



**INTERRENT**  
REIT



**CLV GROUP**  
DEVELOPMENTS

# 473 Albert Street

## Site Plan Control Application



## Planning Rationale and Urban Design Brief

## Contents

<b>Introduction</b> .....	3
<b>Site Context</b> .....	4
Prior Rezoning Information .....	5
Minor Variance .....	5
<b>Proposal</b> .....	6
Description.....	6
<b>Provincial Policy Statement</b> .....	6
<b>Official Plan</b> .....	7
Secondary Plan.....	8
Albert/Slater Renewal.....	8
<b>City of Ottawa Comprehensive Zoning By-law (2008-250)</b> .....	8
<b>Urban Design Brief</b> .....	10
Building Transition and Massing.....	10
Materials .....	12
Streetscape and Public Realm .....	13
Landscaping .....	14
<b>Conclusion</b> .....	14

## Introduction

This Planning Rationale and Urban Design Brief has been provided to demonstrate how the proposed development at 473 Albert Street is consistent with the Official Plan, relevant secondary plan, Council adopted plans and policies, and Provincial Policy Statement.

InterRent REIT No. 3 Limited Partnership has retained several consultants to assist with the submission requirements. The following reports and plans have been prepared in support of the site plan control application:

- Site Servicing and Stormwater Management Report – Parsons
- Site Servicing Plan – Parsons
- Grade Control and Drainage Plan – Parsons
- ECA Application Form and Supporting Documentation – Parsons
- Transportation Impact Brief – CGH Transportation
- Traffic Noise and Vibration Study – Gradient Wind Engineering
- Site Plan – Linebox Studio
- Architectural Drawings, including Elevations and Parking Garage – Linebox Studio
- Landscape Plan – Forest and Field Landscape Architecture
- Survey – Annis O’Sullivan Vollebakk Ltd.
- Tree Conservation Report – Davey Resource Group

## Site Context



Figure 1: Site Context Map

The subject property is municipally known as 473 Albert Street, Ottawa (see Figure 1). It contains an existing 11-storey building previously used for office purposes, with a small retail/commercial offering on the main level. InterRent REIT No. 3 Limited Partnership (InterRent) purchased the property in April 2019 with the intention of repurposing the building for primarily residential use with some office and retail uses on the first and second floors.

473 Albert Street is located within a mixed-use neighbourhood known as Centretown. This area is well established and is comprised of high-rise buildings and single detached homes.

Albert Street is between Bronson Avenue and Bay Street, it is a three-lane arterial road with one-way west bound traffic and street parking on the south side. The subject property is well serviced by public transit, with major bus routes travelling across Albert Street (Albert/ Bay Route). Albert Street contains a dedicated carpool lane for buses and taxis, which is enforced from 6am to 6pm for buses and 9am to 3pm for taxis. Additionally, the property is located within 400 metres of the proposed Lyon Station servicing the Light Rail Transit – Confederation Line (LRT). Cycling pathways are provided along Bay Street.

The following uses surround the site (see Figure 1):

**North** – 10-storey residential rental apartment building (424 Queen Street) and a Government of Canada office building (434 Queen Street);

**East** – 11-storey hotel building and small grocery store (435 Albert Street, The Albert at Bay Suite Hotel).

**South** – Low-rise residential uses in the form of 3 story walk-ups and a secondary school (Ottawa Technical High School); and

**West** – 15-storey residential building (95 Bronson Avenue), beyond is Bronson Avenue.

### Prior Rezoning Information

In 2018, the previous owners applied for an amendment to the zoning by-law to permit non-residential uses on the ground floor and second floor of the existing commercial building and to reduce loading space requirements. The additional uses included:

- office
- bank
- bank machine
- convenience store
- personal service business
- restaurant
- retail food store
- retail store
- community centre
- community health and resource centre
- day care
- medical facility
- instructional facility
- training centre

The zoning by-law amendment was only for the addition of the above-mentioned uses and loading space requirements, it did not bring the building into compliance with the current zoning By-law permissions with respect to setbacks, visitor parking, building height, landscaped area or drive aisles.

City Staff supported the application for a zoning by-law amendment. These additional permissions can be found in Urban Exception 2469, approved on May 9, 2018.

### Minor Variance

In order to proceed with the proposed conversion of 473 Albert Street, a minor variance is required to bring the building into compliance with the current zone requirements. Since the building is already constructed the variances will be for the legalization of the existing conditions. Variances will be required for setbacks, visitor parking, building height, landscaped area and drive aisles.

*The Planning Act* does not permit variances to an amended zoning by-law within 2 years of the enactment of the by-law. Therefore, InterRent requested permission from Council to apply for a variance to bring the building into compliance with the existing zoning by-law. A motion to allow a minor variance application was passed at Planning Committee on November 14, 2019 and ultimately approved at Council on November 27, 2019.



# Proposal

## Description

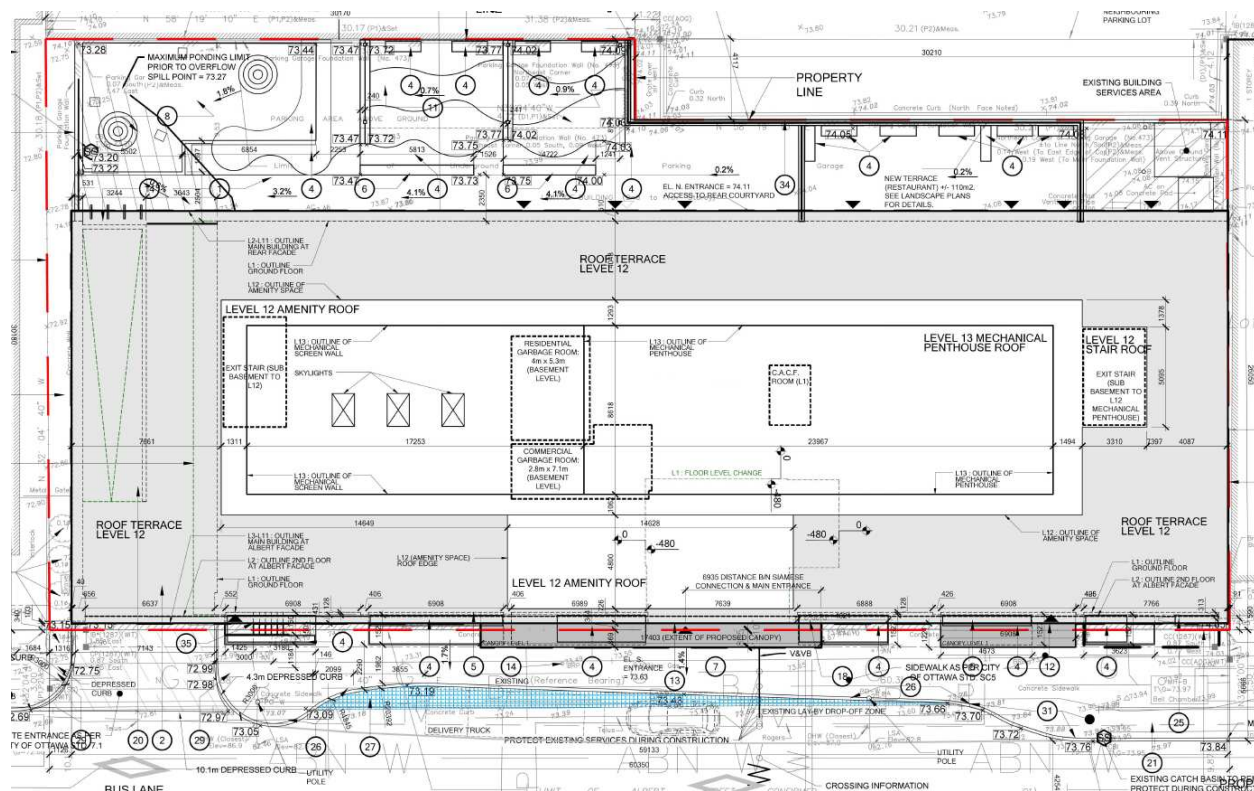


Figure 2: Site Plan of 473 Albert Street

The proposal is for the adaptive reuse of an existing 11-storey commercial building located at 473 Albert Street for residential and commercial mixed-use. The 11-storey building will remain on site, improvements to the façade, streetscape and interior of the building are proposed.

The conversion will consist of 153 residential units, 1,264 square metres of office space (13,606 square feet), and 359 square metres of commercial space in the form of a restaurant (3,864 square feet). The unit mix will include studios, one (1), one plus den (1.5) and two (2) bedroom units. Juliet balconies are proposed to offer a more residential feel while maintaining the existing structure. Amenities will be provided on the rooftop level in the form of interior and exterior spaces (terraces).

The proposal will utilize the existing underground parking structure containing 47 parking spaces of which 7 will be used for visitor parking. The development will yield a total of 63 bicycle parking spaces.

## Provincial Policy Statement

The Provincial Policy Statement (PPS) provides direction on provincial interest relating to land use planning and development. It is required that development or land use shall be consistent with policy under this Act.

The PPS recognizes that increasing housing supply, supporting jobs and streamlining development approvals are priorities for the government. The proposed development meets the following provincial interests:

- [Policy 1.1.1 (b)] Accommodating an appropriate range and mix of residential, employment institutional, recreation, park and open space, and other uses to meet long-term needs;
- [Policy 1.1.1 (f)] Improving accessibility for persons with disabilities and older persons by identifying, preventing and removing land use barriers which restrict their full participation in society;
- [Policy 1.1.3.2] Proposes a land use pattern within a settlement area that has densities and a mix of uses which efficiently use land and resources, are appropriate for, and efficiently use, the *infrastructure* and *public service facilities* which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion, support active transportation, are transit supportive, where transit is planned, exists or may be developed;
- [Policy 1.4.1] To provide for an appropriate range and mix of housing types and densities required to meet projected requirements of current and future residents of the regional market area; and
- [Policy 1.5.1] Promote healthy, active communities.

The proposed development is consistent with the policies of the Provincial Policy Statement. It will utilize 473 Albert Street, formally operated as an office building and repurpose it to include residential, office and retail uses. The proposal will use existing infrastructure creating a time-effective development aimed at increasing housing supply in Ottawa. In addition, the proposal will activate the street front and tie into existing road, transit, and active transportation networks.

## Official Plan

The subject property is designated Central Area in *The City of Ottawa Schedule B – Urban Policy Area*. This area is recognized as a main tourist destination within the city. This designation strives to create a vibrant community combining employment, government, retail, housing, entertainment and cultural activities. Important objectives include enhancing the pedestrian environment, preserving character neighbourhoods, enhancing active transportation, and providing a mix of uses.

This development proposal conforms to this vision. It will bring warmth and activate the public realm and street front. This will be achieved by incorporating at grade uses in the form of retail and office, introducing residential uses, and through proposed façade/exterior changes discussed in the Urban Design Brief portion of this report.

The Central Area aims to protect the visual integrity and symbolic primacy of the Parliament Buildings and other National Symbols. As such, buildings constructed in the areas under height control as set out on Annex 8A of the Official Plan, must not rise above the ridgeline of the Centre Block, and thus do not visually mar the silhouette of the Parliament Buildings and other National Symbols. This building falls within Annex 8A however, the building is existing and does not obstruct views of Parliament or other National Symbols.

## Secondary Plan

The subject property also falls within the Central Area Secondary Plan. It is classified as Upper Town on *Schedule B – Plan B – Central Area Character Areas and Theme Streets*. The Upper Town Area's main objective is to promote residential as the predominate use and incorporate supplementary uses to enhance the pedestrian experience such as retail at grade. In addition, the Upper Town area strives to enhance livability and protect and enhance its heritage resources.

473 Albert Street is designated Residential on Schedule Q – Plan Q – LeBreton Flats Land Use. This designation supports the provision of providing a range of housing forms (medium to high profile buildings) of a density appropriate to the downtown area. In addition, it looks to make effective use of the infrastructure, services and facilities within the inner-city area.

The proposal to adaptively re-use 473 Albert Street conforms to the objectives set out in this plan. The building will contain residential, office, and retail uses that will utilize existing municipal infrastructure and resources. The proposal aims to more effectively integrate within the Upper Town Area by re-activating the street front and offering a mixed-use building which will create the vibrancy and pedestrian experience sought after in this plan.

## Albert/Slater Renewal

The City of Ottawa is currently undertaking a study which is analyzing the design and construction of both Albert Street and Slater Street. More specifically, this study aims to identify any opportunities to implement elements of complete streets along these corridors following the newly launched Confederation Line Light Rail Transit (LRT).

The subject property is part of this renewal project. In preparation of the Site Plan, the City of Ottawa provided the most up-to-date Albert Street Renewal Functional Design Plan. Future changes to the street include street trees to be planted along Albert Street by the City of Ottawa and relocating utility poles and the bus shelter (located in front of the building) to accommodate a future bike lane.

The Proposed Site Plan for 473 Albert Street is unable to incorporate the elements of the Albert Street Renewal Functional Design Plan due to logistical challenges, including the accelerated timing of the proposed redevelopment compared to the implementation of the Renewal Project and the need for OC Transpo to continue using the existing bus lane.

However, in consideration of this Renewal Project, a supplementary and illustrative site plan has been provided which can be found on the Site Plan Future drawing (A0-802 drawn by Linebox Studio). This Site Plan Future drawing is for reference only and provides a visual context for how the subject property might tie into the Albert Street Renewal once the City of Ottawa has completed this project and the plan is in effect.

## City of Ottawa Comprehensive Zoning By-law (2008-250)

The subject property is zoned R5P [2469] H37, which permits a wide range of residential uses including high rise apartments. The R5P zoning permits office and non-residential uses at the ground floor of a building containing residential units. The maximum permitted height for the subject property is 37m.



The intent of the R5 By-law is to allow for additional housing options. It offers a mix of uses to provide the opportunity to live, work, and play, while ensuring that residential uses are predominate in selected areas of the Central Area.

Special Section [2469] limits office use to a cumulative total gross floor area of 16,000 m<sup>2</sup>. Loading spaces are not required for an office use in the existing building as it exists on May 9, 2018. Non-residential uses equal to or less than 410 m<sup>2</sup> of gross floor area are not required to provide loading spaces. The following uses are subject to conditions as outlined below:

- bank
- bank machine
- convenience store
- personal service business
- restaurant
- retail food store
- retail store
- community centre
- community health and resource centre
- day care
- medical facility
- instructional facility and training centre

Conditions:

1. A maximum gross floor area of 410 m<sup>2</sup> per individual occupancy.
2. Being located in the existing office building as it existed on May 9th, 2018.
3. Being located on the ground floor or second floor.

The property falls within the Mature Neighbourhoods Overlay. This section of the by-law is intended to maintain the low-rise nature of well-established neighbourhoods and to preserve/enhance the local streetscape. 473 Albert Street is an existing commercial building with a concrete focused design and a poor streetscape experience. Changes to the façade will better relate the building to the neighbourhood by giving it a warmer residential feel and enhancing the local streetscape with elements such as planters and incorporating glass at grade.

Variations will be required to legalize the existing conditions of the building.

See below for a Zoning Matrix/ compliance with the Zoning By-law:

Item	Required	Proposed	Compliance
<b>Lot Area</b>	Minimum 540 m <sup>2</sup>	1979.01 m <sup>2</sup> (existing)	Yes
<b>Lot Frontage</b>	18m (lot width)	60.35 m <sup>2</sup> (existing)	Yes
<b>Setbacks</b>			
Front	3m	0m (existing)	No
Rear	7.5m	4.7m (existing)	No
Interior Side	1.5m for first 21m, then 6m	0m (East), 1.5m (West) (existing)	No
<b>Building Height</b>	37m	Heights unchanged; proposed change to use as follows: 34.2m to top of main roof (unchanged) 38.0m to top of amenity penthouse (L12) (currently mech penthouse) 42.0m to top of mechanical/elevator penthouse (unchanged)	No

<b>Amenity space</b>	6m2 / dwelling unit =918m2	L12, interior: 578.86 m2 L12, exterior: 585 m2 <b>Total: 1,163.86 m2</b>	Yes
<b>Parking</b>	<u>Residential:</u> Maximum: 1.5 per unit = 189 spots <u>Office:</u> Maximum: 1.0 per 100m2 = 14 spots <u>Retail:</u> Maximum: 1.0 per 100m2 = 4 spots <u>Visitor:</u> 0 for 1st 12 units, then 0.1 per dwelling unit = 14 spots	40 Residential, 7 visitor	No
<b>Bicycle Parking</b>	Residential: 0.5/ unit = 77 spaces Restaurant: 1/250m2 = 1 space Office: 1/250m2 = 5 spaces Total: 83 spaces	83 spaces 4 spaces on ground level, 79 spaces in basement	Yes
<b>Loading Space</b>	Residential: 0 spaces (min) Office (1000-1999m2): 1 spaces (min) Retail (350-999m2): 0 spaces (min)	1 Shared Loading Zone	Yes
<b>Drive Aisles</b>	Double traffic lane: Minimum: 6m; Maximum: 3.6m for less than 20 parking spaces, 6.7m for 20 or more parking spaces	3m	No
<b>Landscaped Area</b>	30% of Lot Area = 593.7m2	Ground Level: 417m2 L12 Roof Terrace: 585m2 Total: 1,002m2	No

Figure 3: Zoning Matrix

## Urban Design Brief

This Urban Design Brief has been prepared in conjunction with the Planning Rationale to highlight key design changes to the existing building and to demonstrate how they improve or address the following items building transition and massing, materials, streetscape and public realm and landscape.

### Building Transition and Massing

The building was constructed in the 1960s, and the design was heavily focused on concrete materials as it was previously used as a commercial facility.

Since the proposal is utilizing the existing building, no changes to the building transition or massing are proposed. The building envelope will remain largely untouched, except for the addition of juliet balconies on the North and South facades and windows on the West façade.

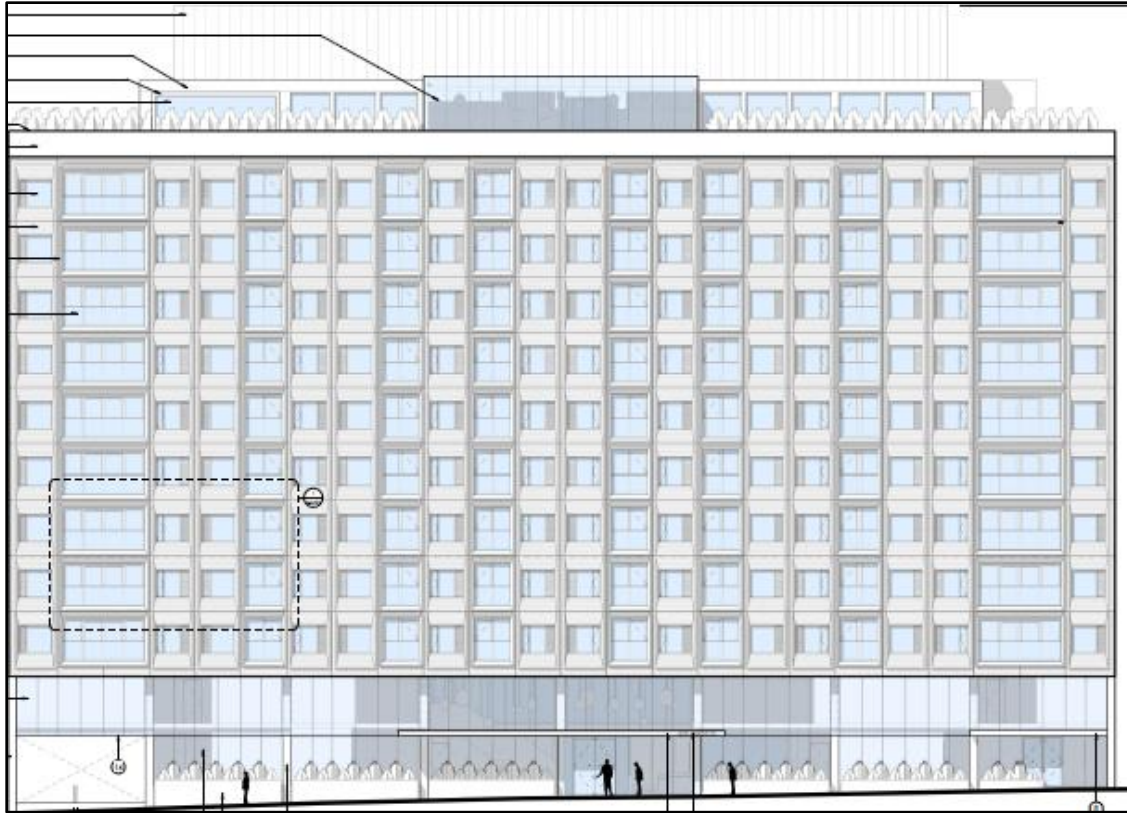


Figure 4: South Elevation fronting onto Albert Street

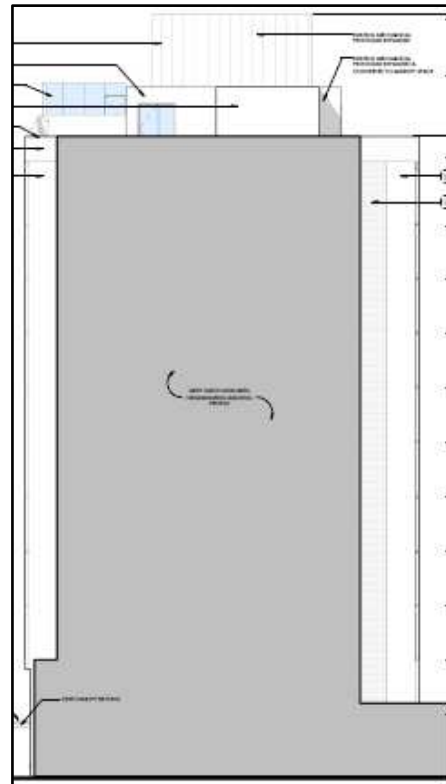
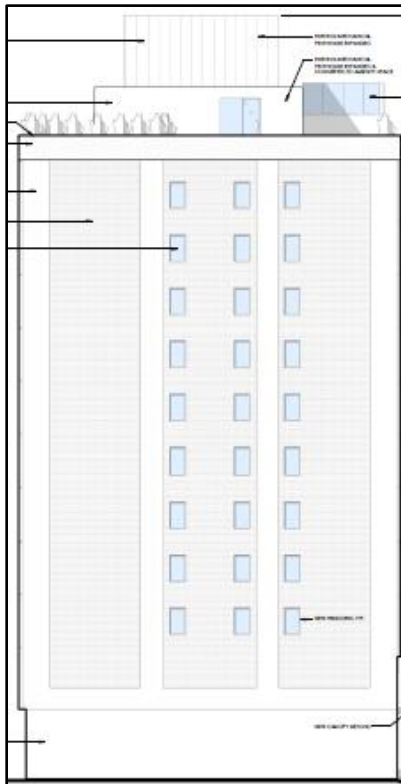


Figure 5: West and East elevations

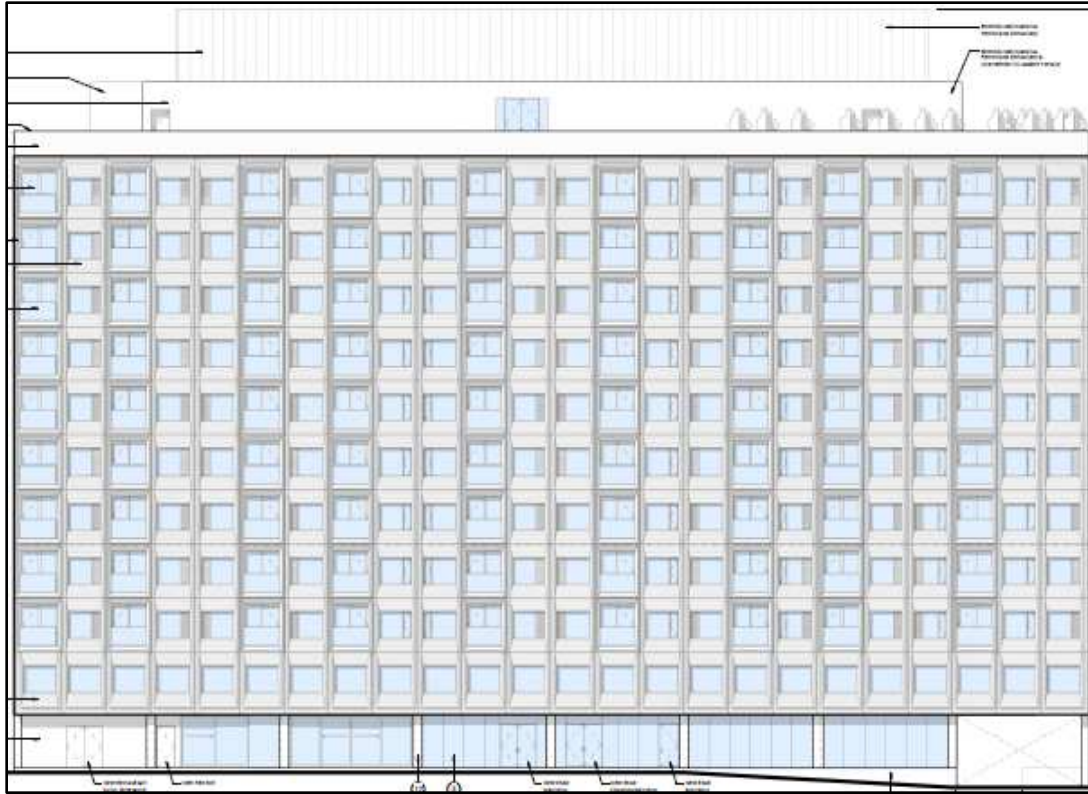


Figure 6: North Elevation

## Materials

The material and design changes proposed are intended to bring the building back to life while celebrating the architectural design of the building. The changes will respect the existing building, but they will enhance and bring warmth to help create a more residential feel.

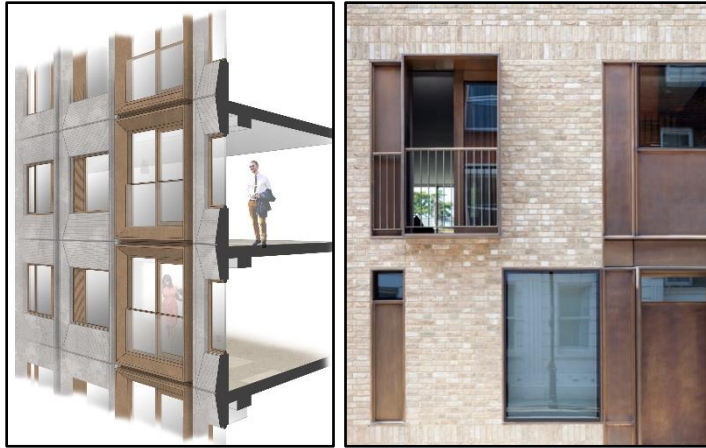


At the base of the building the proposal contemplates removing the concrete on the first and second floors and replacing it with a light weight glazed façade. The glazing will appear to wrap around the entire building. A double height entrance to the building will be created incorporating a canopy over top using weathering steel.

Ensuring the colour palette is compatible with the concrete, bronze colouring will be incorporated on the window and vent panes to bring in richness and warmth to the large concrete façade.

Figure 7: Concept of 473 Albert Street Exterior (glazing wrapping the first two floors, entrance, front façade and planters)





Juliet balconies will be added to the units using bronze colouring for the framing material, this will help to bring natural light into the units further achieving a residential feeling.

The interior will be expressed with some wood insertions to try and further celebrate the concrete, while providing warmer elements.

Figure 8: Examples of façade concept and bronze-coloured framing material on juliet balconies

## Streetscape and Public Realm

The building was constructed to the property line yet does not have a strong street presence. To activate the streetscape and public realm at the ground floor, the glazing that will appear to wrap the first and second floor will help to create a more inviting environment. It will allow for natural lighting to enter the building and create a sense of security through the creation of eyes on the street.

From the street view, the juliet balconies will help to break up the building and identify where units are located, providing warmth and enhancing the residential feel. The double height entrance will help to create a welcoming space which will lead to a concierge desk to guide residents and the public.

These design changes will improve the connection to the street by combining the uses of residential, office and restaurant to activate this space throughout the day. At the rear of the building there are additional components that will activate the space such as a dog run, private courtyard, restaurant terrace and resident pathways.



Figure 9: Amenity concepts (resident seating area, BBQ station and fire pit seating area)

To create an amenity offering in the building, the entire rooftop level will be dedicated for resident and office-tenant use. The rooftop provides a unique opportunity to offer views of the Ottawa skyline while creating a space where residents can gather. Planting will wrap the rooftop level to hide some of the activity from the street. Amenities such as a resident lounge, common



areas/dining areas, lounging areas, theatre room, yoga studio and fitness room will be provided to residents for use.

## Landscaping

The proposal aims to improve the existing impersonal street front created by the commercial nature of the previous use. This will be achieved through the insertion of planters along the building which will help to liven the street. The addition of shared resident and office-tenant landscaped areas at the back of the building will provide for a livelier experience with interactions between the interior and exterior spaces. Meandering pathways combined with purposeful meeting spaces will create pleasant interactions between users as they live, work, and play.

Elements such as a dog run, terraced seating area, and restaurant terrace will create animated ground-floor experiences that are appealing to passers-by. Exterior elements on the rooftop amenity level, such as a communal garden, barbecues, outdoor lounge areas, outdoor dining areas, and outdoor active spaces will bolster a sense of community between all users.

## Conclusion

It is our professional opinion that the proposed site plan application for an adaptive re-use of 473 Albert Street represents good planning and is in the public interest for the following reasons:

- The proposal is consistent with the policies set out in the Provincial Policy Statement. More specifically, the proposal aims to increase housing supply and support jobs which are priorities for the government;
- The proposed development conforms to the Official Plan policies, including the policies for the Central Area designation;
- The proposal conforms to the vision set out in the Central Area Secondary plan; and
- The proposal meets the general intent of the zoning by-law (minor variance required to legalize existing conditions).

Sincerely,



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Development Planner, M.PL



**Jenn Morrison, RPP, MCIP**  
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