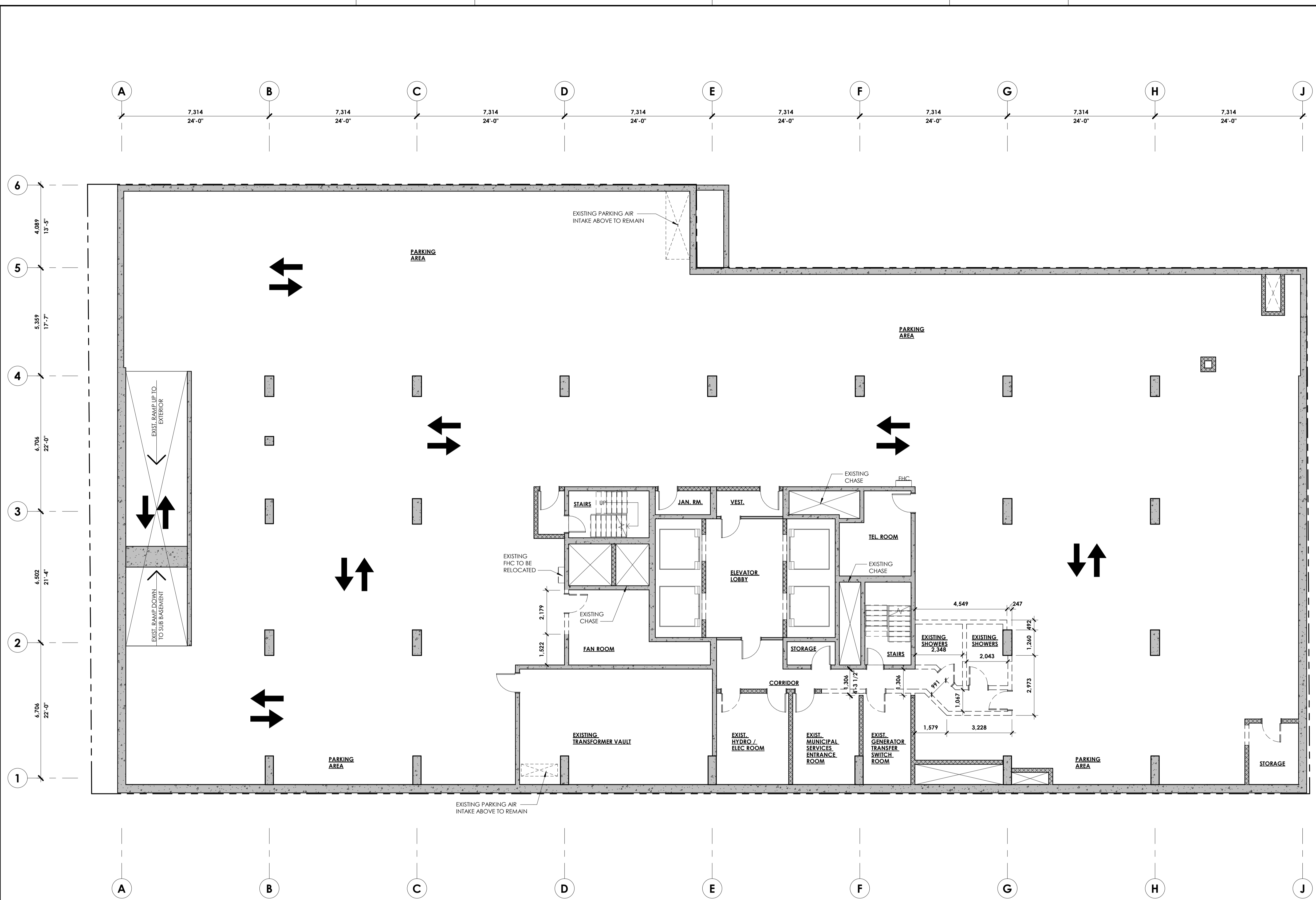
- general notes | note générale
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 PROPOSED MIXED-USE RENOVATION  
 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA  
 drawing title | titre du dessin

**SUB BASEMENT DEMOLITION PLAN**

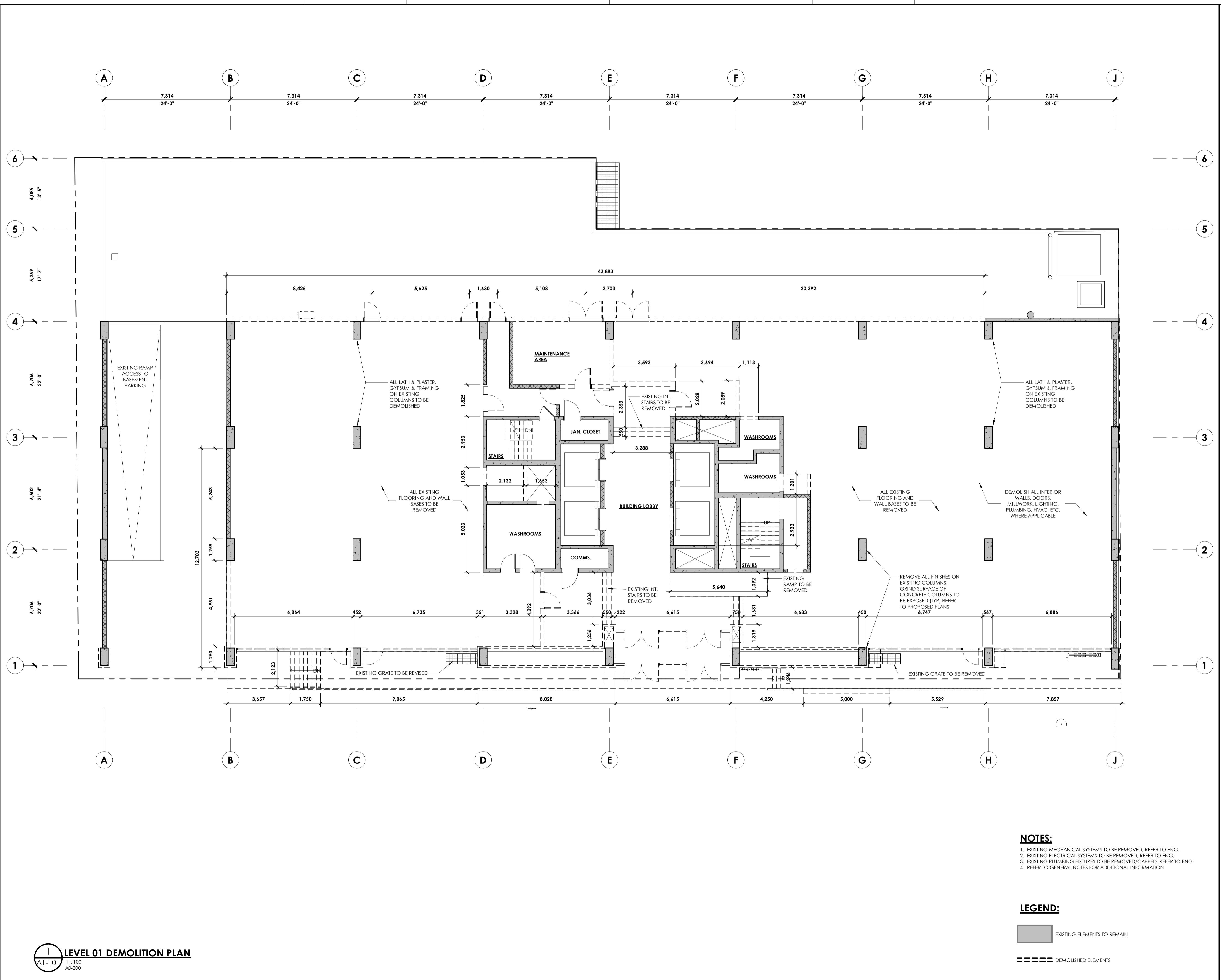
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 drawn | dessiné **CK / LI / MP / JH**  
 checked | vérifié **JM / AR**  
 date | date **03/23/20**  
 scale | échelle **As indicated**

drawing number | numéro du dessin  
**A1-099**

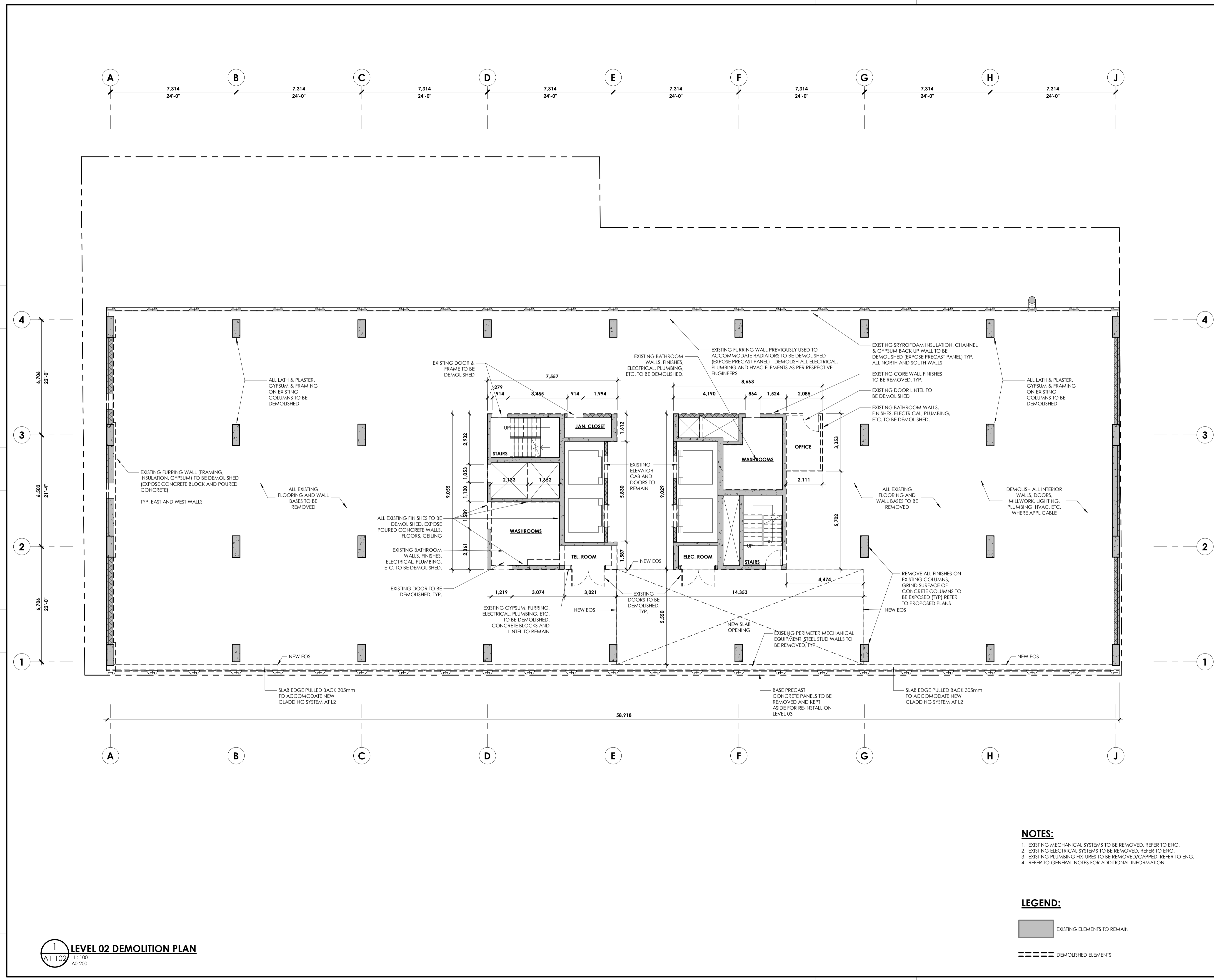


**1** BASEMENT DEMOLITION PLAN  
A1-100 1:100 AS-100

D07-12-19-0203

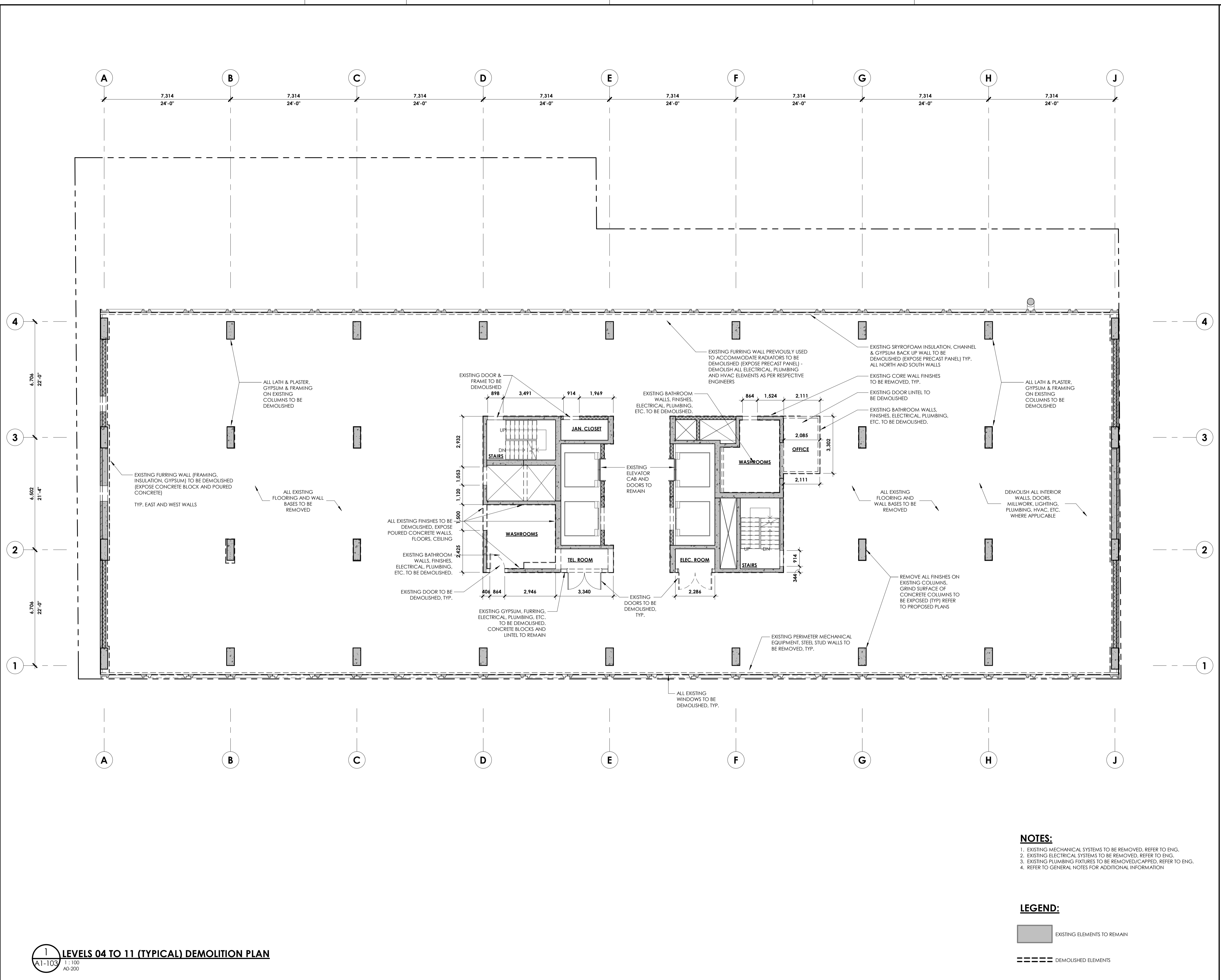


**1 LEVEL 01 DEMOLITION PLAN**  
 A1-101 1:100 AO-200



**NOTES:**  
 1. EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.  
 2. EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.  
 3. EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.  
 4. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

**LEGEND:**  
 [Solid Grey Box] EXISTING ELEMENTS TO REMAIN  
 [Dashed Line Box] DEMOLISHED ELEMENTS

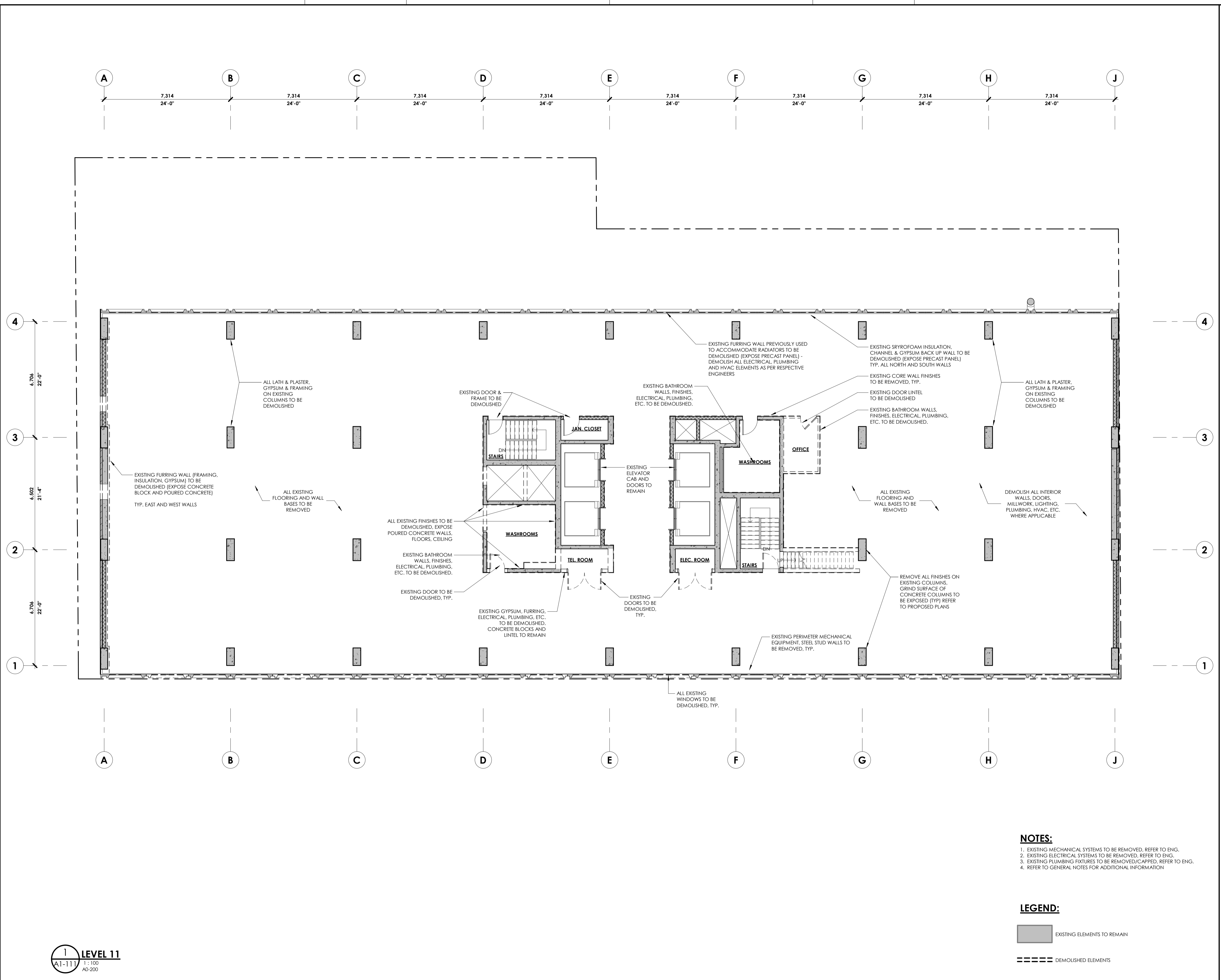


**NOTES:**  
1. EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.  
2. EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.  
3. EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.  
4. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

**LEGEND:**  
[Solid Grey Box] EXISTING ELEMENTS TO REMAIN  
[Dashed Line Box] DEMOLISHED ELEMENTS

**1 LEVELS 04 TO 11 (TYPICAL) DEMOLITION PLAN**  
A1-103 1:100 AD-200

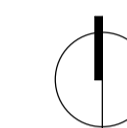
D07-12-19-0203



**NOTES:**  
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2. EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.  
3. EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.  
4. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

**LEGEND:**  
[Solid Grey Box] EXISTING ELEMENTS TO REMAIN  
[Dashed Line] DEMOLISHED ELEMENTS





nord du projet  
project north



nord actuel  
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architect | architecte

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STUDIO

general notes | note générale

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project title

**473 ALBERT**

PROPOSED MIXED-USE RENOVATION

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**LEVEL 13 DEMOLITION PLAN**

project number | numéro du projet **159**

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checked | vérifié **JM / AR**

date | date **03/23/20**

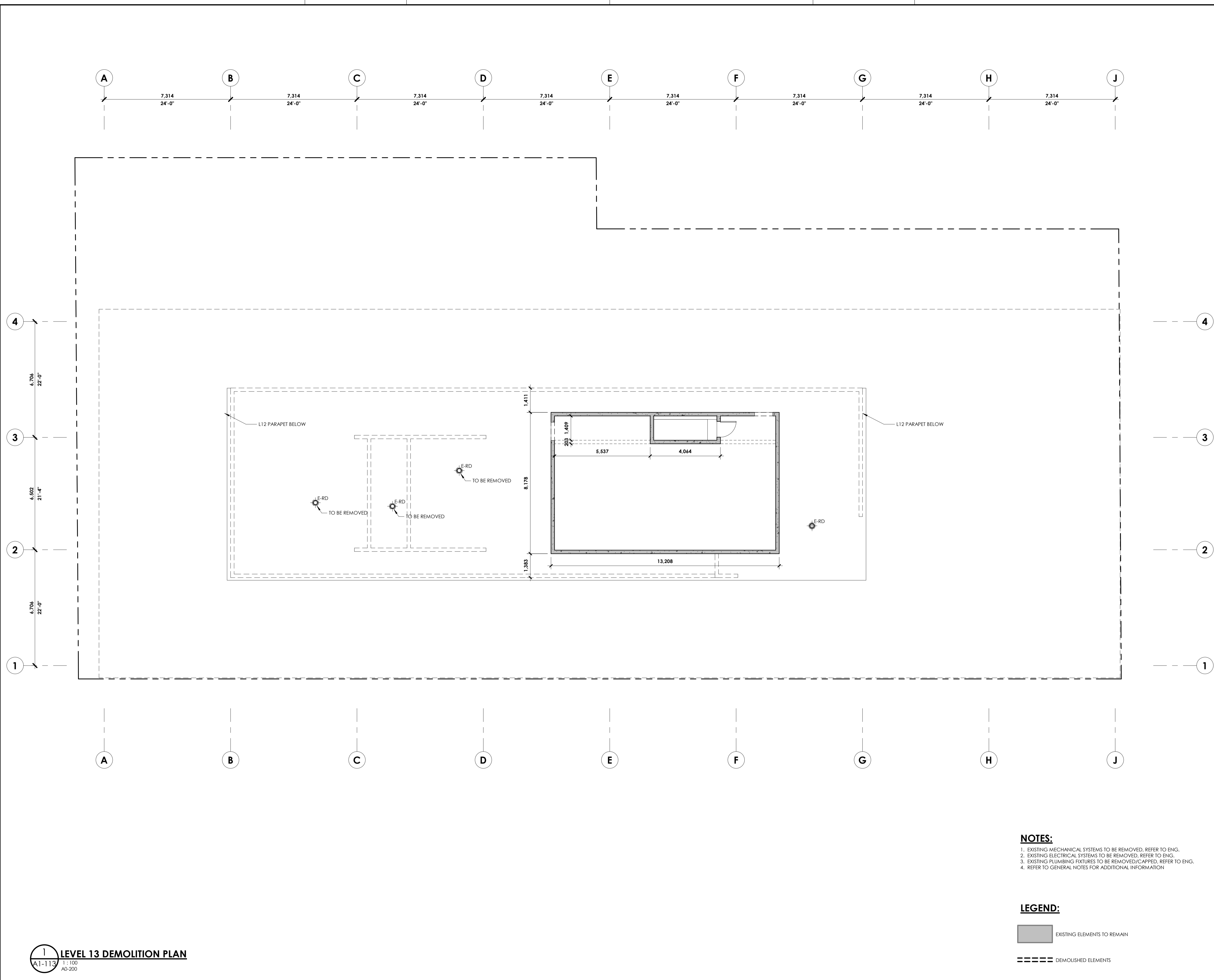
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drawing number | numéro du dessin

**A1-113**

#18100

D07-12-19-0203



**NOTES:**

- EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
- EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
- EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

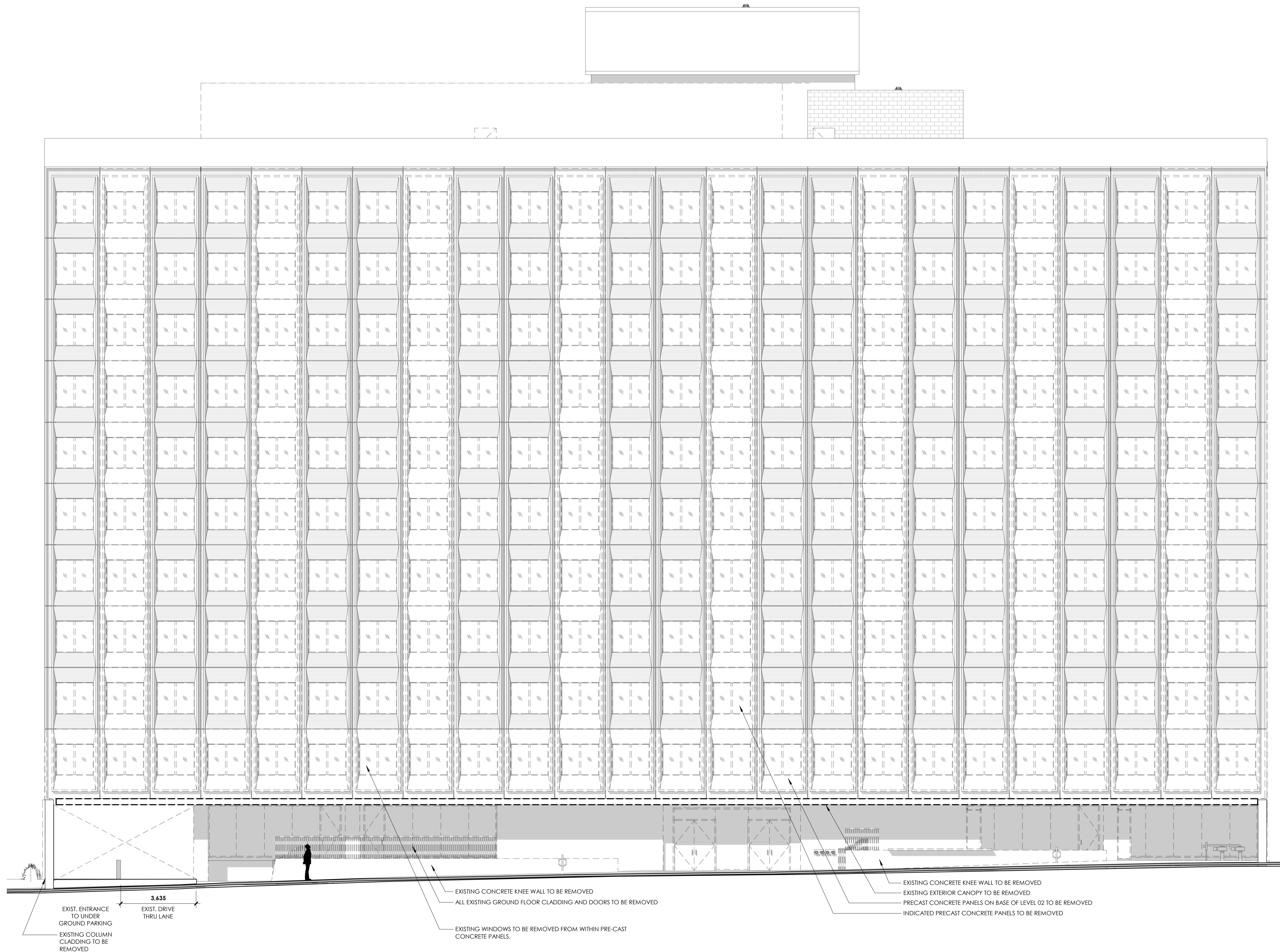
**LEGEND:**

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



A 7,314 B 7,314 C 7,314 D 7,314 E 7,314 F 7,314 G 7,314 H 7,314 J



MECH. ROOF	115.259 m
10'-1"	
EXISTING MECH TO REMAIN	
LEVEL 13 (MECH)	112.186 m
PENTHOUSE ROOF	111.272 m
15'-10 1/2"	
EXISTING MECH PROPOSED: AVENUE	
LEVEL 12 (FFL)	107.798 m
LEVEL 12 (SSL)	107.348 m
4.538	
10'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 11	104.084 m
3.264	
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 10	101.125 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 09	98.166 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 08	95.207 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 07	92.248 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 06	89.289 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 05	86.330 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 04	83.371 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE PROPOSED: RES	
LEVEL 03	80.412 m
2.959	
9'-8 1/2"	
EXISTING: OFFICE TO REMAIN	
LEVEL 02	77.453 m
3.343	
10'-11 1/2"	
EXISTING: OFFICE & RESTAURANT TO REMAIN	
LEVEL 01	74.110 m
1.7'	
480	
AVERAGE GRADE	73.630 m

ISSUED FOR SITE PLAN CONTROL OCT 22, 2020  
no revisions date

stamp | timbre

**ONTARIO ASSOCIATION OF ARCHITECTS**  
ANDREW REEVES  
LICENCE  
6464

architect | architecte

**linebox STUDIO**

general notes | note générale

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
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project title

**473 ALBERT**  
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

**SOUTH (ALBERT STREET) DEMOLITION ELEVATION**

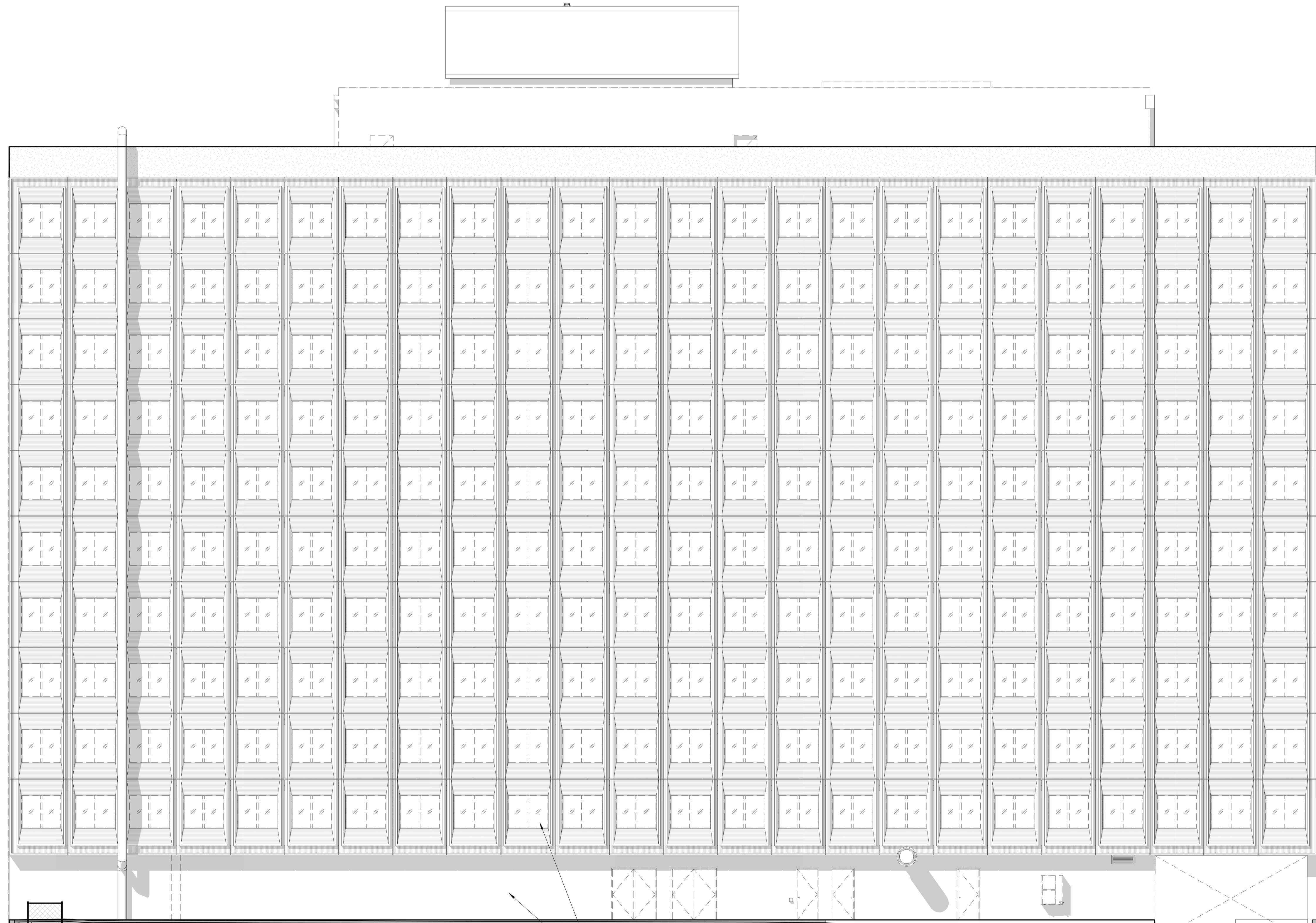
project number | numéro du projet 159  
drawn | dessiné CK / LI / MP / JH  
checked | vérifié JM / JR  
date | date 03/23/20  
scale | échelle 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin

**A1-300**

J 7.314 H 7.314 G 7.314 F 7.314 E 7.314 D 7.314 C 7.314 B 7.314 A



ALL EXISTING WINDOWS IN PRECAST CONCRETE PANELS TO BE REMOVED  
 ALL EXISTING GROUND FLOOR CLADDING AND DOORS TO BE REMOVED

3.660  
 EXIST. DRIVE THRU LANE

MECH. ROOF	115.259 m
EXISTING MECH TO REMAIN	10'-1"
LEVEL 13 (MECH)	112.186 m
PENTHOUSE ROOF	111.272 m
EXISTING MECH PROPOSED: RES	15'-10 1/2"
LEVEL 12 (FFL)	107.798 m
LEVEL 12 (SSL)	107.348 m
EXISTING OFFICE PROPOSED: RES	10'-8 1/2"
LEVEL 11	104.084 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 10	101.125 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 09	98.166 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 08	95.207 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 07	92.248 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 06	89.289 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 05	86.330 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 04	83.371 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 03	80.412 m
EXISTING OFFICE TO REMAIN	9'-8 1/2"
LEVEL 02	77.453 m
EXISTING OFFICE & RESTAURANT TO REMAIN	10'-11 1/2"
LEVEL 01	74.110 m
AVERAGE GRADE	73.630 m

**INTERRENT REIT**  
 485 BANK ST #207, OTTAWA, ON K2P 1Z2  
 owner | propriétaire

**CLELAND JARDINE ENGINEERING LTD**  
 structural engineers | ingénieur structure

**Smith + Andersen**  
 530 - 1600 Carling Avenue Ottawa Ontario K1Z 1G3  
 1 613 230 1186 smithandandersen.com  
 MEP engineers | ingénieur MEP

**PARSONS**  
 1223 MICHAEL STREET, SUITE 100, OTTAWA, ONTARIO K1J 7T2  
 Tel: 613-738-4160 Fax: 613-738-7105  
 civil engineers | ingénieur civil

**Forest and Field Landscape Architecture**  
 5 - 864 College Street Toronto Ontario M6H 1A3  
 1 647 933 1151 forestandfield.ca  
 landscape architects | architectes paysagistes

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 no revisions date

stamp | timbre

**ONTARIO ASSOCIATION OF ARCHITECTS**  
 ANDREW REEVES  
 LICENCE 6464

architect | architecte

**linebox STUDIO**

general notes | note générale

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project title

**473 ALBERT**  
 PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

**NORTH DEMOLITION ELEVATION**

project number | numéro du projet 159  
 drawn | dessiné CK / LI / MP / JH  
 checked | vérifié JM / AR  
 date | date 03/23/20  
 scale | échelle 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin

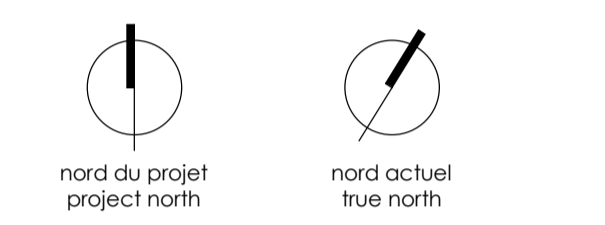
**A1-301**



BICYCLE PARKING SCHEDULE	
TYPE	COUNT
BASEMENT	
HORIZONTAL	36
VERTICAL	18
LEVEL 01 (EXTERIOR)	32
<b>GRAND TOTAL</b>	<b>86</b>

BELOW GRADE PARKING SPACE SCHEDULE	
TYPE	COUNT
SUB-BASEMENT	
BARRIER FREE	1
COMPACT	7
STANDARD SIZE	20
<b>GRAND TOTAL</b>	<b>28 (30 EXIST.)</b>
BASEMENT	
BARRIER FREE	1
COMPACT	9
STANDARD SIZE	14
<b>GRAND TOTAL</b>	<b>52 (22 EXIST.)</b>

LEGEND	
	NEW CONCRETE STRUCTURE LOCATION (IBC BY STRUCTURAL ENG.)
	EXISTING WALLS AND COLUMNS TO REMAIN
	NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL



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no revisions date

stamp | timbre



architect | architecte



general notes | note générale

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project title

**473 ALBERT**  
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

**SUB BASEMENT FLOOR PLAN**

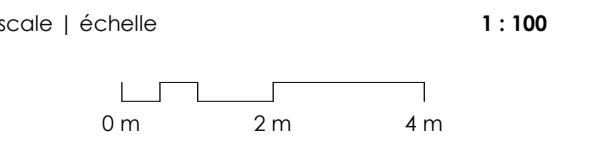
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drawn | dessiné CK / LI / MP / JH

checked | vérifié JM / AR

date | date 03/23/20

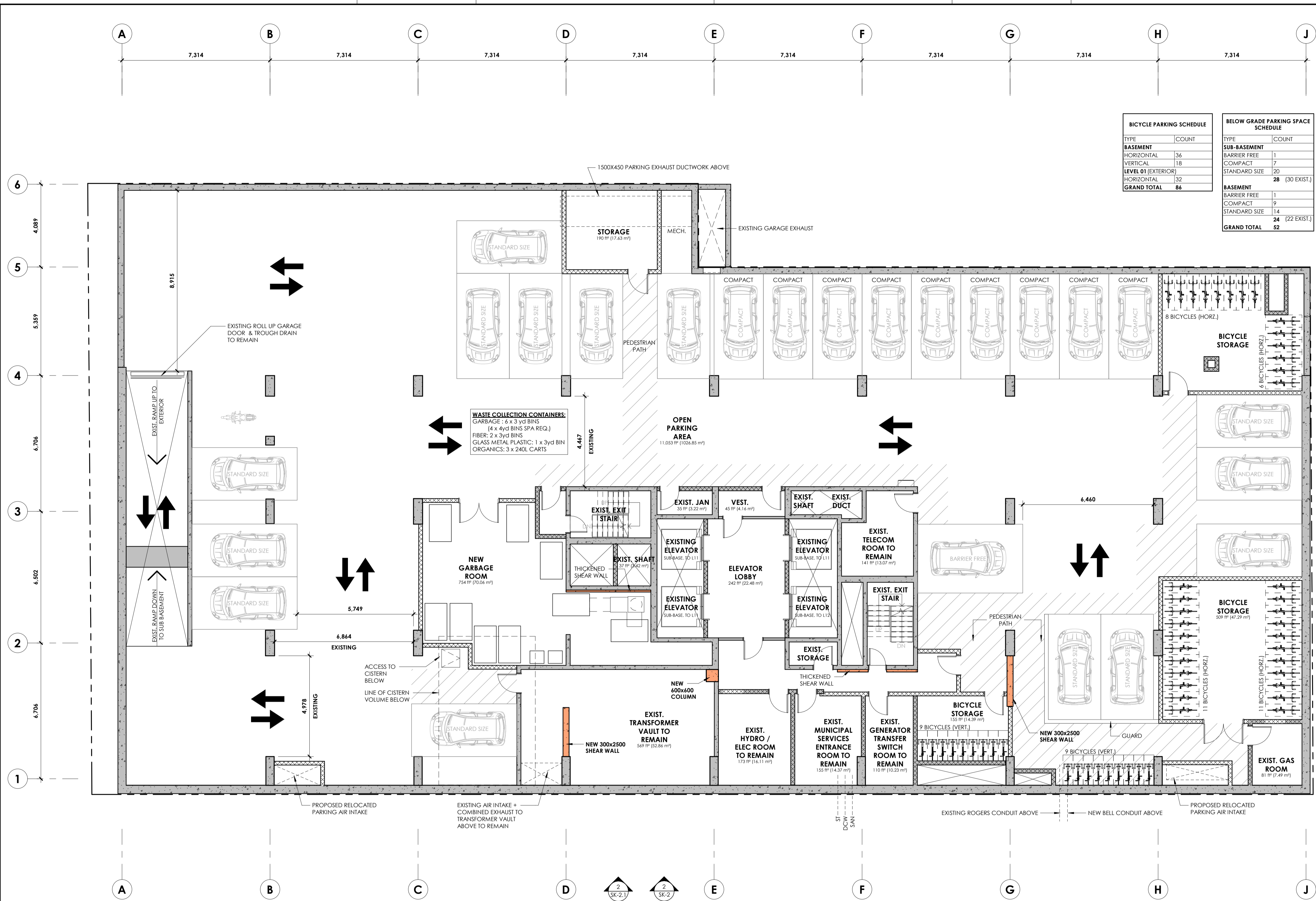
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drawing number | numéro du dessin

**A2-099**

D07-12-19-0203



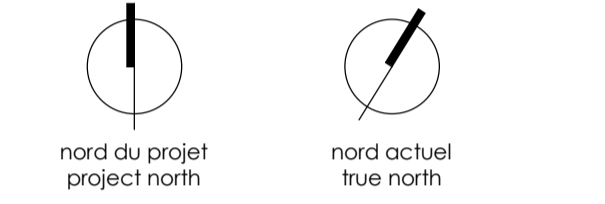
BICYCLE PARKING SCHEDULE	
TYPE	COUNT
BASEMENT	
HORIZONTAL	36
VERTICAL	18
LEVEL 01 (EXTERIOR)	32
<b>GRAND TOTAL</b>	<b>86</b>

BELOW GRADE PARKING SPACE SCHEDULE	
TYPE	COUNT
SUB-BASEMENT	
BARRIER FREE	1
COMPACT	9
STANDARD SIZE	20
	<b>28 (30 EXIST.)</b>
BASEMENT	
BARRIER FREE	1
COMPACT	14
STANDARD SIZE	24
	<b>52 (22 EXIST.)</b>

**WASTE COLLECTION CONTAINERS:**  
 GARBAGE: 6 x 3yd BINS (4 x 4yd BINS SPA REQ.)  
 FIBER: 2 x 3yd BINS  
 GLASS METAL PLASTIC: 1 x 3yd BIN  
 ORGANICS: 3 x 240L CARTS

**LEGEND**

- NEW CONCRETE STRUCTURE LOCATION (IBC BY STRUCTURAL ENG.)
- EXISTING WALLS AND COLUMNS TO REMAIN
- NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL



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 no revisions date  
 stamp | timbre



general notes | note générale  
 1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.  
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**473 ALBERT**  
 PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA  
 drawing title | titre du dessin

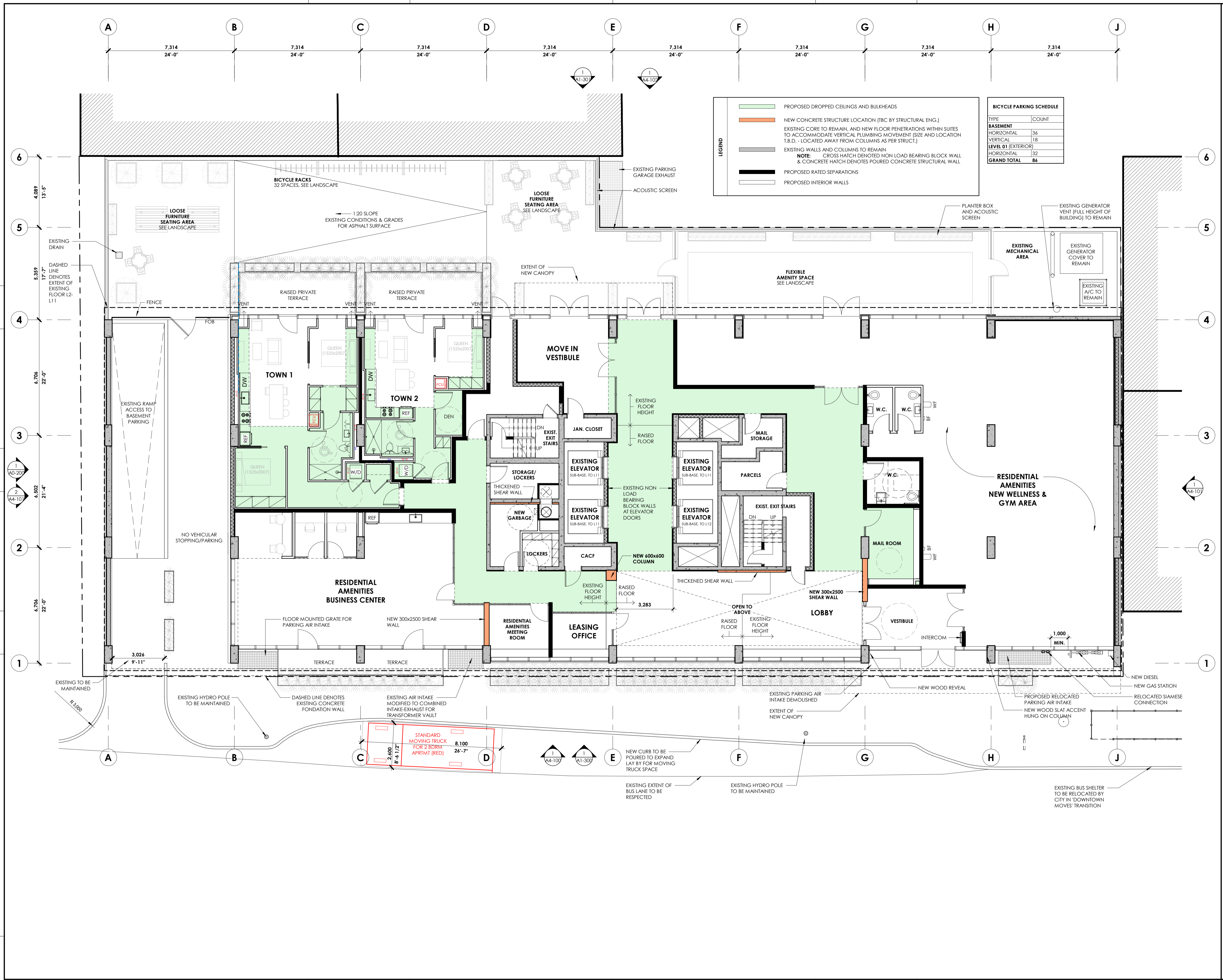
**BASEMENT FLOOR PLAN**

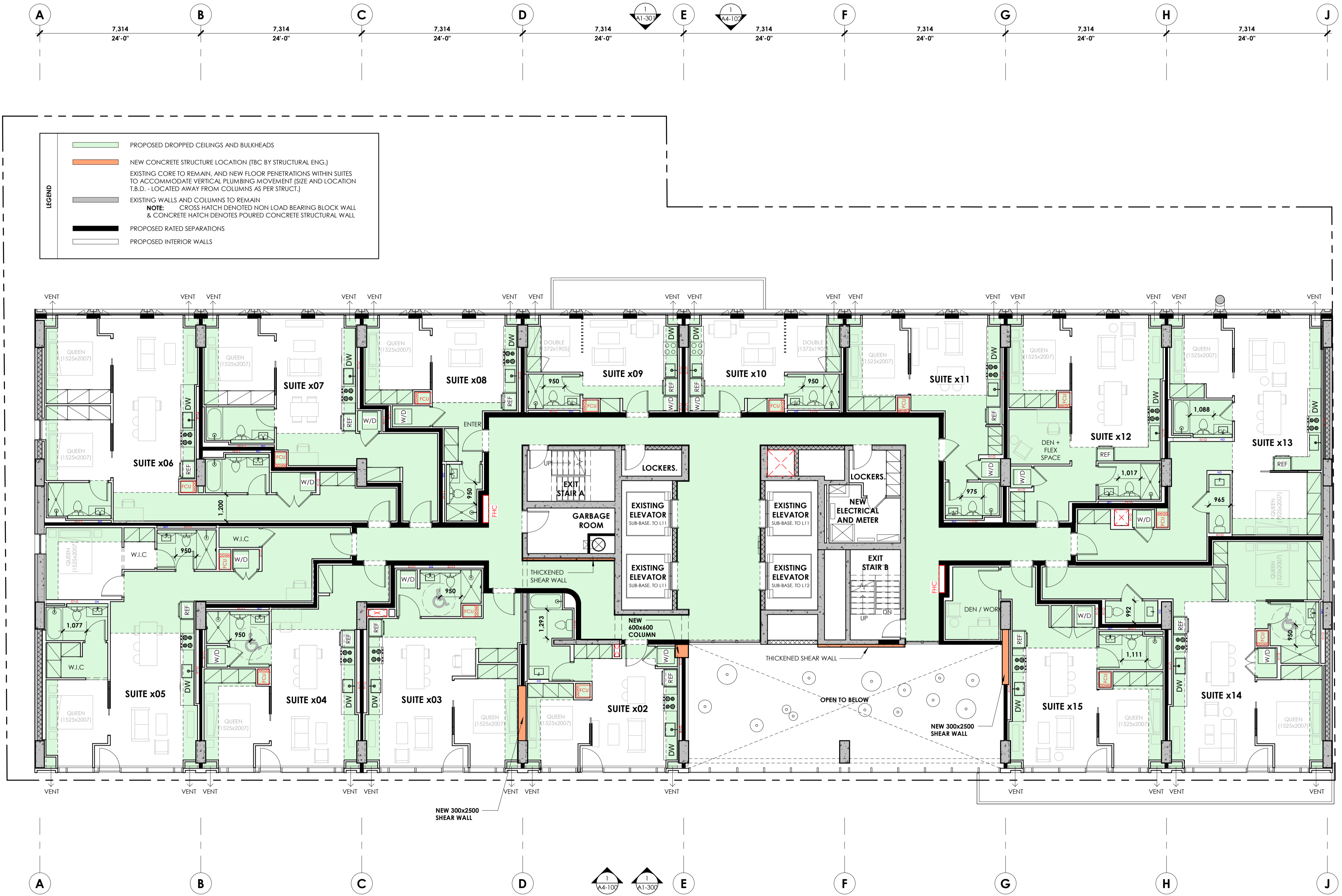
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 drawn / dessiné CK / LI / MP / JH  
 checked / vérifié JM / AR  
 date / date 03/23/20  
 scale / échelle 1 : 100

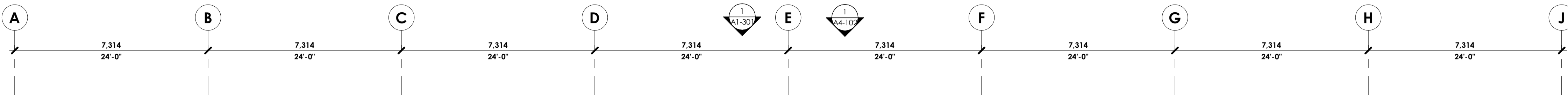


drawing number | numéro du dessin

**A2-100**

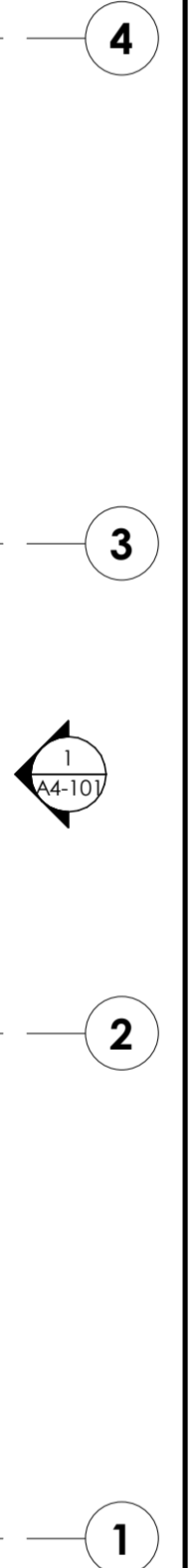
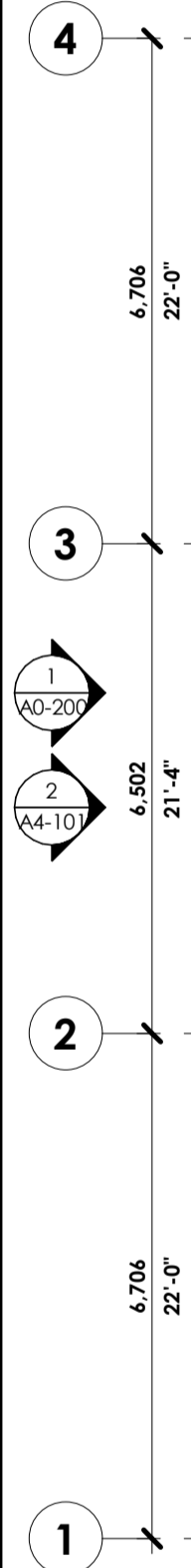
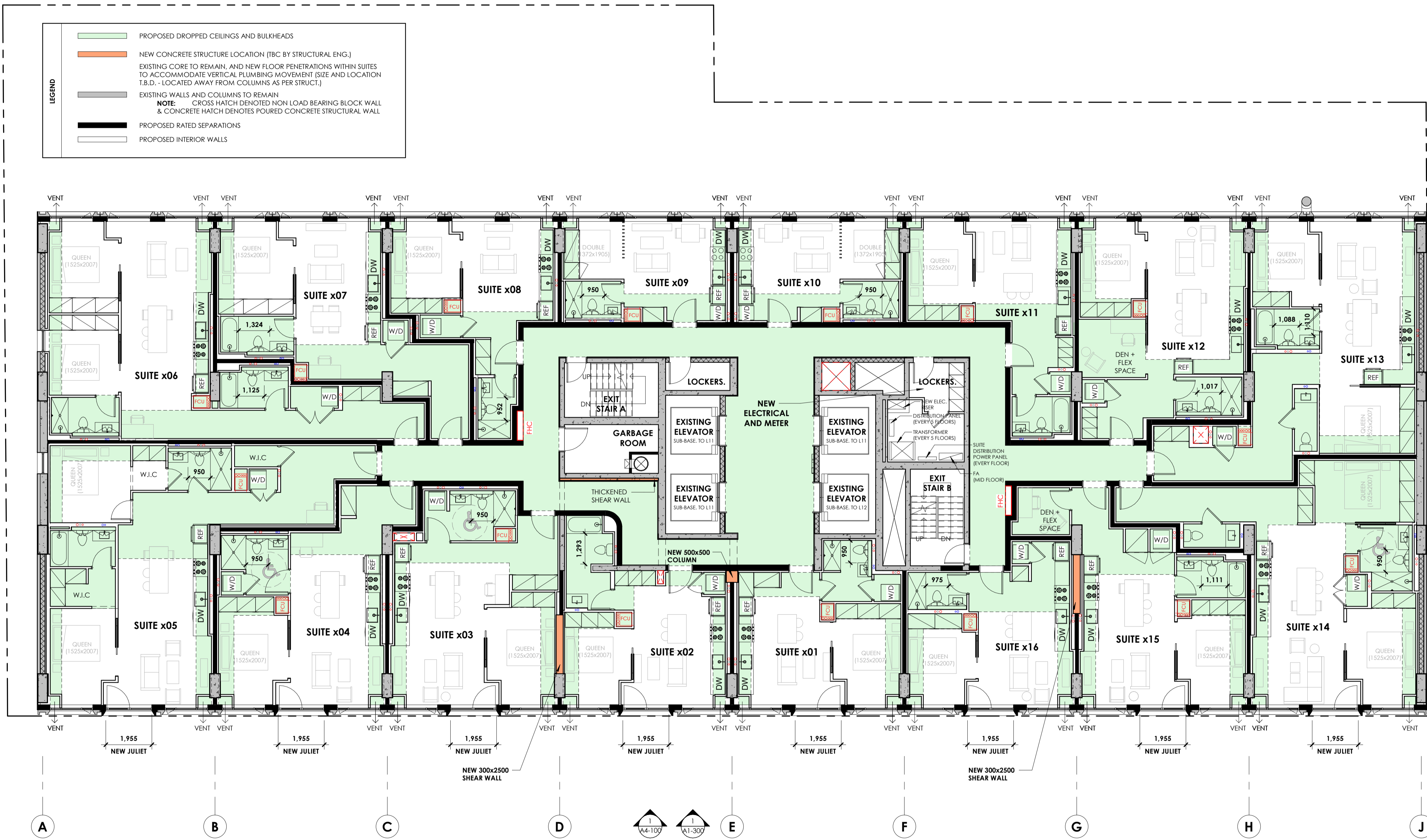




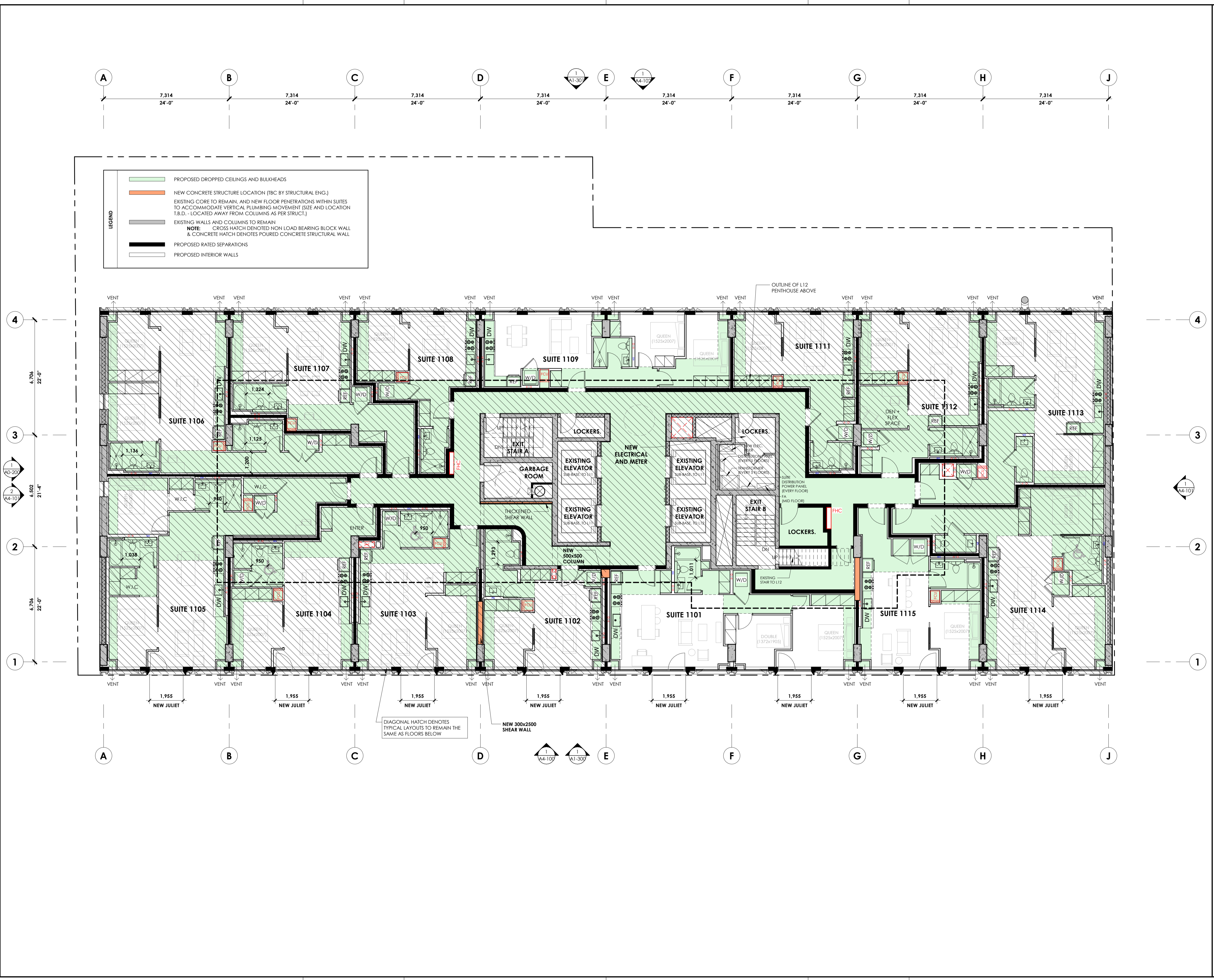


**LEGEND**

- PROPOSED DROPPED CEILING AND BULKHEADS
- NEW CONCRETE STRUCTURE LOCATION (TBC BY STRUCTURAL ENG.)
- EXISTING CORE TO REMAIN, AND NEW FLOOR PENETRATIONS WITHIN SUITES TO ACCOMMODATE VERTICAL PLUMBING MOVEMENT (SIZE AND LOCATION T.B.D. - LOCATED AWAY FROM COLUMNS AS PER STRUCT.)
- EXISTING WALLS AND COLUMNS TO REMAIN  
 NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL
- PROPOSED RATED SEPARATIONS
- PROPOSED INTERIOR WALLS



D07-12-19-0203



**LEGEND**

- PROPOSED DROPPED CEILINGS AND BULKHEADS
- NEW CONCRETE STRUCTURE LOCATION (TBC BY STRUCTURAL ENG.)
- EXISTING CORE TO REMAIN, AND NEW FLOOR PENETRATIONS WITHIN SUITES TO ACCOMMODATE VERTICAL PLUMBING MOVEMENT (SIZE AND LOCATION T.B.D. - LOCATED AWAY FROM COLUMNS AS PER STRUCT.)
- EXISTING WALLS AND COLUMNS TO REMAIN  
 NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL
- PROPOSED RATED SEPARATIONS
- PROPOSED INTERIOR WALLS

DIAGONAL HATCH DENOTES TYPICAL LAYOUTS TO REMAIN THE SAME AS FLOORS BELOW

NEW 300x2500 SHEAR WALL

NEW 500x500 COLUMN

NEW ELECTRICAL AND METER

OUTLINE OF L12 PENTHOUSE ABOVE

THICKENED SHEAR WALL

EXISTING ELEVATOR

EXISTING ELEVATOR

EXISTING ELEVATOR

EXISTING ELEVATOR

EXISTING STAIR TO L12

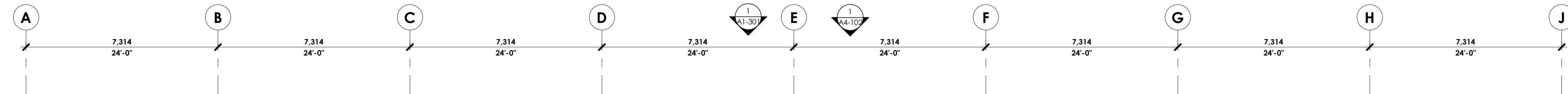
EXISTING STAIR TO L12

EXISTING STAIR TO L12

EXISTING STAIR TO L12

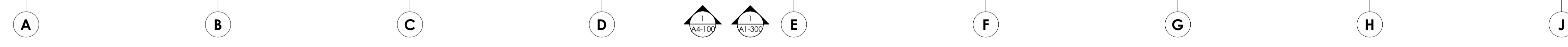
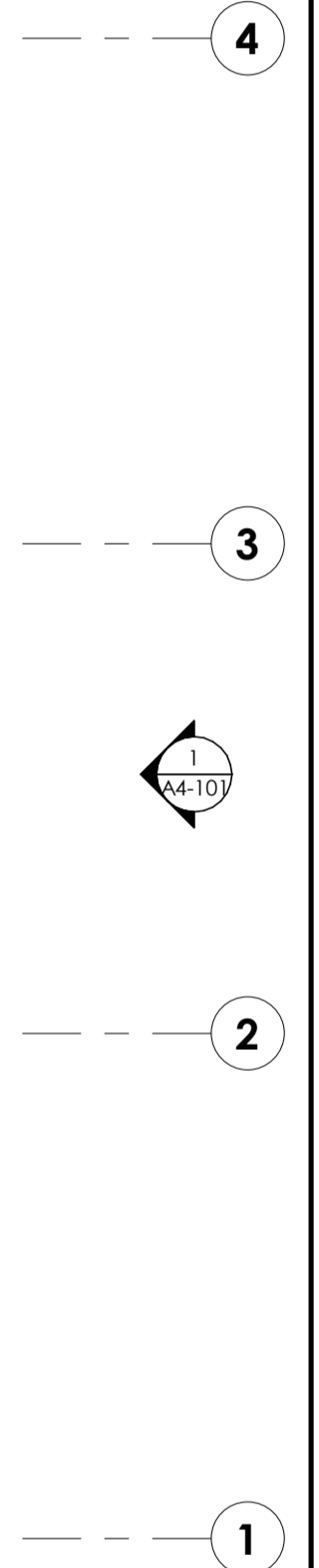
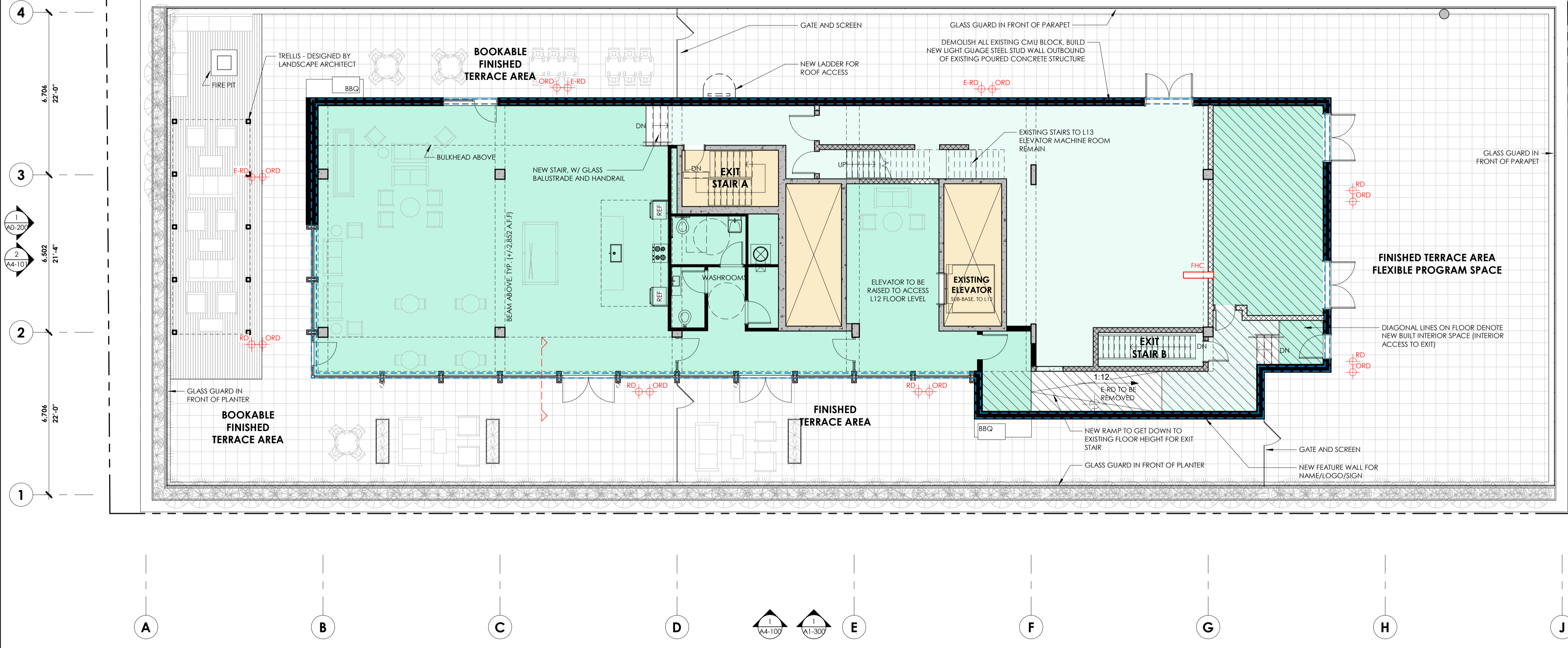
EXISTING STAIR TO L12

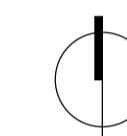




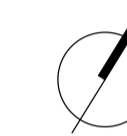
**LEGEND**

- RAISED FLOOR AREA, TO BE FLUSH WITH TERRACE FROM ELEVATORS TO EXTERIOR
- EXISTING FLOOR HEIGHT FOR EXISTING BOILER ROOMS TO BE USED FOR MECHANICAL AND ELECTRICAL, AS WELL AS ACCESS TO EXISTING EXITS (STAIRS CURRENTLY END AT LOWER, EXISTING FLOOR LEVEL)
- EXISTING CORE AREAS (ELEVATORS, EXIT STAIRS)
- DEMOLISHED WALL / ELEMENT
- EXISTING WALLS AND COLUMNS TO REMAIN  
NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL
- ROOF DRAIN  
E-RD EXISTING ROOF DRAIN  
RD NEW ROOF DRAIN  
ORD NEW OVERFLOW ROOF DRAIN





nord du projet  
project north



nord actuel  
true north

ISSUED FOR SITE PLAN CONTROL OCT 22, 2020

no revisions date

stamp | timbre



architect | architecte

**linebox**  
STUDIO

general notes | note générale

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project title

**473 ALBERT**  
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

**LEVEL 13 (EMR PENTHOUSE)  
FLOOR PLAN**

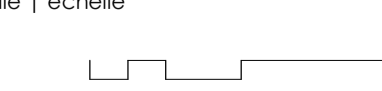
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drawn | dessiné CK / LI / MP / JH

checked | vérifié JM / AR

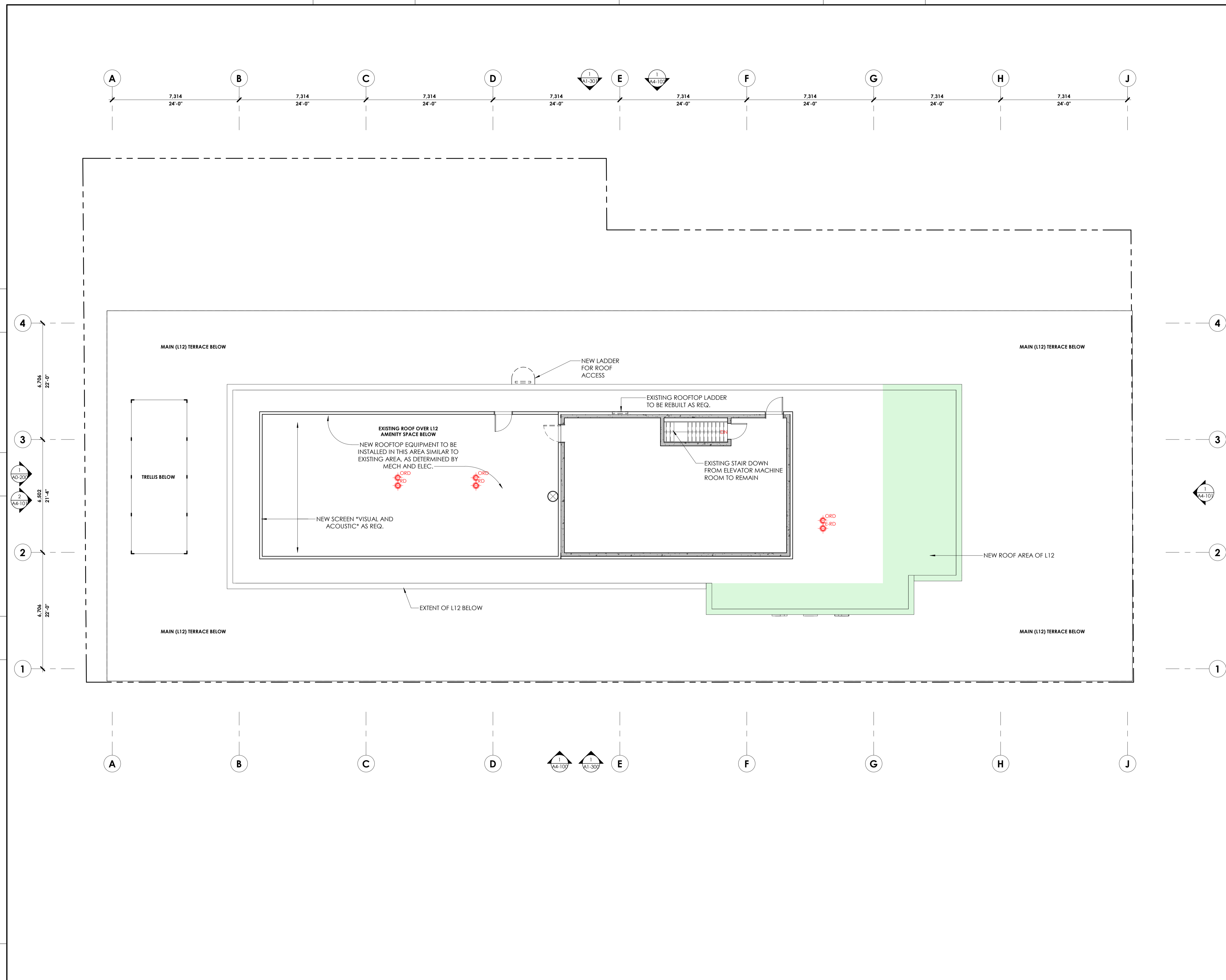
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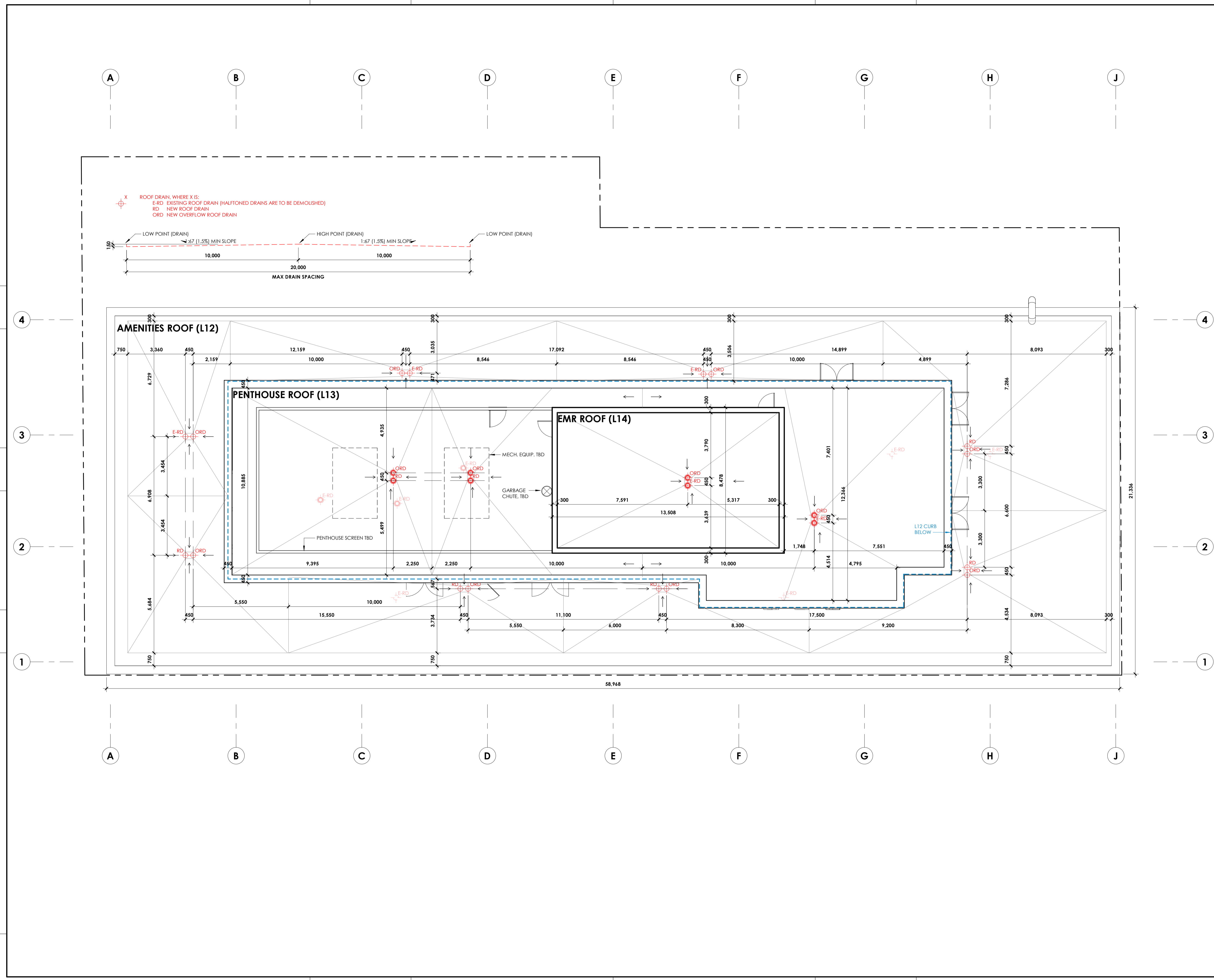
scale | échelle 1 : 100



drawing number | numéro du dessin

**A2-113**







ISSUED FOR SITE PLAN CONTROL OCT 22, 2020  
 no revisions date  
 stamp | timbre



general notes | note générale  
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 2. DO NOT SCALE THE DRAWINGS.  
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project title  
**473 ALBERT**  
 PROPOSED MIXED-USE RENOVATION  
 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA  
 drawing title | titre du dessin

**SOUTH (ALBERT STREET) ELEVATION**

project number | numéro du projet **159**  
 drawn | dessiné **CK / LI / MP / JH**  
 checked | vérifié **JM / AR**  
 date | date **03/23/20**  
 scale | échelle **1 : 100**  
 0 m 2 m 4 m

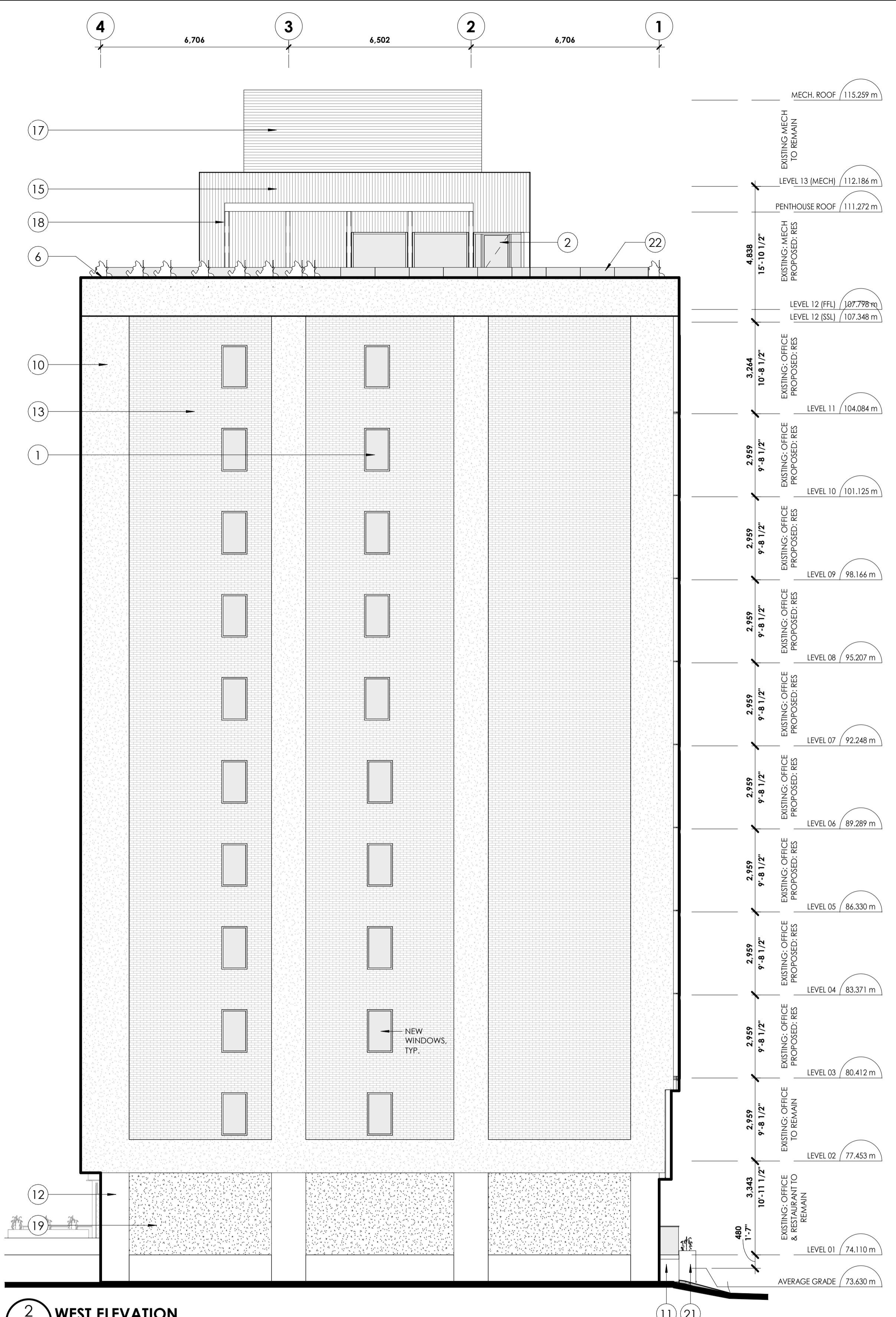
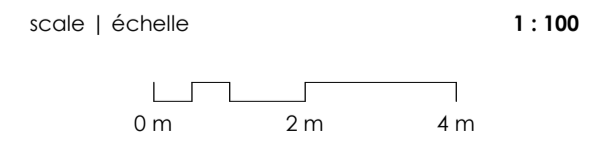
drawing number | numéro du dessin  
**A4-100**

**MATERIAL LEGEND**

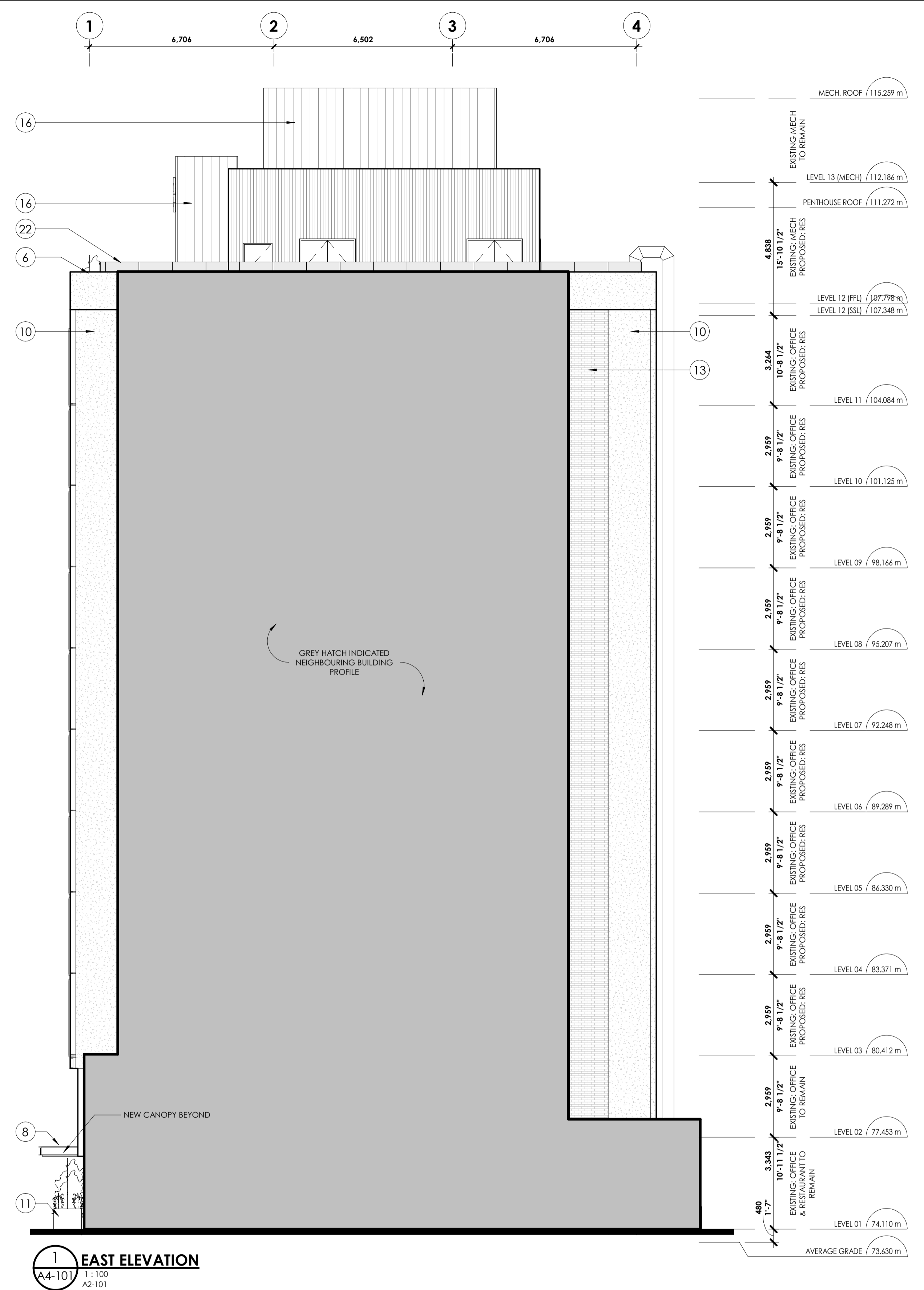
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1	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH
2	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED, DIVIDED BY WOOD CLAD FINS, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6	BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10	EXISTING PAVING ON CIP CONCRETE STRUCTURE	14	EXTERIOR TREATED WOOD SOFFIT	18	BLACK METAL TRELLIS
3	CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE
4	EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH
								21	WEATHERED STEEL PLANTER BOX ON TOP OF AGGREGATED CONCRETE BASE
								22	GLAZED BALUSTRADE SET BEHIND PLANTING AND EXISTING PARAPET, GREY METAL TOP RAIL AND FRAME



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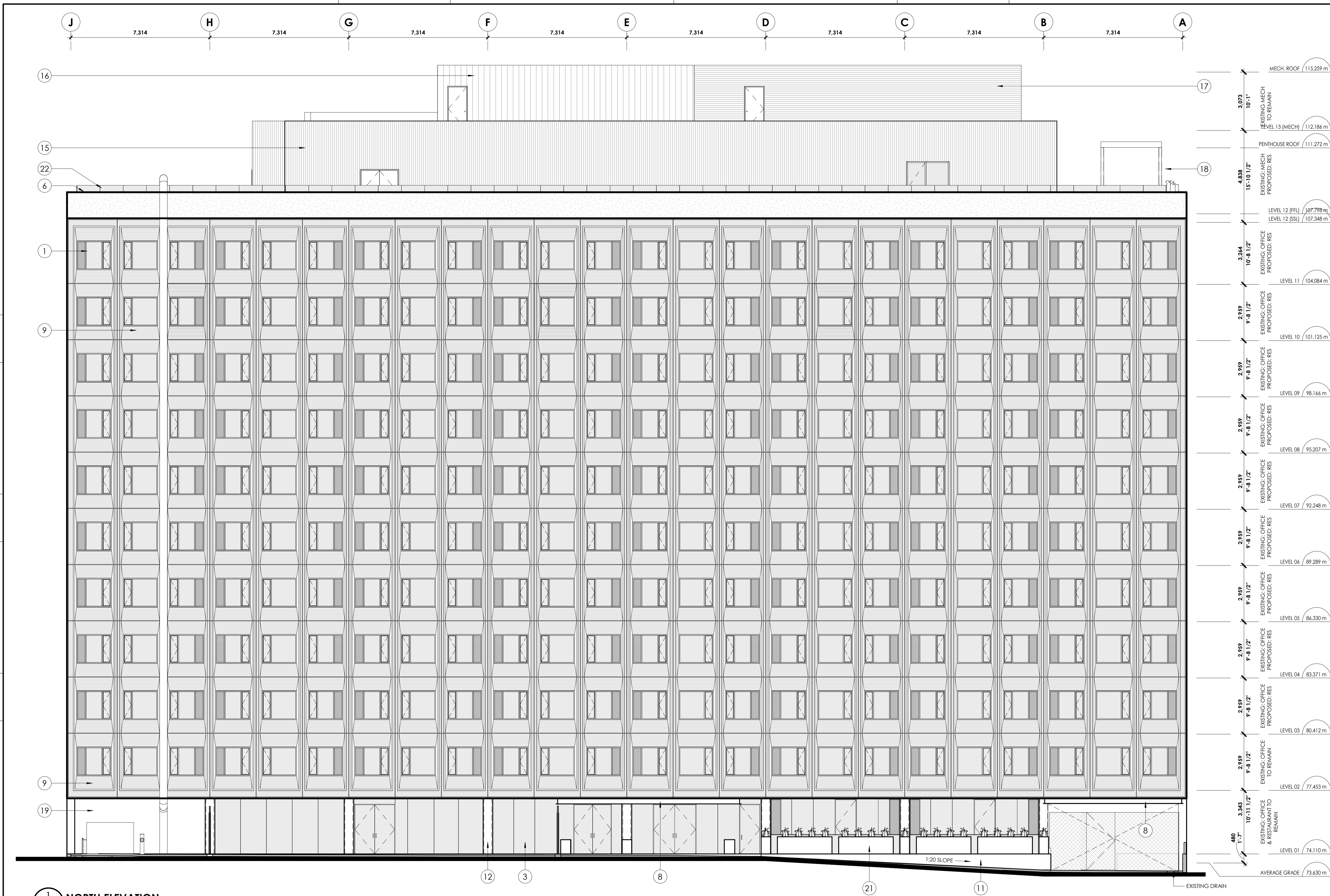
**2 WEST ELEVATION**  
A4-101 1:100  
A2-101



**1 EAST ELEVATION**  
A4-101 1:100  
A2-101

**MATERIAL LEGEND**

TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
1	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH
2	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED. DIVIDED BY WOOD CLAD FINS. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6	BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10	EXISTING PARGING ON CIP CONCRETE STRUCTURE	14	EXTERIOR TREATED WOOD SOFFIT	18	BLACK METAL TRELLIS
3	CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING. DOUBLE GLAZED. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE
4	EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE. BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH
								21	WEATHERED STEEL PLANTER BOX ON TOP OF AGGREGATED CONCRETE BASE
								22	GLAZED BALUSTRADE SET BEHIND PLANTING AND EXISTING PARAPET. GREY METAL TOP RAIL AND FRAME



**1 NORTH ELEVATION**  
A4-102 1:100 A2-101

**MATERIAL LEGEND**

TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
1	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH
2	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, DIVIDED BY WOOD CLAD FINS, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6	BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10	EXISTING PARGING ON CIP CONCRETE STRUCTURE	14	EXTERIOR TREATED WOOD SOFFIT	18	BLACK METAL TRELIS
3	CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE
4	EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH
								21	WEATHERED STEEL PLANTER BOX ON TOP OF AGGREGATED CONCRETE BASE
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ISSUED FOR SITE PLAN CONTROL OCT 22, 2020  
no revisions date

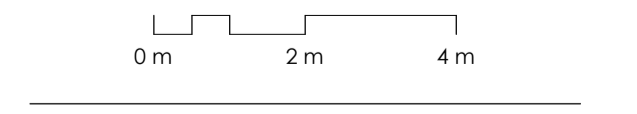


general notes | note générale  
1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.  
2. DO NOT SCALE THE DRAWINGS.  
3. NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

project title  
**473 ALBERT**  
PROPOSED MIXED-USE RENOVATION  
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA  
drawing title | titre du dessin

**NORTH ELEVATION**

project number | numéro du projet **159**  
drawn | dessiné **CK / LI / MP / JH**  
checked | vérifié **JM / AR**  
date | date **03/23/20**  
scale | échelle **1:100**



drawing number | numéro du dessin  
**A4-102**

