

473 ALBERT STREET

ARCHITECT
linebox
STUDIO

ARCHITECTURAL DRAWING LIST

DWG NO.	DRAWING TITLE	CURRENT REVISION	CURRENT REV. DATE
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A4-300	3D VIEWS		

STRUCTURAL ENGINEER



MECHANICAL ENGINEER



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ELECTRICAL ENGINEER



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owner | propriétaire



structural engineers | ingénieur structure



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civil engineers | ingénieur civil

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Landscape Architecture

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landscape architects | architectes paysagistes

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte



general notes | note générale

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

COVER SHEET

project number | numéro du projet 159

drawn | dessiné CK / MP

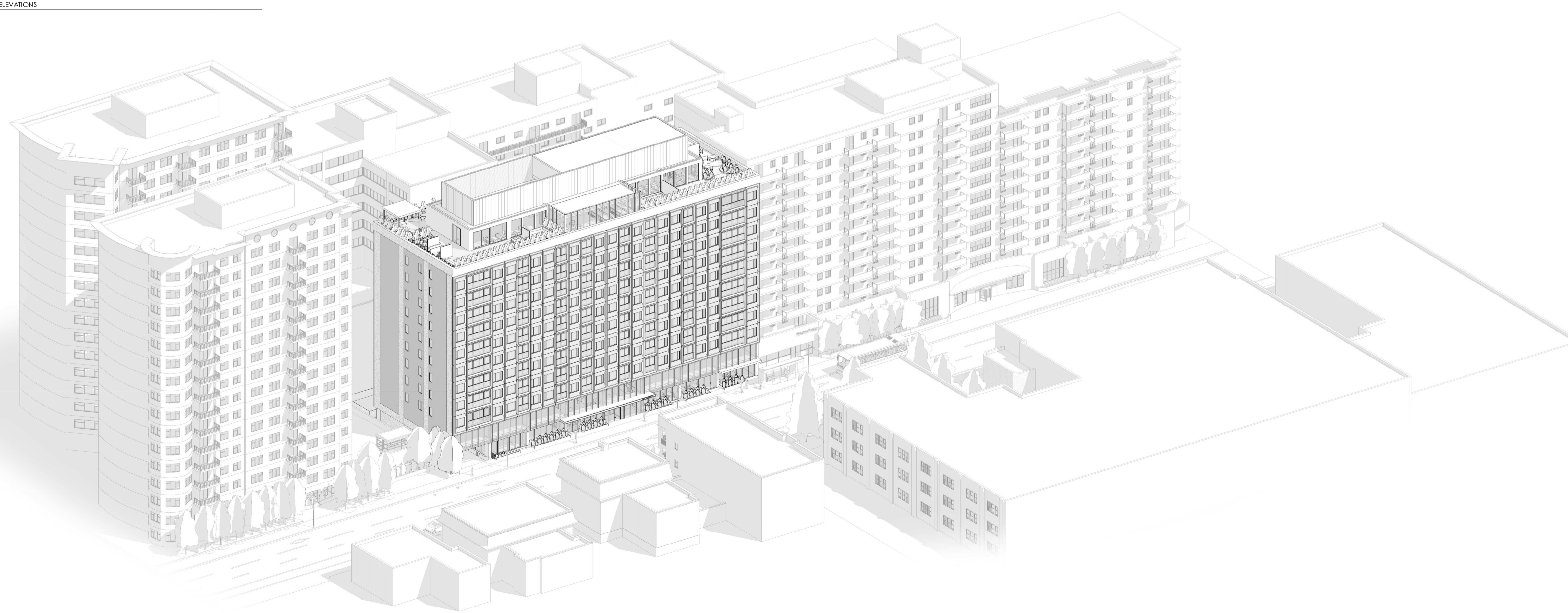
checked | vérifié JM / AR

date | date DEC 06, 2019

scale | échelle

drawing number | numéro du dessin

A0-100



GENERAL NOTES

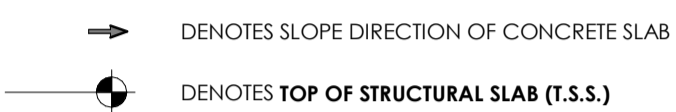
- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. REPORT TO THE OWNER AND ARCHITECT ON ANY DISCREPANCIES BETWEEN THE EXISTING SITE CONDITIONS AND THE FINAL DRAWINGS PRIOR TO CONTINUING CONSTRUCTION.
2. CONTRACTOR TO BE RESPONSIBLE FOR CONFORMANCE OF WORKMANSHIP, MATERIAL, AND METHODS.
3. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE AND LOCAL AUTHORITIES HAVING JURISDICTION.
...
46. FIRE STOP NOTE: FOR ALL DOUBLE STUD WALLS WITHIN AN AIR SPACE MORE THAN 25mm - PROVIDE 12.7 EXTERIOR GRADE GYPSUM WALL BOARD FIRE STOP @ 3m o.c. VERTICAL INTERVALS x 20m o.c. HORIZONTAL INTERVALS OR FILL CAVITY WITH BATT TYPE INSULATION.

NOTES: ONTARIO BUILDING CODE INTERIOR FINISHES:

Table with 2 columns: Finish Type and Rating. Includes rows for ALL SURFACES FOR EXIT STAIRS, LOBBIES, SERVICE ROOMS MEET; 10% MAX. OF A SURFACE WITHIN AN EXIT OR LOBBY; ALL OTHER WALLS; and COMBUSTIBLE CEILING FINISHES.

GENERAL NOTES FOR SLAB EDGE DRAWINGS

- 1. FOR STAIR OPENINGS AND SLAB EDGE DETAILS REFER TO THE PRECAST STAIR SHOP DRAWINGS.
2. FOR ELEVATOR SHAFT OPENING REFER TO ELEVATOR SHOP DRAWINGS.
3. FOR DUCT/SHAFT OPENING AND PENETRATIONS THROUGH WALLS & FLOORS, REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS.
...
10. ALL NOTCHES SHOWN FOR CURTAIN WALL & WINDOW WALL CONNECTION LOCATIONS ARE STRICTLY DIAGRAMMATIC. CONFIRM ALL LOCATIONS WITH CURTAIN WALL SHOP DRAWINGS PRIOR TO CONSTRUCTION OF SLAB



GENERAL NOTES FOR WALLS WITH S.T.C. RATINGS

- 1. WALLS MUST EXTEND SLAB TO SLAB.
2. THERE IS TO BE A MINIMUM AMOUNT OF STUDS PER WALL. (NO ADDITIONAL STUDS SHOULD BE INSTALLED)
3. INNER AND OUTER LAYERS OF DRYWALL SHOULD HAVE NO GAPS OVER 6 MM.
...
17. BATT TYPE INSULATION FOR INTERIOR WALLS MAY BE MINERAL WOOL OR FIBERGLASS - AT OWNER'S DISCRETION

GENERAL NOTES FOR ROOF PLANS

- DRAINAGE:
- CO-ORD ROOF DRAIN LOCATIONS AS SHOWN W/ MECH. DWGS.
- ROOF TRUSS /BEAM FRAMING TO BE SHIMMED /LOWERED AS REQ'D. @ LOW POINTS ALONG GRIDS TO PROVIDE ROOF SLOPE. CO-ORD W/ STRUCT DWGS.
...
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS

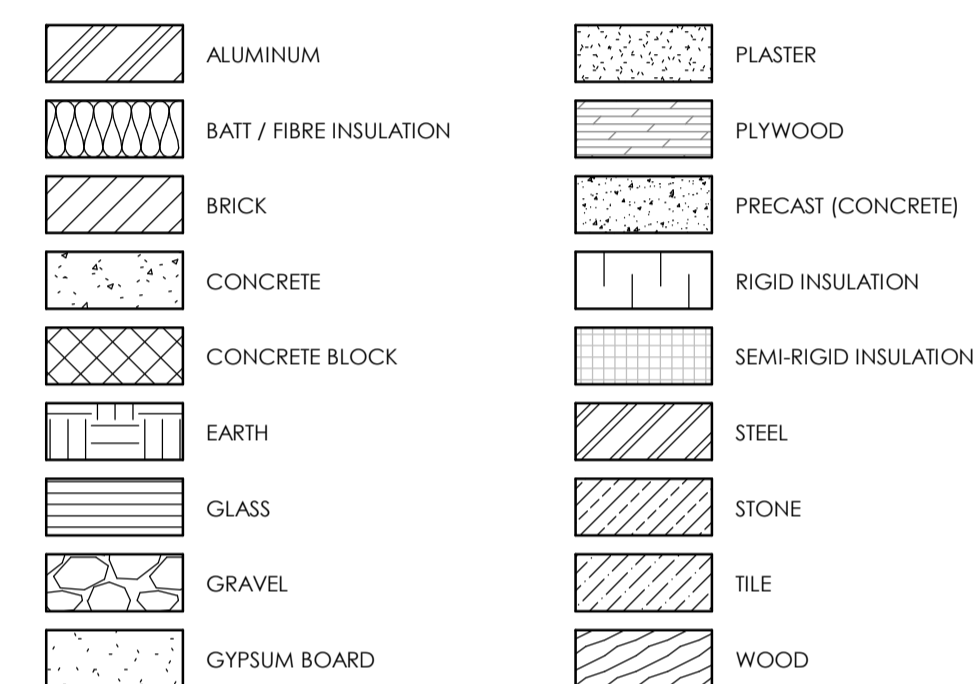
GENERAL NOTES FOR FLOOR FINISH PLANS

- 1. ALL WALL TILE LOCATIONS TO BE SHOWN ON INTERIOR ELEVATIONS AND ALL RELATED DETAILING ON ARCHITECTURAL DRAWINGS.
2. ALL FLOORING MATERIALS AND RELATED WALL TILES TO BE INSTALLED IN FULL ACCORDANCE WITH SPECIFICATIONS AND RELATED ARCHITECTURAL DETAILS.
...
11. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MORE NOTES ON FLOOR FINISHES

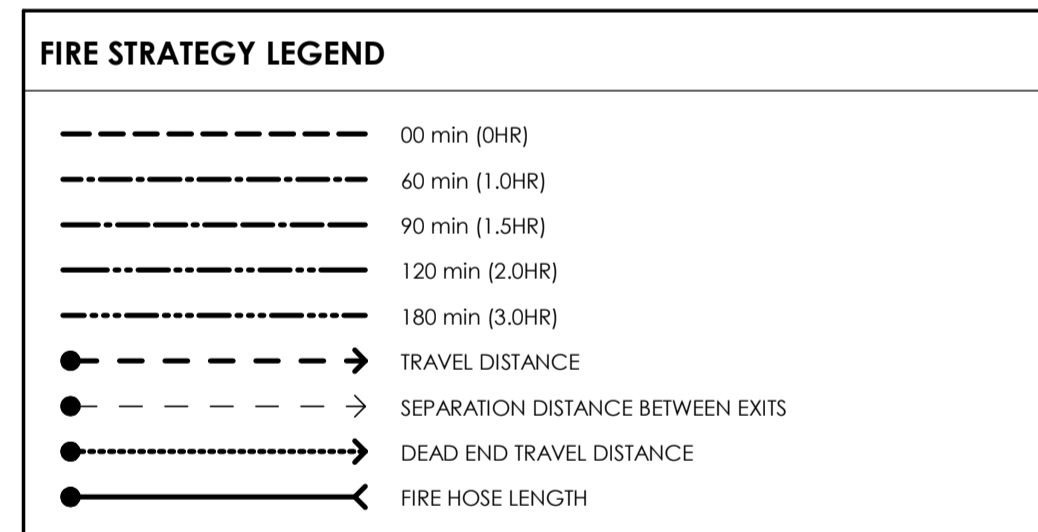
GENERAL NOTES FOR SUITE PLANS

- BATHROOMS:
*PROVIDE WOOD BLOCKING BEHIND TOILETS & BATHTUBS TO PROVIDE FOR FUTURE GRAB BARDS & ACCESSORIES. SEE TYPICAL SUITE ELEVATIONS & DETAILS.
*BATHROOM VANITY w/ RECESSED SINK & BASE CABINETS ARE TYPICAL. COORDINATE WIDTH.
...
*COORDINATE 'FLOOD SAVER' OR APPROVED EQUAL (REFER TO MECHANICAL)

MATERIAL NOTES



SYMBOL LEGEND



GENERAL NOTES FOR DEMOLITION PLANS

- 1. ALL DEMOLITION TO MAKE GOOD ALL CONNECTIONS.
2. DASHED LINES ON DEMOLITION PLAN REPRESENT WALLS, DOORS, WINDOWS, MILLWORK, PLUMBING FIXTURES, ETC. TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN. MAKE GOOD ALL CONNECTIONS.
...
13. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.



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473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

GENERAL NOTES

project number | numéro du projet 159

drawn | dessiné CK / MP

checked | vérifié JM / AR

date | date DEC 06, 2019

scale | échelle As indicated

drawing number | numéro du dessin

A0-101

INDEX TO ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	MAX	MAXIMUM
AL	ALUMINUM	MECH	MECHANICAL
AFL	ACCESS FLOOR	MEMB	MEMBRANE
AVB	AIR / VAPOUR BARRIER	MIN	MINIMUM
		MIRR	MIRROR
		MTL	METAL
CIP	CAST IN PLACE		
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NTS	NOT TO SCALE
CONT	CONTINUOUS		
COORD	COORDINATE	OC	ON CENTER
CORR	CORRIDOR	OPG	OPENING
CP	CARPET		
CPT	CARPET TILE	PCC	PRECAST CONCRETE
CRK	CORK	PE	PASSENGER ELEVATOR
CT	CERAMIC TILE	PERF	PERFORATED
		PLAM	PLASTIC LAMINATE
DEMO	DEMOLITION	PLAS	PLASTIC
DET	DETAIL	PLYWD	PLYWOOD
DIFF	DIFUSER	POL	POLISHED
DM	DIMENSION	PREFAB	PREFABRICATED
DR	DOOR	PREFIN	PREFINISHED
DWG	DRAWING	PT	PAINT
EA	EACH	RA	RETURN AIR
ELEC	ELECTRIC	RB	RUBBER BASE
EL	ELEVATION	RBF	RUBBER FLOORING
ELEV	ELEVATOR	RC	REINFORCED CONCRETE
ES	EDGE OF SLAB	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	REINF	REINFORCE
EXIST	EXISTING	REQD	REQUIRED
EXT	EXTERIOR	RF	RESINOUS FLOORING
		RM	ROOM
FD	FLOOR DRAIN	RO	ROUGH OPENING
FE	FIRE EXTINGUISHER	RSO	ROUGH STEEL OPENING
FEC	FIRE EXTINGUISHER CABINET	RVL	REVEAL
FF	FINISH FACE		
FFL	FINISH FLOOR LEVEL	SA	SUPPLY AIR
FHC	FIRE HOSE CABINET	SE	SERVICE ELEVATOR
FIN	FINISH	SF	SQUARE FOOT (FEET)
FIXT	FIXTURE	SIM	SIMILAR
FLR	FLOOR	SPKR	SPEAKER
FLR FIN	FLOOR FINISH	SPKLR	SPRINKLER
FOF	FACE OF FINISH	SQ	SQUARE
FOG	FACE OF GLASS	SSL	STRUCTURAL SLAB LEVEL
FOS	FACE OF STUD	SST	STAINLESS STEEL
FOW	FACE OF WALL	ST	STONE
FP	FIRE PROOFING	STC	SOUND TRANSMISSION CLASS
FRR	FIRE RESISTANCE RATER	STL	STEEL
FR	FRAME	STRUCT	STRUCTURAL
FT	FEET	SUSP	SUSPENDED
FURN	FURNITURE		
		TA	TOILET ACCESSORY
		TER	TERRAZZO
		TG	TEMPERED GLASS
		T&G	TONGUE AND GROOVE
		THRES	THRESHOLD
		TL	TILE
		TMPS	TEMPERED
		TOL	TOP OF LANDING
		TOS	TOP OF SLAB
		TOW	TOP OF WALL
		TP	TRANSITION POINT
		TYP	TYPICAL
		US	UNDERSIDE OF
		UNO	UNLESS NOTED OTHERWISE
		VB	VINYL BASE
		VCT	VINYL COMPOSITE TILE
		VERT	VERTICAL
		VEST	VESTIBULE
		VIF	VERIFY IN FIELD
		VR	VAPOR RETARDER
		VVL	VINYL
		WC	WALL COVERING
		WCS	WAINSCOT
		WD	WOOD
		WDF	HARDWOOD WOOD FLOORING
		WP	WORKING POINT
		WPM	WATERPROOF MEMBRANE

SYMBOL LEGEND

DRAWING TITLE	
CALLOUT	
SECTION MARKER	
EXTERIOR ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
GRID BUBBLE	
ELEVATION DATUM	
ROOM NAME	
MATERIAL TAG	
DOOR TAG	
FLOOR TAG	
FLOOR TRANSITION	
ROOF TAG	
GYPSUM WALL TAG	
WINDOW TAG	
SPOT ELEVATION MARKER	
ROOF/FLOOR SLOPE	
SHEET NOTE	



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no. revisions date

stamp | timbre



architect | architecte

general notes | note générale

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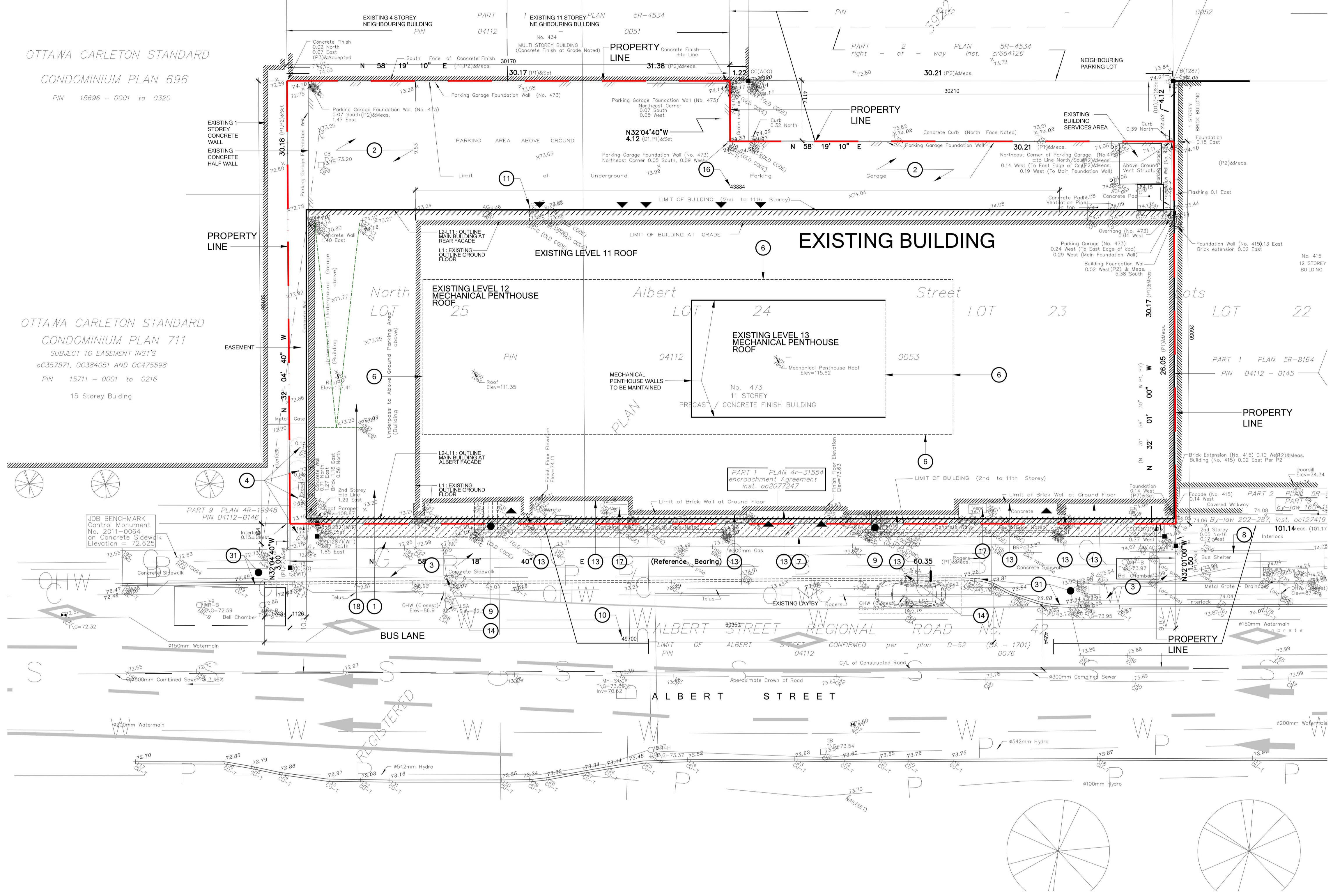
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A0-102

OTTAWA CARLETON STANDARD
CONDOMINIUM PLAN 696
PIN 15696 - 0001 to 0320

OTTAWA CARLETON STANDARD
CONDOMINIUM PLAN 711
SUBJECT TO EASEMENT INST'S
OC357571, OC384051 AND OC475598
PIN 15711 - 0001 to 0216
15 Storey Building



**SITE PLAN
DEMOLITION NOTES**

- GENERAL NOTES:
UNLESS OTHERWISE NOTED:
- SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE PACKAGE DRAWINGS.
 - ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.
 - PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
 - PROTECTION ZONE FOR TREES NOT BEING REMOVED SHALL BE RESPECTED (REFER TO LANDSCAPE PLAN).
- SPECIFIC NOTES:
- EXISTING ASPHALT PAVING TO BE REPLACED.
 - EXISTING ASPHALT PAVING TO BE DEMOLISHED.
 - EXISTING CONCRETE SIDEWALK TO BE DEMOLISHED.
 - EXISTING FENCE TO BE DEMOLISHED.
 - EXISTING TREE TO BE REMOVED.
 - EXISTING MECHANICAL PENTHOUSE WALLS TO BE DEMOLISHED, STRUCTURE TO REMAIN.
 - EXISTING METAL CANOPY TO BE DEMOLISHED.
 - BUS SHELTER TO BE MAINTAINED.
 - EXISTING CONCRETE STAIR AND WALL TO BE DEMOLISHED.
 - EXISTING CONCRETE CURB TO BE DEMOLISHED.
 - EXISTING CONCRETE STOOP TO BE DEMOLISHED.
 - XXXXX.
 - EXISTING GROUND FLOOR ALBERT STREET FACADE AND COLUMN CLADDING TO BE DEMOLISHED.
 - UTILITY POST
 - FIRE HYDRANT
 - EXISTING GROUND FLOOR NORTH FACADE AND COLUMN CLADDING TO BE DEMOLISHED.
 - EXISTING VENT TO BE RELOCATED.
 - EXISTING PARKING RAMP TO BE MAINTAINED.

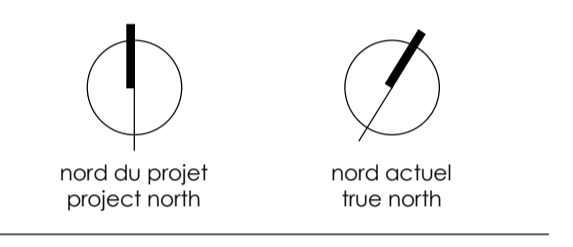


owner | propriétaire
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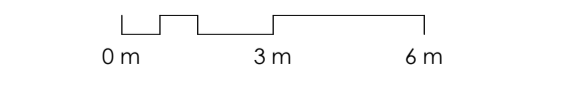
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473 ALBERT
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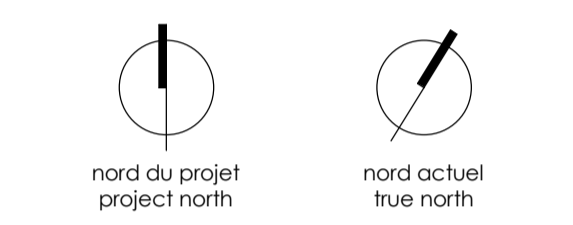
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
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SITE PLAN DEMOLITION

project number | numéro du projet **159**
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checked | vérifié **JM / AR**
date | date **DEC 06, 2019**
scale | échelle



drawing number | numéro du dessin
A0-800



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stamp | timbre



architect | architecte



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SITE PLAN

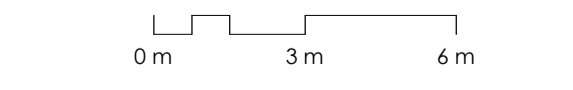
project number | numéro du projet **159**

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checked | vérifié **JM / JR**

date | date **DEC 06, 2019**

scale | échelle **1:50**

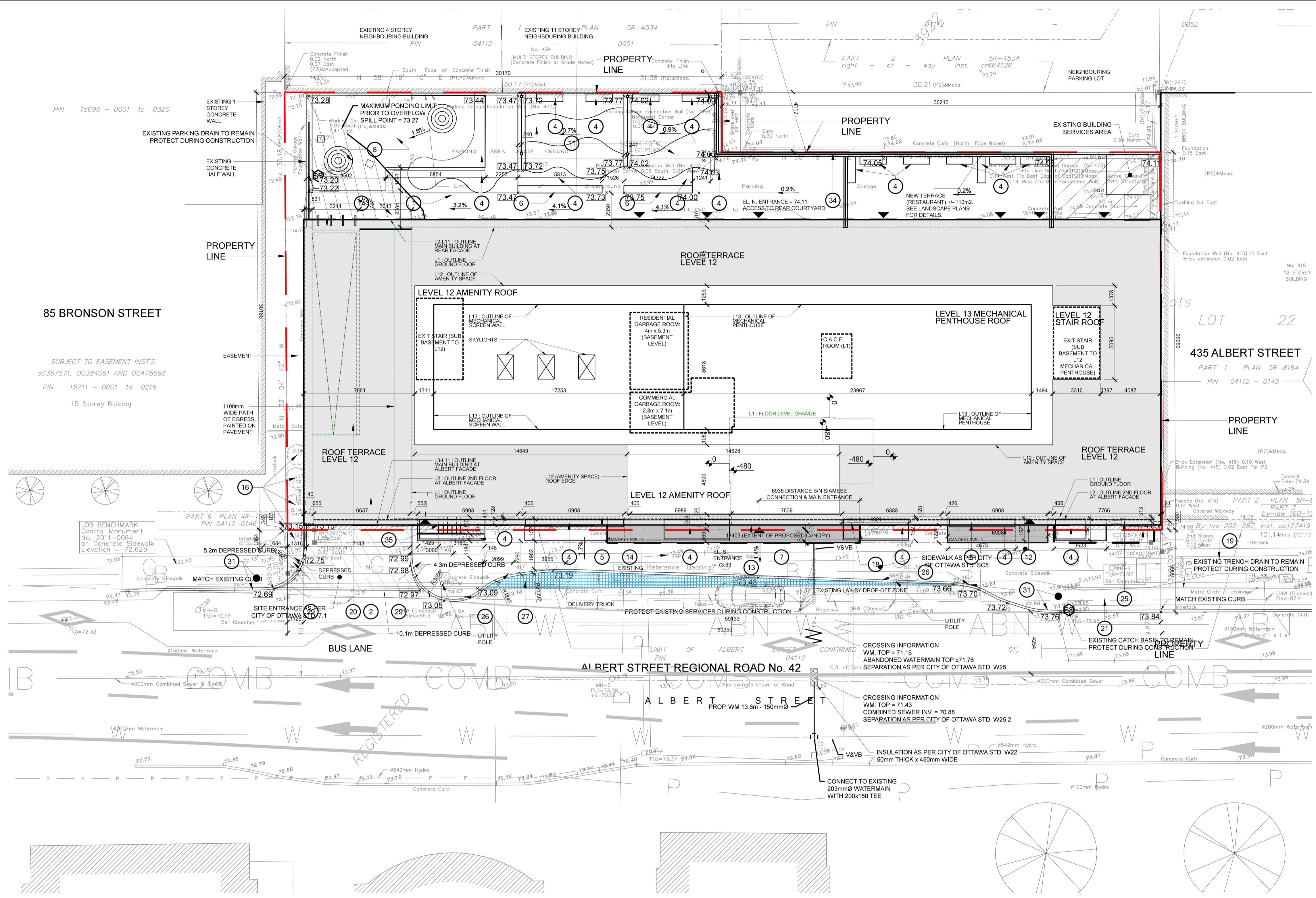


drawing number | numéro du dessin

A0-801

SITE PLAN NOTES

- GENERAL NOTES:
UNLESS OTHERWISE NOTED:
- SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE PACKAGE DRAWINGS.
 - ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.
 - PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
 - PROTECTION ZONE FOR TREES NOT BEING REMOVED SHALL BE RESPECTED (REFER TO LANDSCAPE PLAN).
 - PROPERTY LINE ALONG BEECHWOOD AVENUE TO BE REVISED IN RESPONSE TO THE ROAD MODIFICATION APPROVAL ACCEPTED BY THE CITY OF OTTAWA. THIS MAY AFFECT, BUT IS NOT LIMITED TO, THE LOCATION OF THE RAMP, SIDEWALK, CYCLE TRACK, BUS STOP SHELTER, AND LANDSCAPING ELEMENTS.
 - ANY PARKING SIGNAGE MOVED OR REMOVED DURING CONSTRUCTION WILL BE REINSTATED.
 - ANY TURF DISTURBED DURING CONSTRUCTION WILL BE REINSTATED UPON COMPLETION.
 - MATERIAL EXCAVATED FROM THE SITE WILL BE REMOVED AS SOON AS POSSIBLE.
 - SIDEWALK/CURB TO BE REINSTATED WHERE PRIVATE DRIVEWAYS HAVE BEEN DEMOLISHED OR WHERE DAMAGED THROUGH CONSTRUCTION PROCESS.
 - DELIVERIES TO RESTAURANTS AND LEASABLE AREAS IS THROUGH THE BUILDING.
- SPECIFIC NOTES:
- CONCRETE PAVERS, SEE LANDSCAPE PLAN FOR DETAILS.
 - NEW ASPHALT IN EXISTING DRIVEWAY.
 - UNDERGROUND STORAGE TANK/CESTERN. REFER TO CIVIL DRAWINGS FOR SPEC.
 - METAL PLANTER.
 - VENTILATION GRATE.
 - BENCH.
 - NEW CONCRETE SIDEWALK.
 - FENCED DOG WALK AREA. SEE LANDSCAPE PLAN FOR DETAILS.
 - GRASS.
 - GARDEN.
 - STEPPED TERRACE (RESIDENCE/COMMERCIAL SPACE). SEE LANDSCAPE PLAN FOR DETAILS.
 - RESTAURANT ENTRANCE.
 - 473 ALBERT MAIN ENTRANCE.
 - BICYCLE RACKS.
 - COMMERCIAL SOLID WASTE REMOVAL ZONE.
 - EXISTING TREE TO BE REMOVED.
 - ROOT PROTECTION ZONE. SEE LANDSCAPE PACKAGE FOR DETAILS.
 - SIAMSE CONNECTIONS.
 - EXISTING BUS SHELTER LOCATION.
 - EXISTING PARKING RAMP TO BE MAINTAINED.
 - EXISTING SIDEWALK WIDTH TO BE MAINTAINED.
 - FIRE HYDRANT.
 - EXISTING DRIVEWAY TO BE MAINTAINED.
 - 3000mm x 3000mm MULT. ELEC. RM. AND WATER ENTRY RM. E/A AIRWELL, METER ON INTERIOR.
 - EXISTING GAS METER.
 - NEW CONCRETE CURB.
 - EXTENSION TO EXISTING LAY-BY FOR LOADING DROP OFFS.
 - NEW TREE. SEE LANDSCAPE PACKAGE FOR DETAILS.
 - TACTILE WALKING SURFACE INDICATOR AS PER CITY OF OTTAWA STANDARDS.
 - 3000mm x 3000mm ELEC/WATER O/A AIRWELL.
 - EXISTING CURB & SIDEWALK.
 - TREE PROTECTION FENCING. SEE DETAILS OF CONSTRUCTION ON LANDSCAPE DRAWINGS.
 - OVERFLOW LOCATION (REFER TO CIVIL & MECHANICAL DRAWINGS FOR ADDITIONAL DETAILS).
 - NEW PRIVACY SCREEN. SEE LANDSCAPE PLAN FOR DETAILS.
 - NEW CONCRETE STAIR.



1 SITE PLAN
A0-200-800 1:150

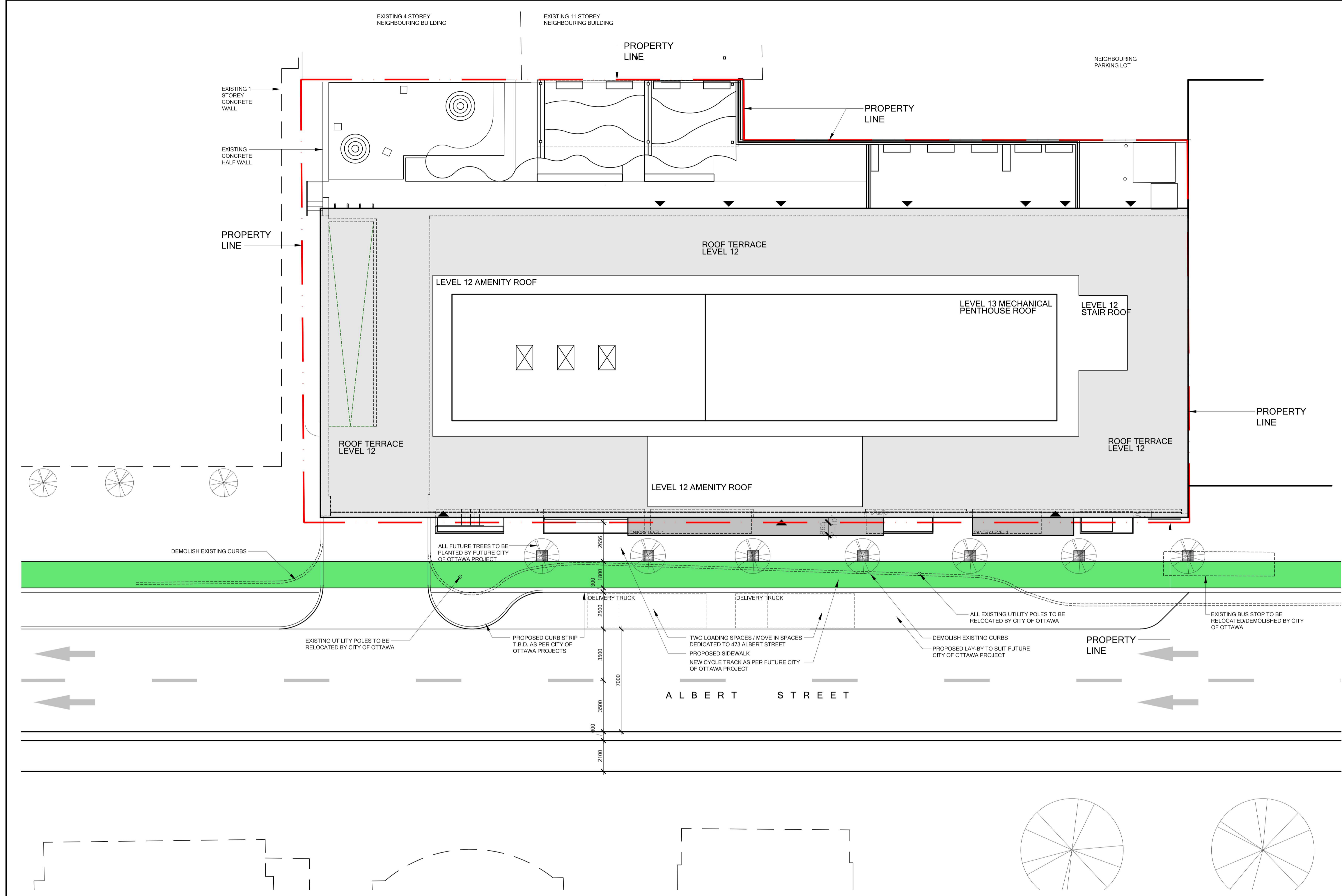
G.F.A. BREAKDOWN (ALL AREAS PRELIMINARY AND SUBJECT TO CHANGE)			
GROUND FLOOR	EXISTING (sq. m)	PROPOSED (sq. m)	DIFFERENCE
L2	1,063.64	1,017.53	- 46.11 (NEW CURTAIN WALL POSITION, CORE MODIF.)
L3	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L4	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L5	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L6	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L7	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L8	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L9	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L10	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L11	1,063.64	1,121.19	+ 57.55 (CORE MODIF.)
L12 (RES. AMENITIES)	-	-	-
L13 (MECH. PH)	-	-	-
TOTAL	11,345.18	11,766.4	+421.22

G.L.A. BREAKDOWN (PROPOSED) (ALL AREAS PRELIMINARY AND SUBJECT TO CHANGE)			
GROUND FLOOR	OFFICE (sq. m)	RESTAURANT (sq. m)	RESIDENTIAL (sq. m)
L2	1,017.53	359.31	605.09
L3	-	-	936.45
L4	-	-	936.45
L5	-	-	936.45
L6	-	-	936.45
L7	-	-	936.45
L8	-	-	936.45
L9	-	-	936.45
L10	-	-	936.45
L11	-	-	936.45
L12	-	-	-
TOTAL	1,264.31	359.31	8,428.05

SUITE COUNT BREAKDOWN			
SUITE TYPE	# PER FLOOR	# TOTAL	
STUDIO	5	45	
1 BEDROOM	7	63	
1.5 BEDROOM	1	9	
2 BEDROOM	4	36	
TOTAL	17	153 SUITES	

RESIDENTIAL SUITE TYPES LEASABLE AREA			
DESCRIPTION	BEDROOM COUNT	AREA (m²)	AREA (ft²)
SUITE x01	STUDIO	43.91 m²	473 ft²
SUITE x02	STUDIO	39.59 m²	426 ft²
SUITE x03	2 BR	71.97 m²	775 ft²
SUITE x04	STUDIO	42.45 m²	457 ft²
SUITE x05	STUDIO	38.37 m²	413 ft²
SUITE x06	1 BR	46.78 m²	504 ft²
SUITE x07	2 BR	78.17 m²	841 ft²
SUITE x08	1 BR	55.20 m²	594 ft²
SUITE x09	1 BR	55.20 m²	594 ft²
SUITE x10	STUDIO	35.53 m²	382 ft²
SUITE x11	STUDIO	35.53 m²	382 ft²
SUITE x12	1 BR	55.20 m²	594 ft²
SUITE x13	1 BR	55.20 m²	594 ft²
SUITE x14	2 BR	85.55 m²	921 ft²
SUITE x15	2 BR	83.87 m²	903 ft²
SUITE x16	1 BR	47.43 m²	511 ft²
SUITE x17	1.5 BR	66.49 m²	716 ft²
TOTAL AREA PER FLOOR		936.45 m²	10,080 ft²

ZONING MATRIX			
Item	Field	Data	
1	LEGAL DESCRIPTION	PLAN 3922 LOT 25 PT LOT 23-PT LOT 24	
2	CURRENT ZONING PERMITTED USES:	R5P(2469)H(37) APARTMENT DWELLINGS (HIGH RISE), RESTAURANT (CONDITIONAL), OFFICE (CURRENT EXCEPTION)	
3	LOT AREA	1,979.01 m² (EXISTING UNCHANGED)	
4	LOT FRONTAGE	60.35 m (EXISTING UNCHANGED)	
5	BUILDING AREA	1,276.40 m² (EXISTING UNCHANGED)	
6	BUILDING SETBACKS	FRONT YARD REQUIRED: 3m FRONT YARD (EXISTING): 0m REAR YARD (REQUIRED): 7.5m REAR YARD (EXISTING): 4.7m INTERIOR SIDE YARD (REQUIRED): 1.5m FOR FIRST 21m, THEN 6m INTERIOR SIDE YARD (EXISTING): 0m (EAST) 1.5m (WEST)	
7	AMENITY SPACE	REQUIRED: 6m² / DWELLING UNIT = 918m² PROPOSED COMMUNAL AMENITY: GROUND LEVEL, EXTERIOR: 416.65 sq.m L12, INTERIOR: 578.86 sq.m L12, EXTERIOR: 585 sq. m TOTAL: 1,143.86 sq. m	
8	BUILDING HEIGHT	HEIGHTS UNCHANGED; PROPOSED CHANGE TO USE AS FOLLOWS: 34.2M TO TOP OF MAIN ROOF (UNCHANGED) 38.0M TO TOP OF AMENITY PENTHOUSE (L12) [CURRENTLY MECH PENTHOUSE] 41.99M TO TOP OF MECHANICAL/ELEVATOR PENTHOUSE (UNCHANGED)	
9	LOADING ZONE	REQUIRED: RESIDENTIAL: 0 spaces (min) OFFICE (1000-1999m²): 1 space (min) RETAIL (350-999m²): 0 spaces (min) PROPOSED: 1 SHARED LOADING ZONE	
10	PARKING	REQUIRED: RESIDENTIAL: 1.5 per unit = 230 spots OFFICE: MAXIMUM: 1.0 per 100m² = 13 spots RETAIL: MAXIMUM: 1.0 per 100m² = 4 spots VISITOR: 0 for 1st 12 units, then 0.1 per dwelling unit = 14 spots PROPOSED: 40 RESIDENTIAL, 7 VISITOR	
11	BICYCLE PARKING	REQUIRED: RESIDENTIAL: 0.5 / UNIT = 77 SPACES RESTAURANT: 1 / 250 m² = 1 SPACE OFFICE: 1 / 250 m² = 5 SPACES TOTAL: 83 SPACES PROPOSED: >83 SPACES DISPERSED BETWEEN INTERIOR & EXTERIOR, 4 SPACES ON GROUND LVL, 79 SPACES IN BASEMENT	
12	LANDSCAPED AREAS	REQUIRED: 593.7 m² (30% OF LOT AREA) PROPOSED: GROUND LEVEL: 416.65 m² L12 ROOF TERRACE: 585 m² TOTAL: 1,001.65 m²	
13	DRIVE AISLES	REQUIRED: Double traffic lane; Minimum: 6m; Maximum: 3.6m for less than 20 parking spaces, 6.7m for 20 or more parking spaces PROPOSED: SEE PLANS	



1 SITE PLAN
A0-802-800 1 : 150

THE FUTURE SITE PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. IT IS INTENDED TO DEMONSTRATE, AT A HIGH LEVEL, HOW THIS PROJECT MAY INTEGRATE INTO THE CITY OF OTTAWA'S PLANS FOR THE FUTURE ALBERT STREET RENEWAL PROJECT

nord du projet
project north

nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019
ISSUED FOR PRE-CONSULTATION JUL 26, 2019

no revisions date

stamp | timbre



general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

SITE PLAN FUTURE

project number | numéro du projet 159

drawn | dessiné CK / MP

checked | vérifié JM / AR

date | date DEC 06, 2019

scale | échelle

0 m 3 m 6 m

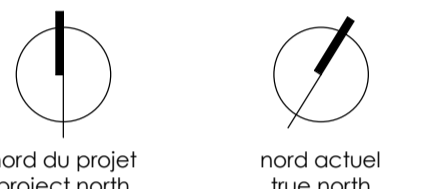
owner | propriétaire

structural engineers | ingénieur structure

civil engineers | ingénieur civil

205 - 720 Bathurst Street Toronto Ontario M5S 2R4
1 647 933 1151 forestandfield.ca

landscape architects | architectes paysagistes



NO.	REVISIONS	DATE

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no. revisions _____ date _____

stamp | timbre



architect | architecte
linebox
STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

SUB BASEMENT
DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / MP**

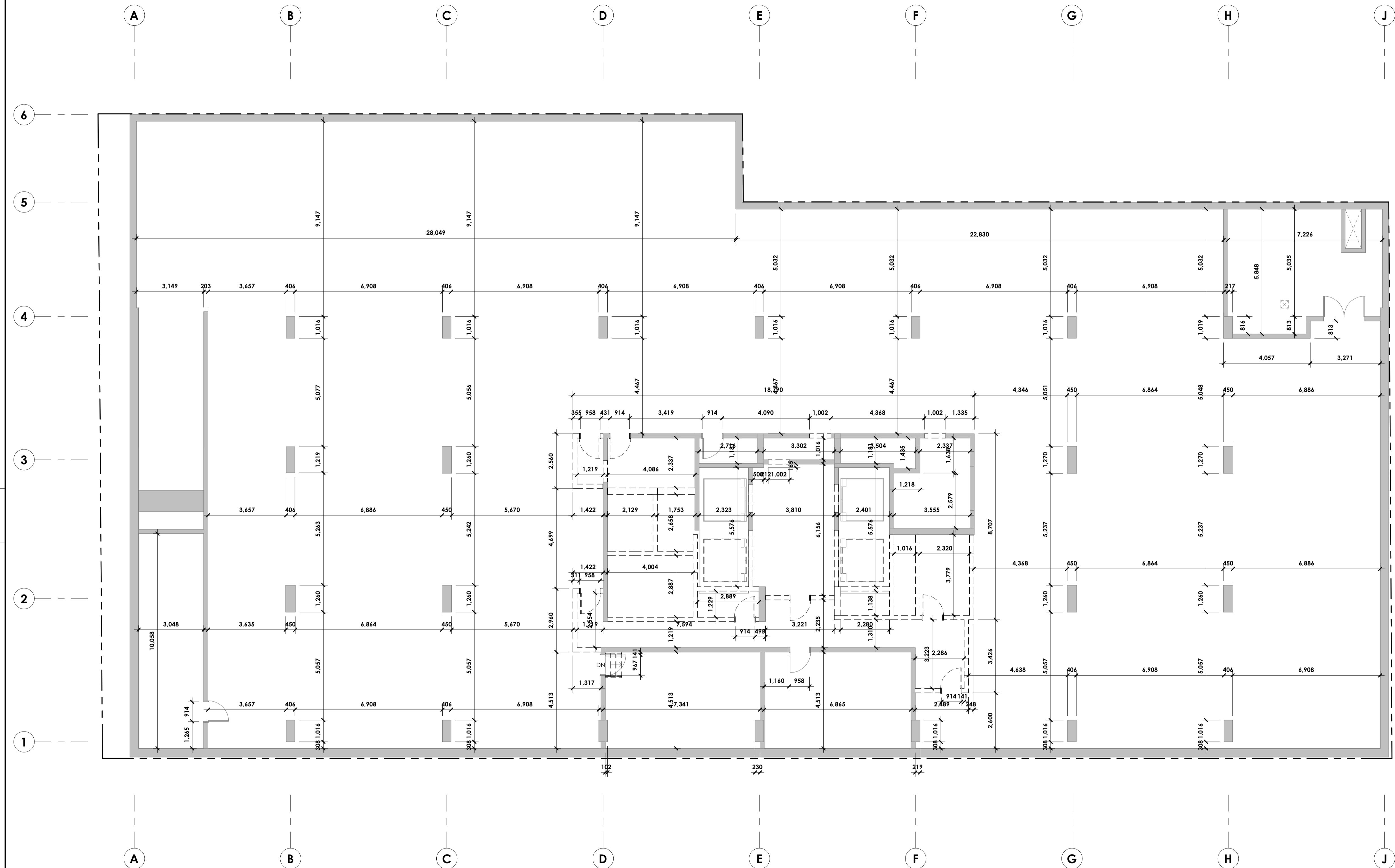
checked | vérifié **JM / AR**

date | date **DEC 06, 2019**

scale | échelle **As indicated**

drawing number | numéro du dessin

A1-099



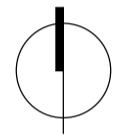
NOTES:

1. EXISTING MECHANICAL SYSTEMS TO BE REMOVED
2. EXISTING ELECTRICAL SYSTEMS TO BE REMOVED
3. EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED
4. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

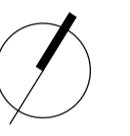
LEGEND:

- EXISTING ELEMENTS TO REMAIN
- DEMOLISHED ELEMENTS

1 SUB-BASEMENT DEMOLITION PLAN
A1-099 1:100 AS-100



nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

BASEMENT DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / MP**

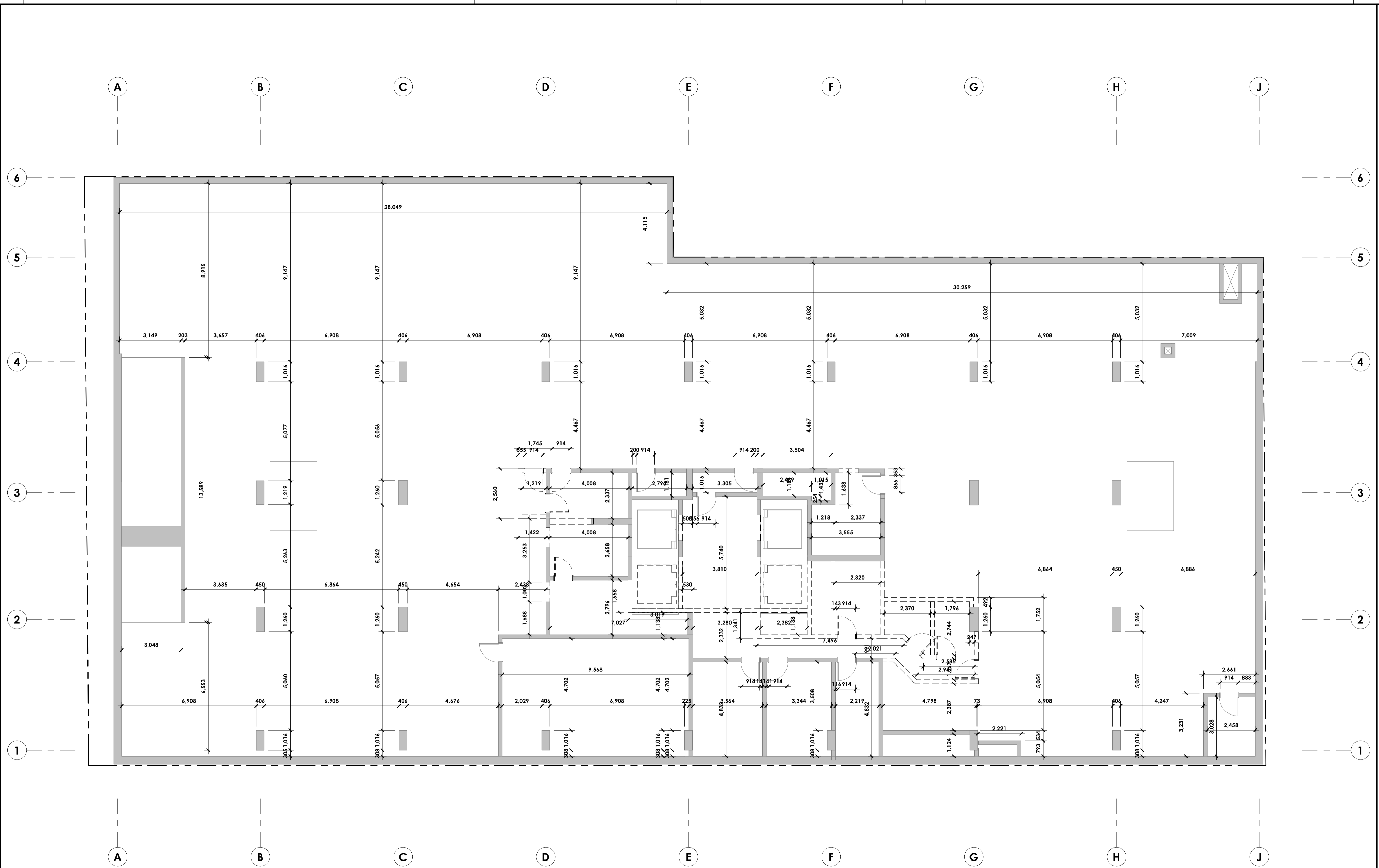
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date | date **DEC 06, 2019**

scale | échelle **As indicated**

drawing number | numéro du dessin

A1-100



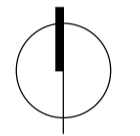
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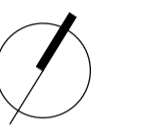
LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 01 DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / MP**

checked | vérifié **JM / AR**

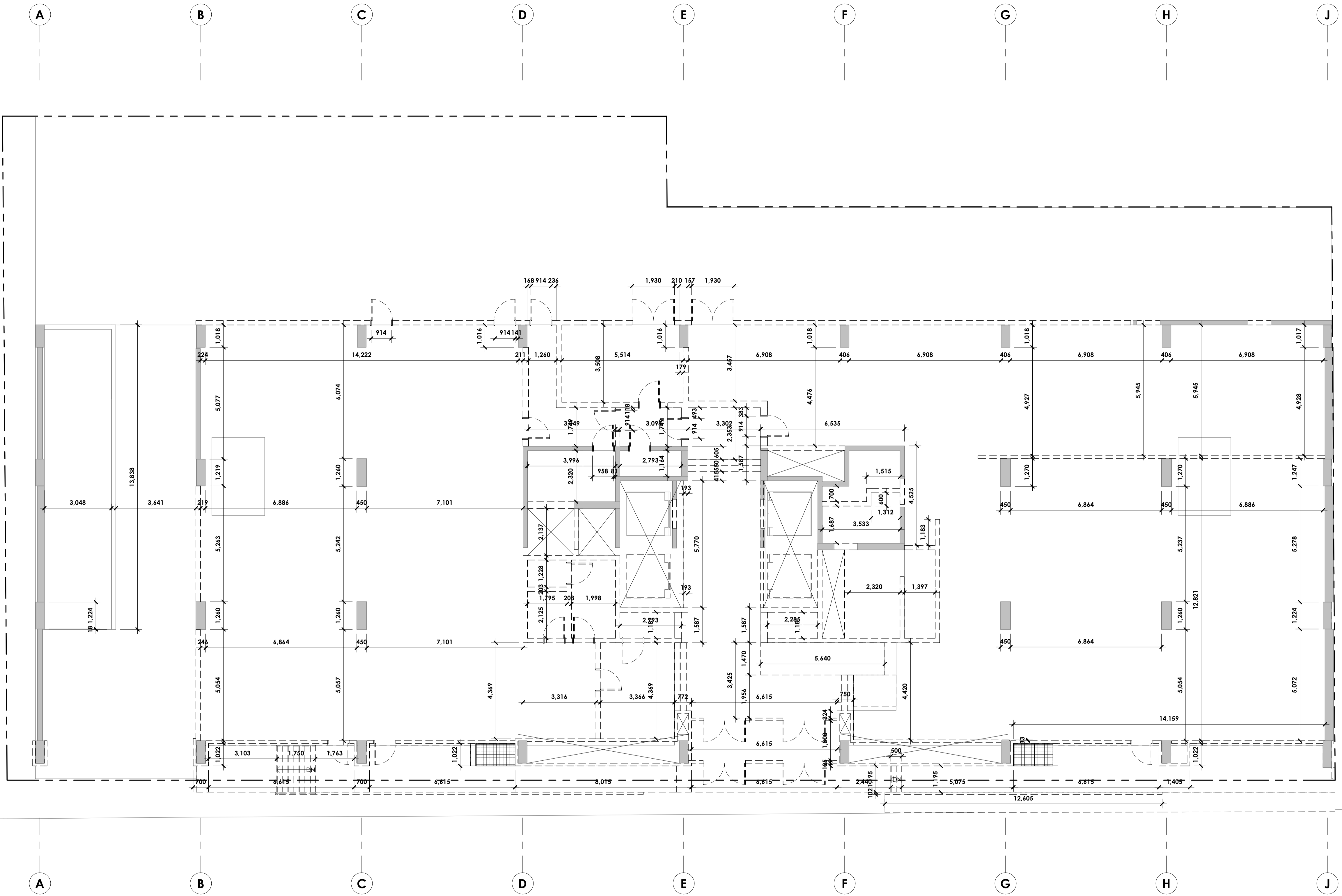
date | date **DEC 06, 2019**

scale | échelle **As indicated**

drawing number | numéro du dessin

A1-101

1
LEVEL 01 DEMOLITION PLAN
A1-101 1:100
AO-200



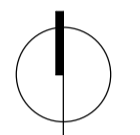
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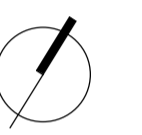
LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 02 DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / MP**

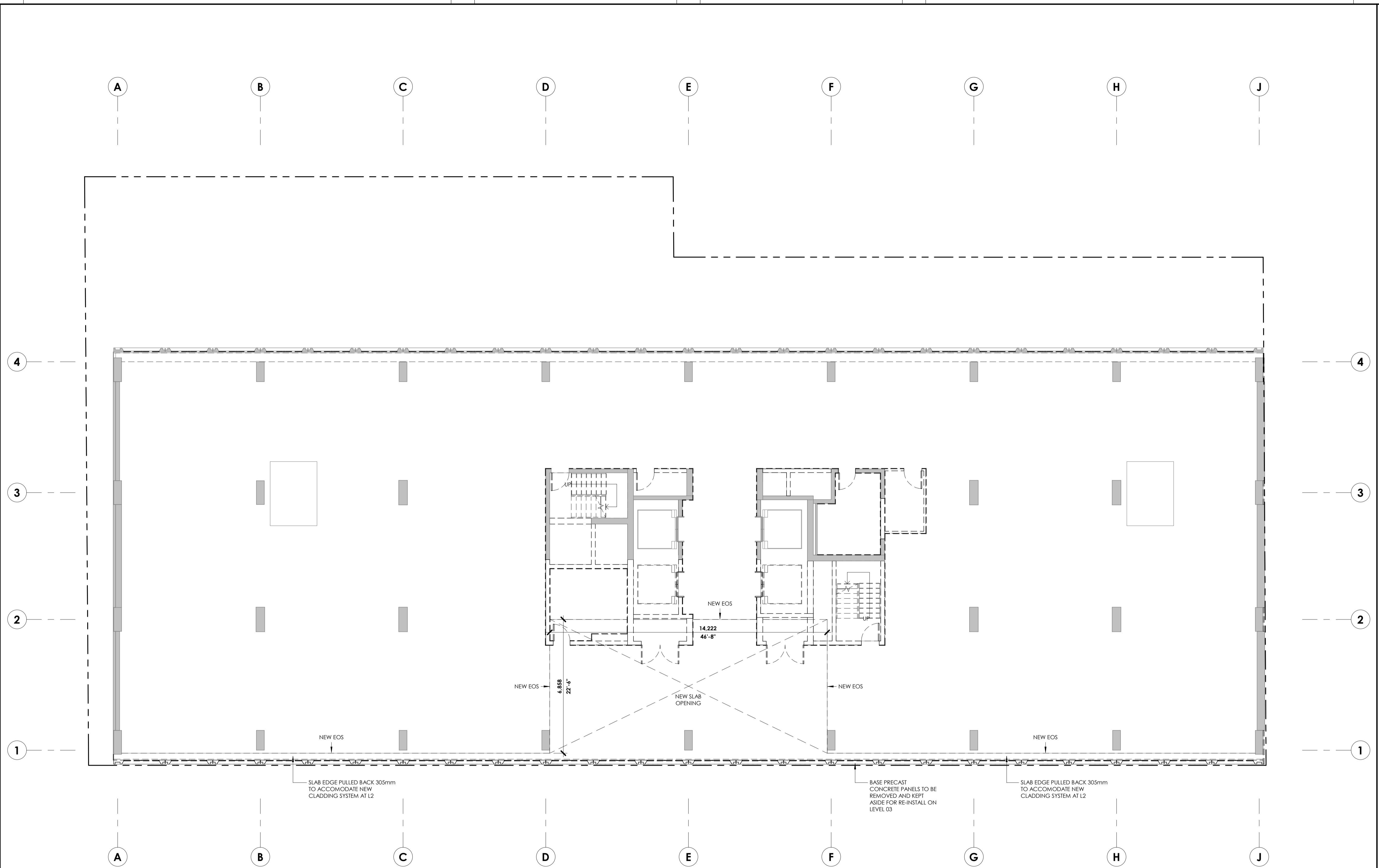
checked | vérifié **JM / AR**

date | date **DEC 06, 2019**

scale | échelle **As indicated**

drawing number | numéro du dessin

A1-102



SLAB EDGE PULLED BACK 305mm TO ACCOMMODATE NEW CLADDING SYSTEM AT L2

BASE PRECAST CONCRETE PANELS TO BE REMOVED AND KEPT ASIDE FOR RE-INSTALL ON LEVEL 03

SLAB EDGE PULLED BACK 305mm TO ACCOMMODATE NEW CLADDING SYSTEM AT L2

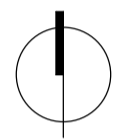
NOTES:

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- EXISTING ELECTRICAL SYSTEMS TO BE REMOVED
- EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED
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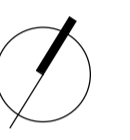
LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

**LEVELS 03 TO 10 (TYPICAL)
DEMOLITION PLAN**

project number | numéro du projet **159**

drawn | dessiné **CK / MP**

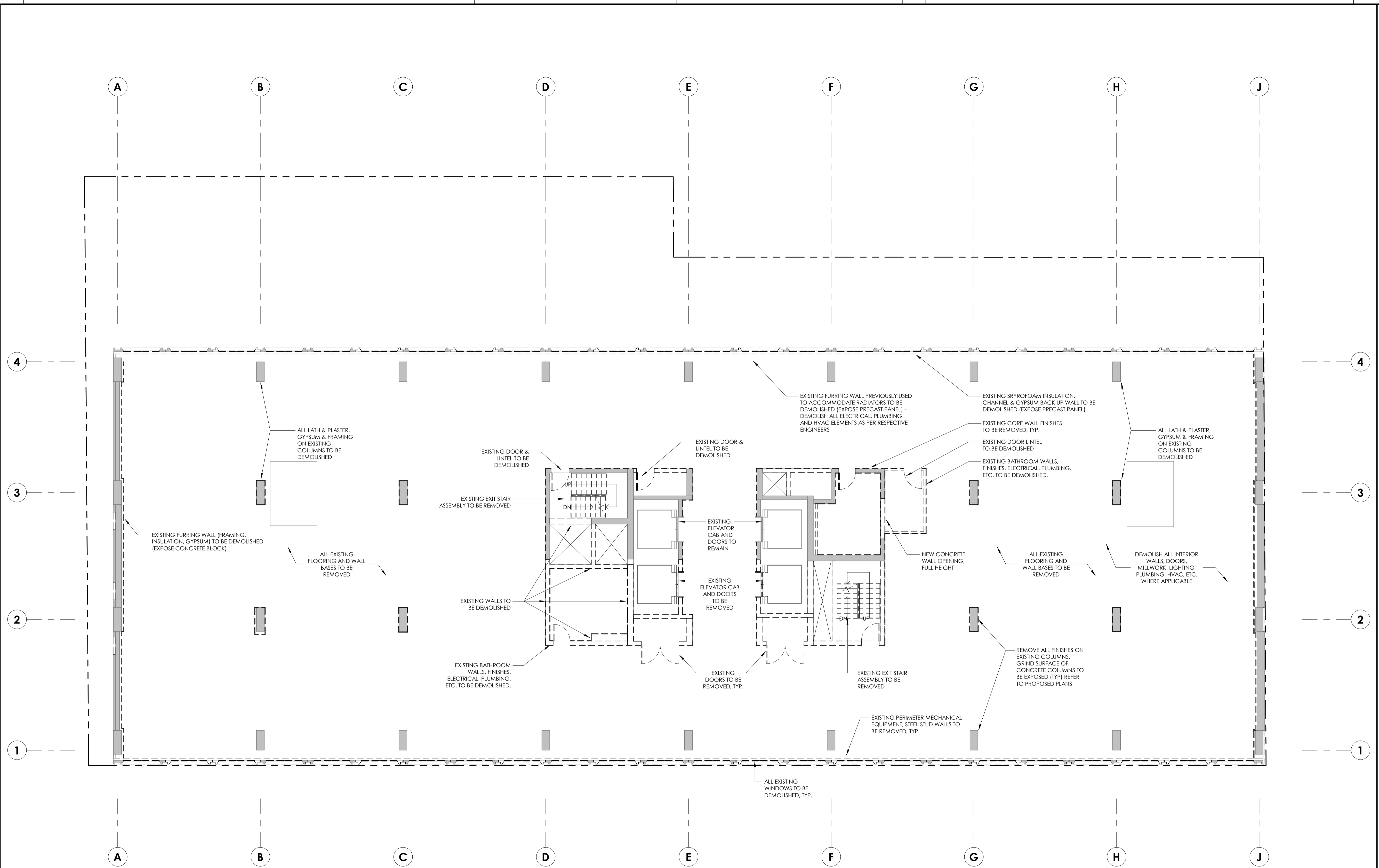
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date | date **DEC 06, 2019**

scale | échelle **As indicated**

drawing number | numéro du dessin

A1-103



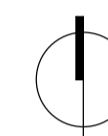
NOTES:

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3. EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED
4. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



nord du projet
project north



nord actuel
true north

no	revisions	date

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 11 DEMOLITION PLAN

project number | numéro du projet 159

drawn | dessiné CK / MP

checked | vérifié JM / AR

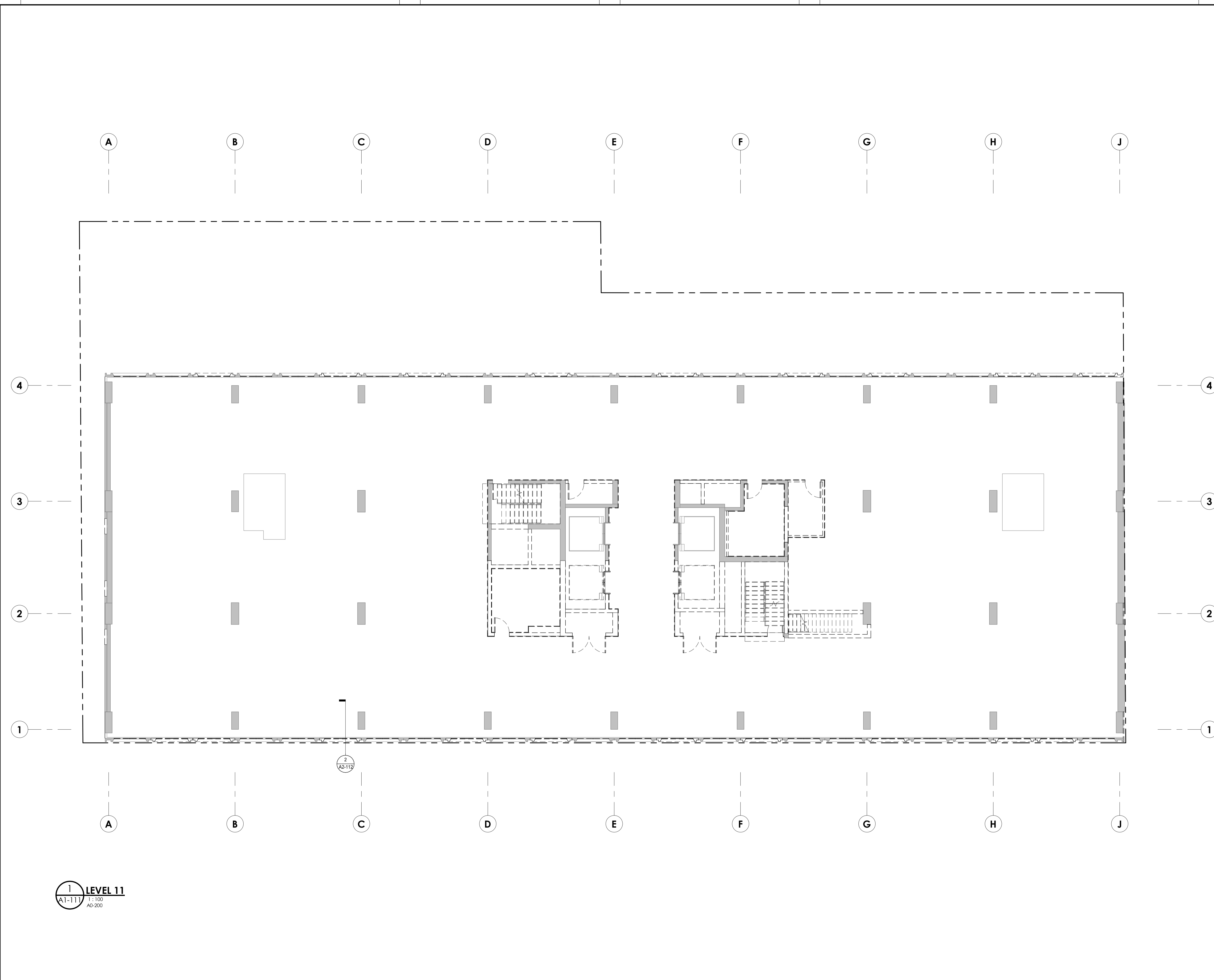
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scale | échelle 1 : 100



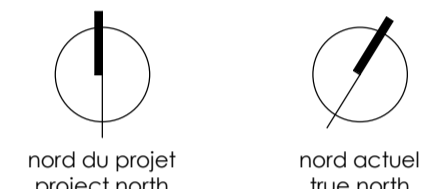
drawing number | numéro du dessin

A1-111



1 LEVEL 11
A1-111
1:100
A0-200

2
A2-112



nord du projet / project north nord actuel / true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no. revisions date

stamp | timbre



architect | architecte

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 12 DEMOLITION PLAN

project number | numéro du projet 159

drawn | dessiné CK / MP

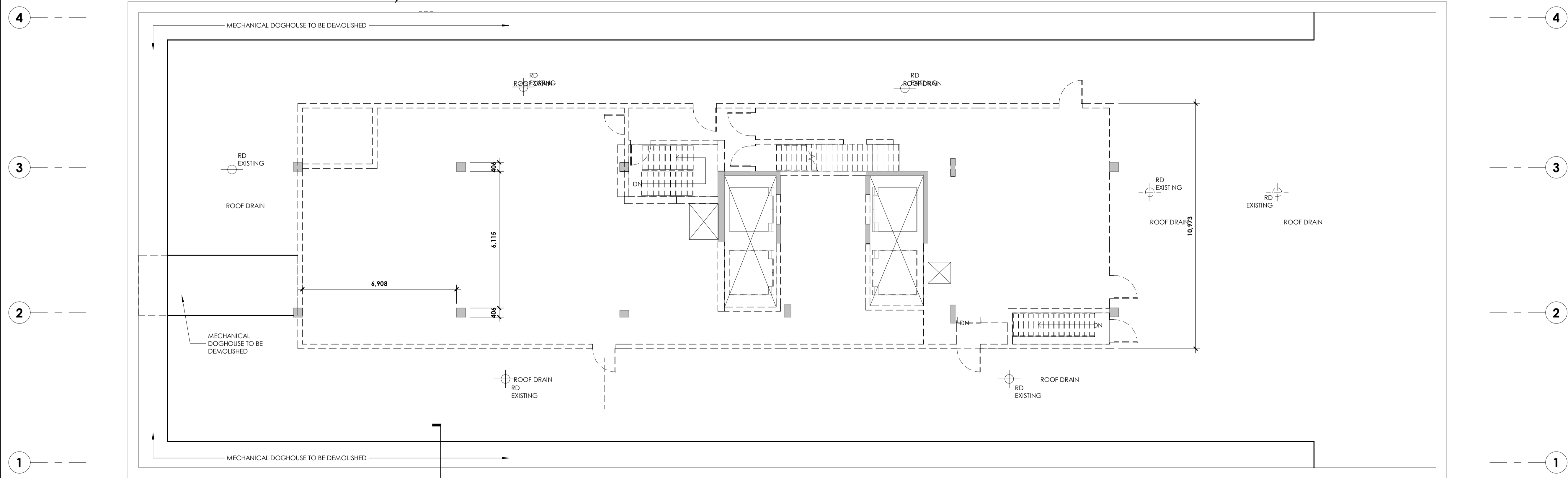
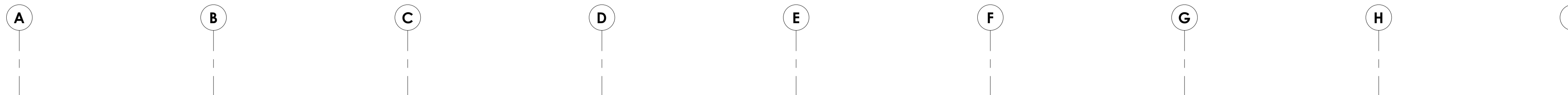
checked | vérifié JM / AR

date | date DEC 06, 2019

scale | échelle As indicated

drawing number | numéro du dessin

A1-112



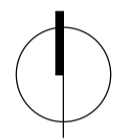
NOTES:

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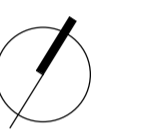
LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no revisions date

stamp | timbre



architect | architecte

general notes | note générale

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project title

473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 13 DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / MP**

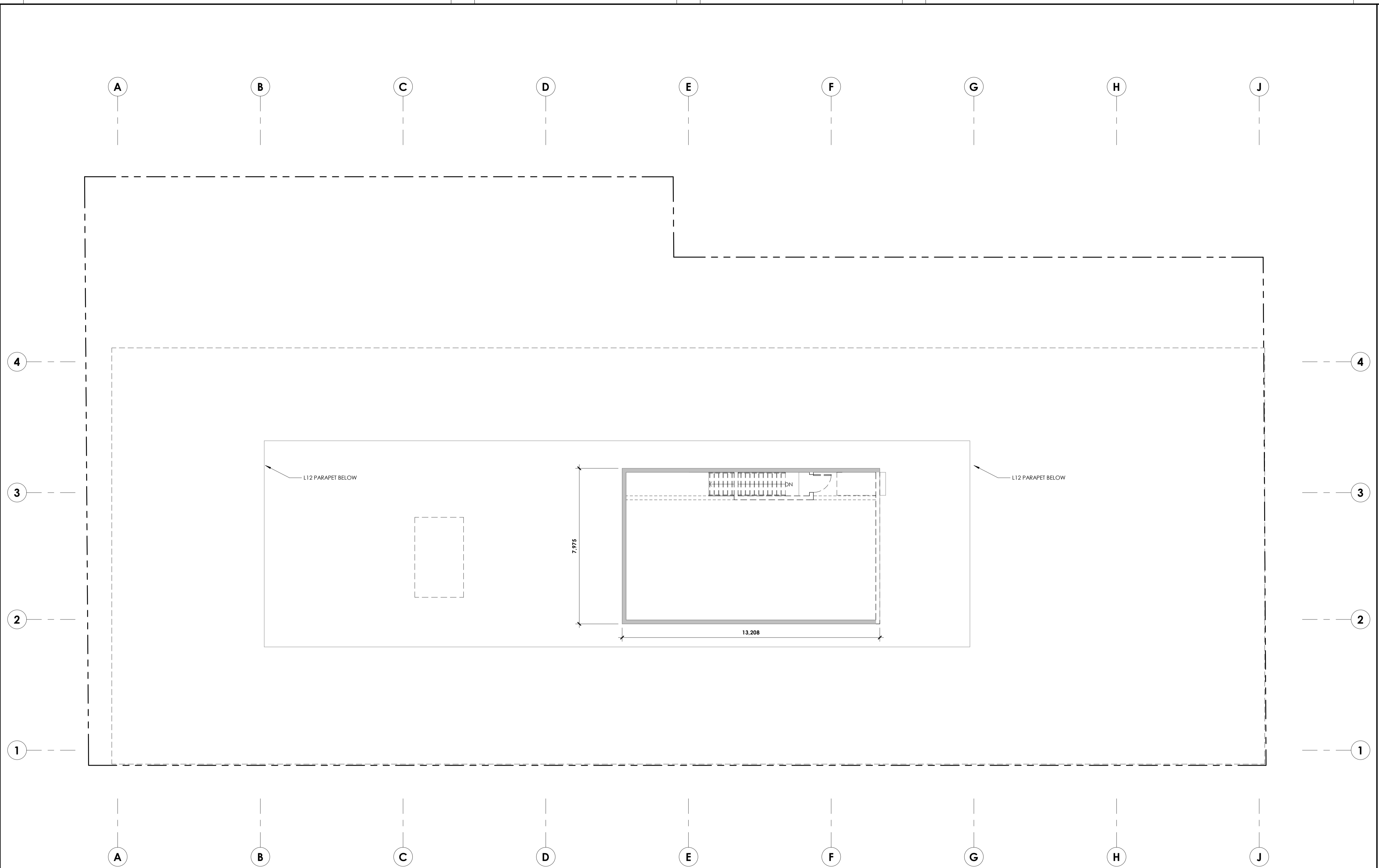
checked | vérifié **JM / AR**

date | date **DEC 06, 2019**

scale | échelle **As indicated**

drawing number | numéro du dessin

A1-113



NOTES:

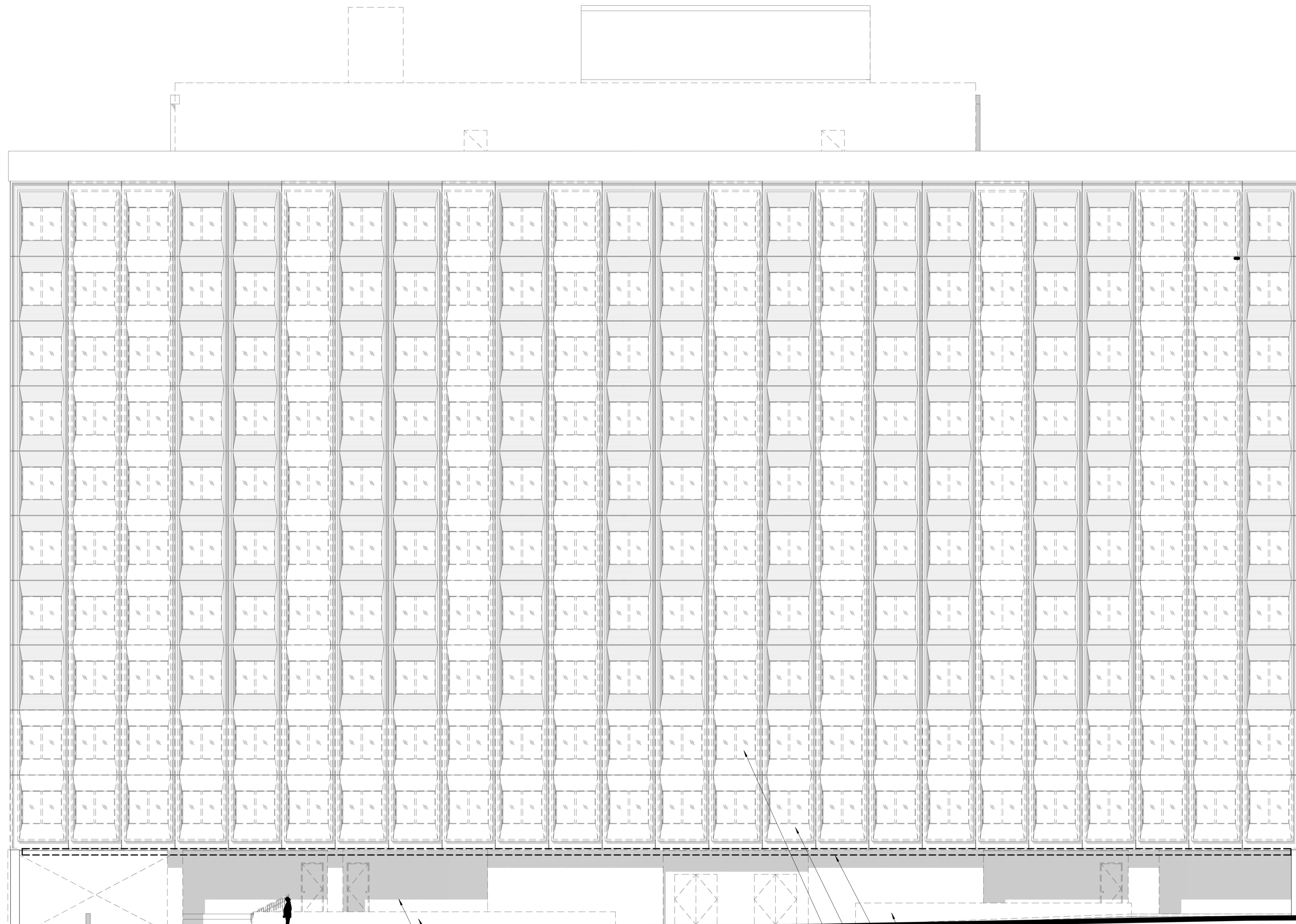
- EXISTING MECHANICAL SYSTEMS TO BE REMOVED
- EXISTING ELECTRICAL SYSTEMS TO BE REMOVED
- EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS

A 7.314 B 7.314 C 7.314 D 7.314 E 7.314 F 7.314 G 7.314 H 7.314 J



480	1'-7"	3.343	10'-11 1/2"	EXISTING: OFFICE & RESTAURANT TO REMAIN	LEVEL 01	5.183 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 02	8.526 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 03	11.485 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 04	14.444 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 05	17.403 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 06	20.362 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 07	23.321 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 08	26.280 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 09	29.239 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 10	32.198 m
			9'-8 1/2"	EXISTING: OFFICE TO REMAIN	LEVEL 11	35.157 m
			12'-2"	EXISTING: OFFICE TO REMAIN	LEVEL 12 (MAIN ROOF)	38.871 m
			14'-5 1/2"	EXISTING: MECH. PROPOSED: MECH. AGENT	LEVEL 13	43.284 m
			10'-3 1/2"	EXISTING: MECH. TO REMAIN		
			3.137	U/S MECH. ROOF		46.421 m

EXIST. ENTRANCE TO UNDER GROUND PARKING
EXIST. DRIVE THRU LANE
EXISTING COLUMN CLADDING TO BE REMOVED
EXISTING CONCRETE KNEE WALL TO BE REMOVED
EXISTING EXTERIOR CANOPY TO BE REMOVED
ALL PRECAST CONCRETE PANELS ON LEVEL 02 TO BE REMOVED AND KEPT ASIDE FOR REINSTALL ON LEVEL 03
ALL EXISTING WINDOWS IN PRECAST CONCRETE PANELS TO BE REMOVED
ALL EXISTING GROUND FLOOR CLADDING AND DOORS TO BE REMOVED

INTERRENT REIT
owner | propriétaire

CLELAND JARDINE ENGINEERING LTD.
structural engineers | ingénieur structure

Smith + Andersen
530 - 1600 Carling Avenue Ottawa Ontario K1Z 1G3
1 613 230 1186 smithandandersen.com
MEP engineers | ingénieur MEP

PARSONS
1223 MICHAEL STREET, SUITE 100, OTTAWA, ONTARIO K1J 7T2
Tel: 613-738-4160 Fax: 613-738-7105
civil engineers | ingénieur civil

Forest and Field Landscape Architecture
205 - 720 Bathurst Street Toronto Ontario M5S 2R4
1 647 933 1151 forestandfield.ca
landscape architects | architectes paysagistes

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019
no revisions date
stamp | timbre

ONTARIO ASSOCIATION OF ARCHITECTS
ANDREW REEVES
LICENCE 6464

architect | architecte

linebox STUDIO

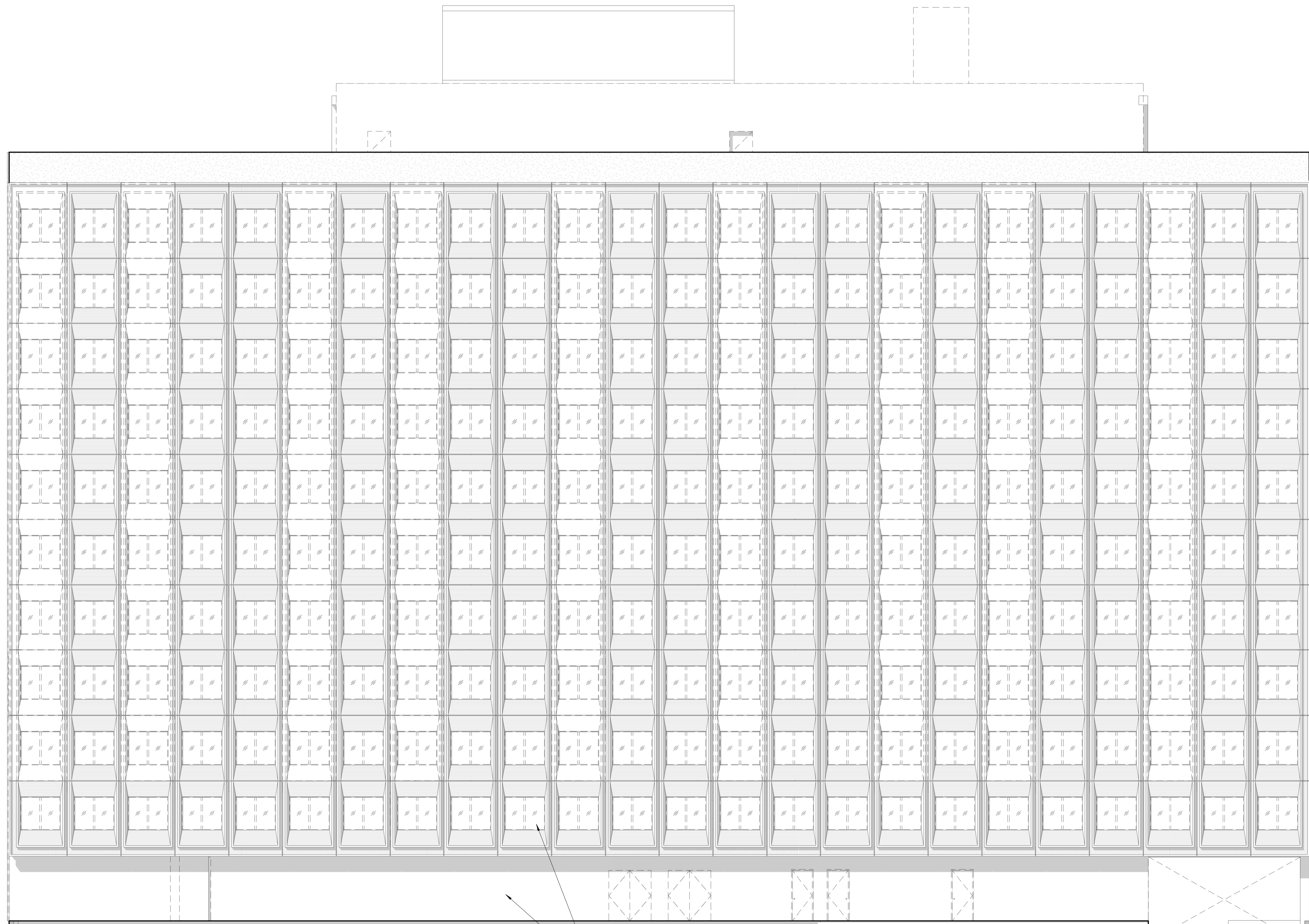
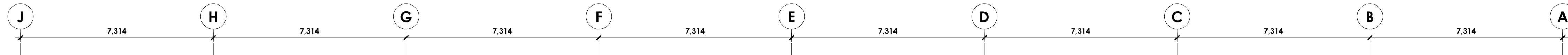
general notes | note générale
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project title
473 ALBERT
PROPOSED MIXED-USE RENOVATION
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
drawing title | titre du dessin
SOUTH (ALBERT STREET) DEMOLITION ELEVATION

project number | numéro du projet 159
drawn | dessiné CK / MP
checked | vérifié JM / AR
date | date DEC 06, 2019
scale | échelle 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin
A1-300

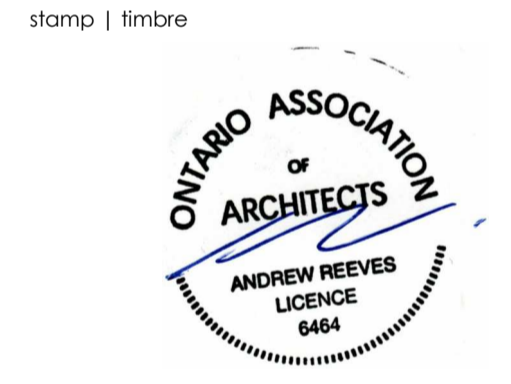


U/S MECH. ROOF	46.421 m
EXISTING: MECH TO REMAIN	43.284 m
EXISTING: MECH PROPOSED: RES	38.871 m
EXISTING: OFFICE PROPOSED: RES	35.157 m
EXISTING: OFFICE PROPOSED: RES	32.198 m
EXISTING: OFFICE PROPOSED: RES	29.239 m
EXISTING: OFFICE PROPOSED: RES	26.280 m
EXISTING: OFFICE PROPOSED: RES	23.321 m
EXISTING: OFFICE PROPOSED: RES	20.362 m
EXISTING: OFFICE PROPOSED: RES	17.403 m
EXISTING: OFFICE PROPOSED: RES	14.444 m
EXISTING: OFFICE PROPOSED: RES	11.485 m
EXISTING: OFFICE TO REMAIN	8.526 m
EXISTING: OFFICE & RESTAURANT TO REMAIN	5.183 m
LEVEL 01 LOBBY (AVERAGE GRADE)	4.703 m

ALL EXISTING WINDOWS IN PRECAST CONCRETE PANELS TO BE REMOVED
 ALL EXISTING GROUND FLOOR CLADDING AND DOORS TO BE REMOVED

EXIST. DRIVE THRU LANE

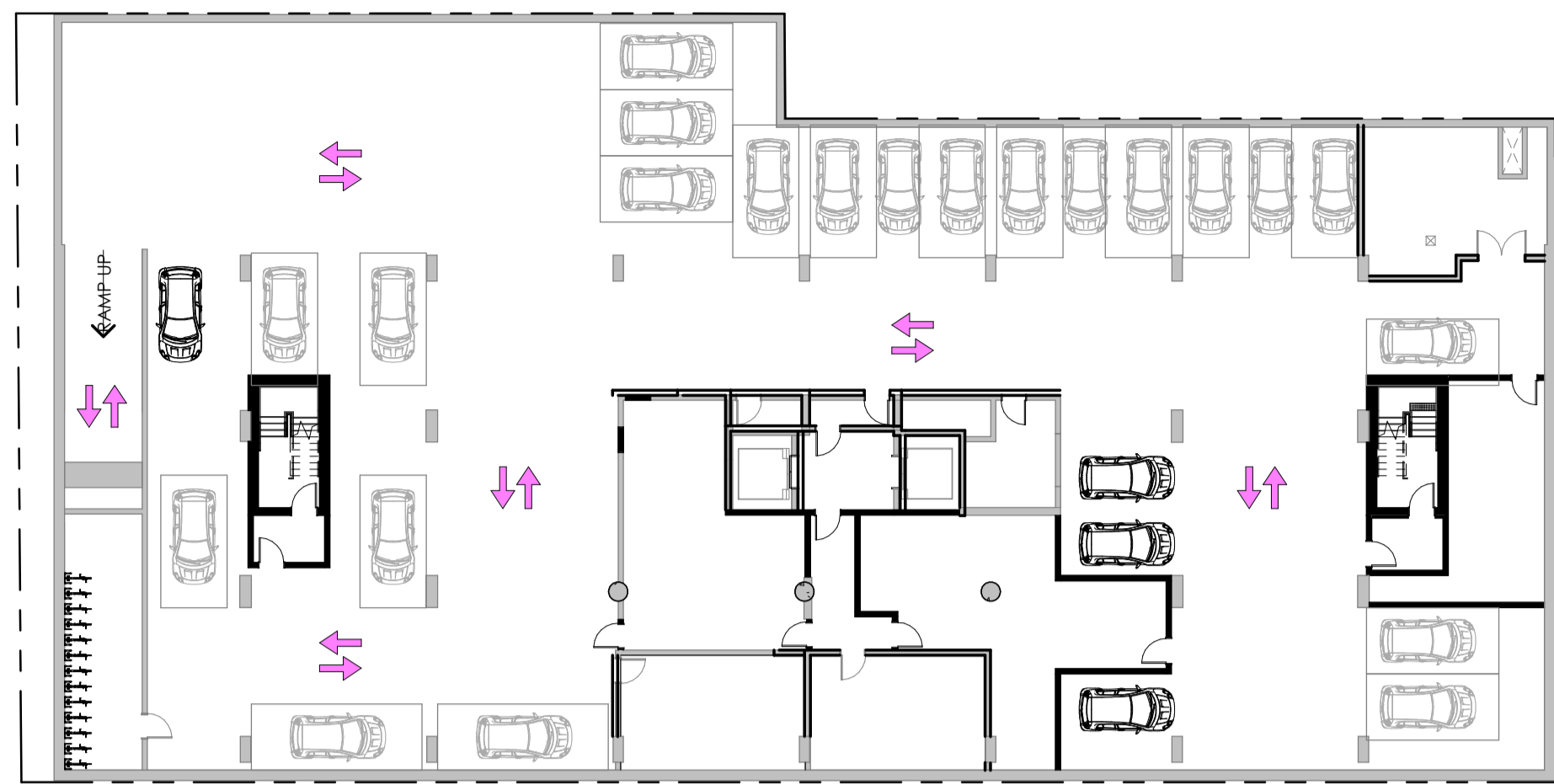
ISSUED FOR SITE PLAN CONTROL DEC 06, 2019
 no revisions date



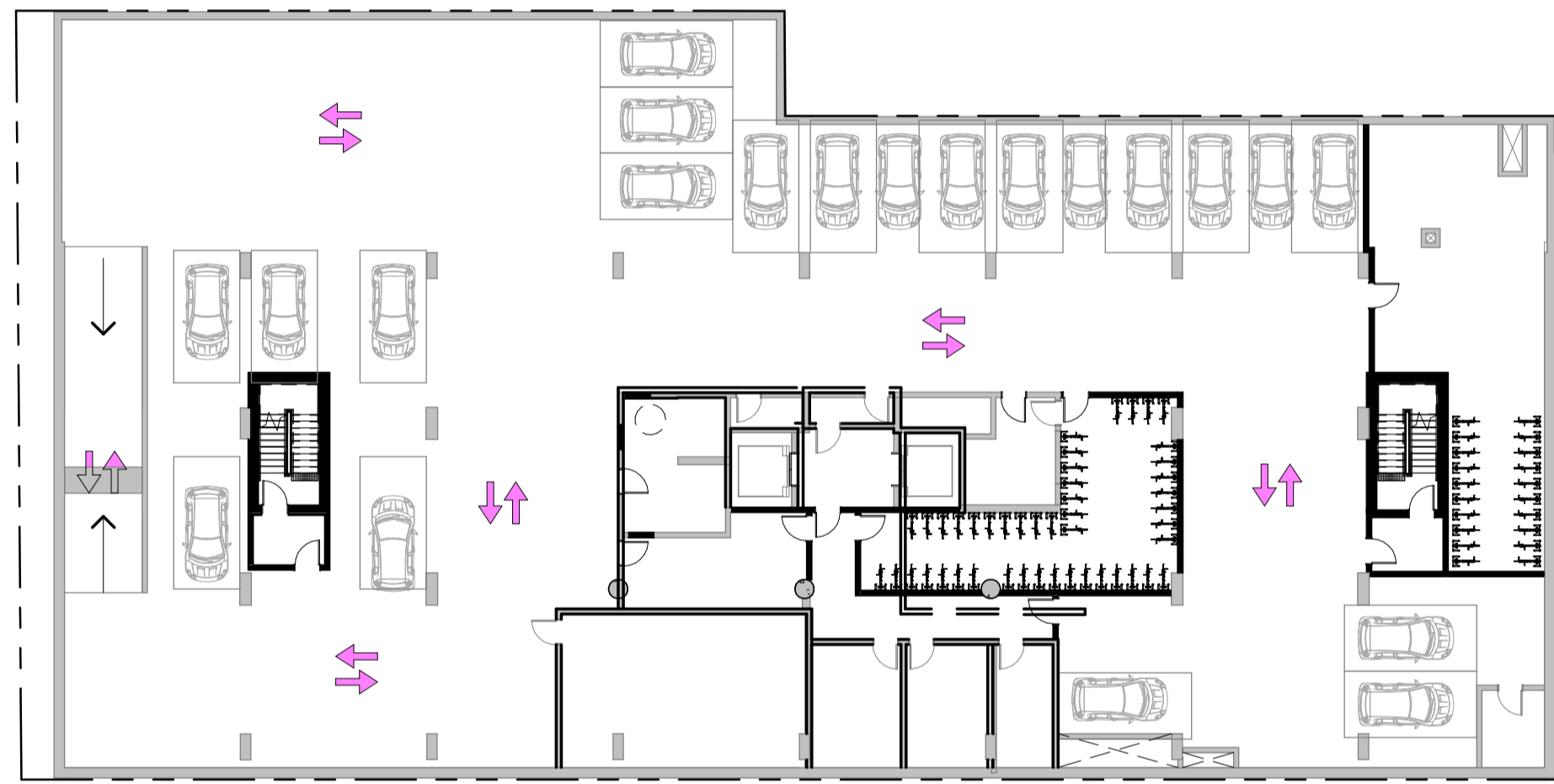
general notes | note générale
 1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 2. DO NOT SCALE THE DRAWINGS.
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project title
473 ALBERT
 PROPOSED MIXED-USE RENOVATION
 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

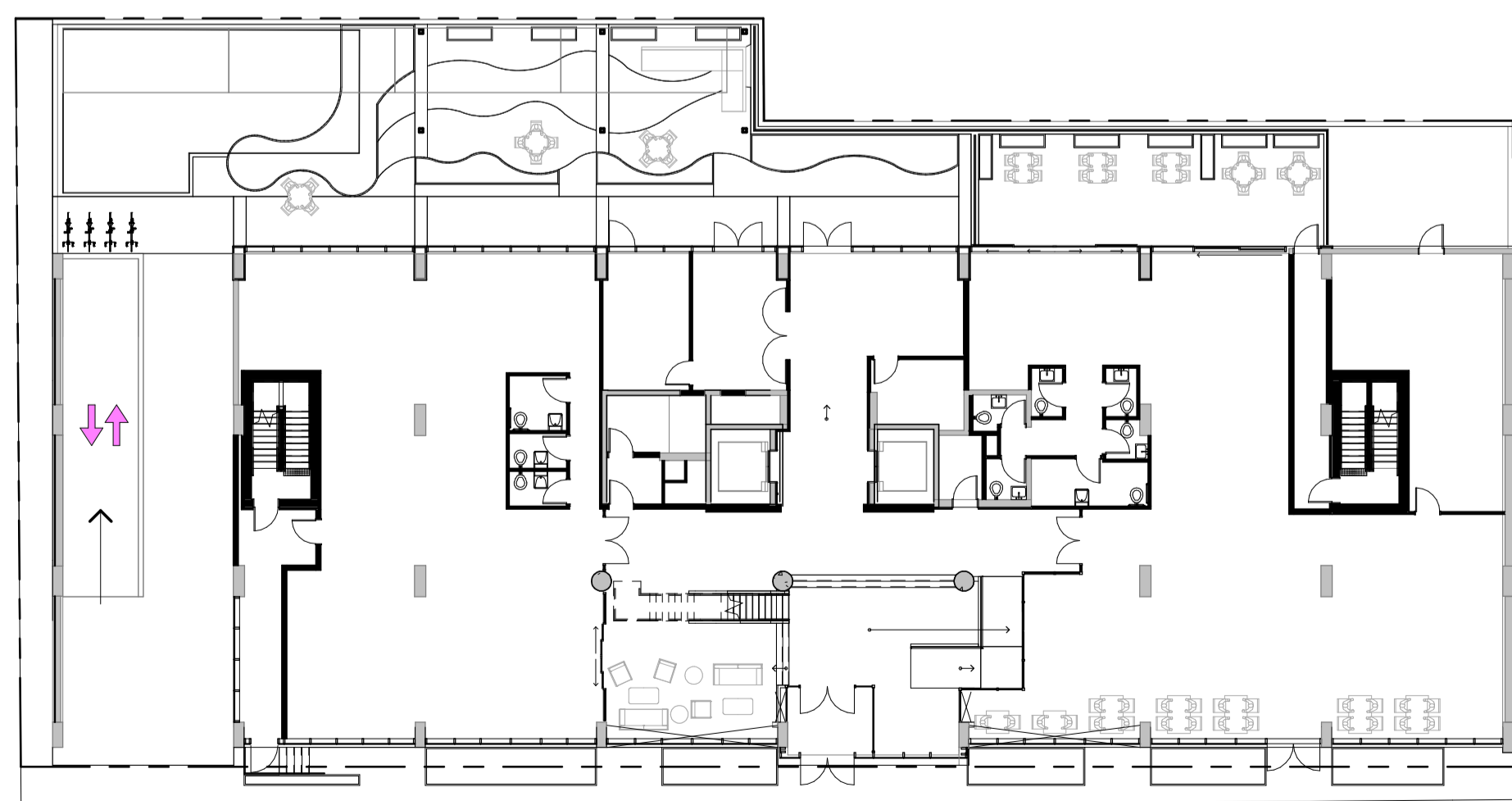
drawing title | titre du dessin
NORTH DEMOLITION ELEVATION
 project number | numéro du projet **159**
 drawn | dessiné **CK / MP**
 checked | vérifié **JM / AR**
 date | date **DEC 06, 2019**
 scale | échelle **1 : 100**
 0 m 2 m 4 m



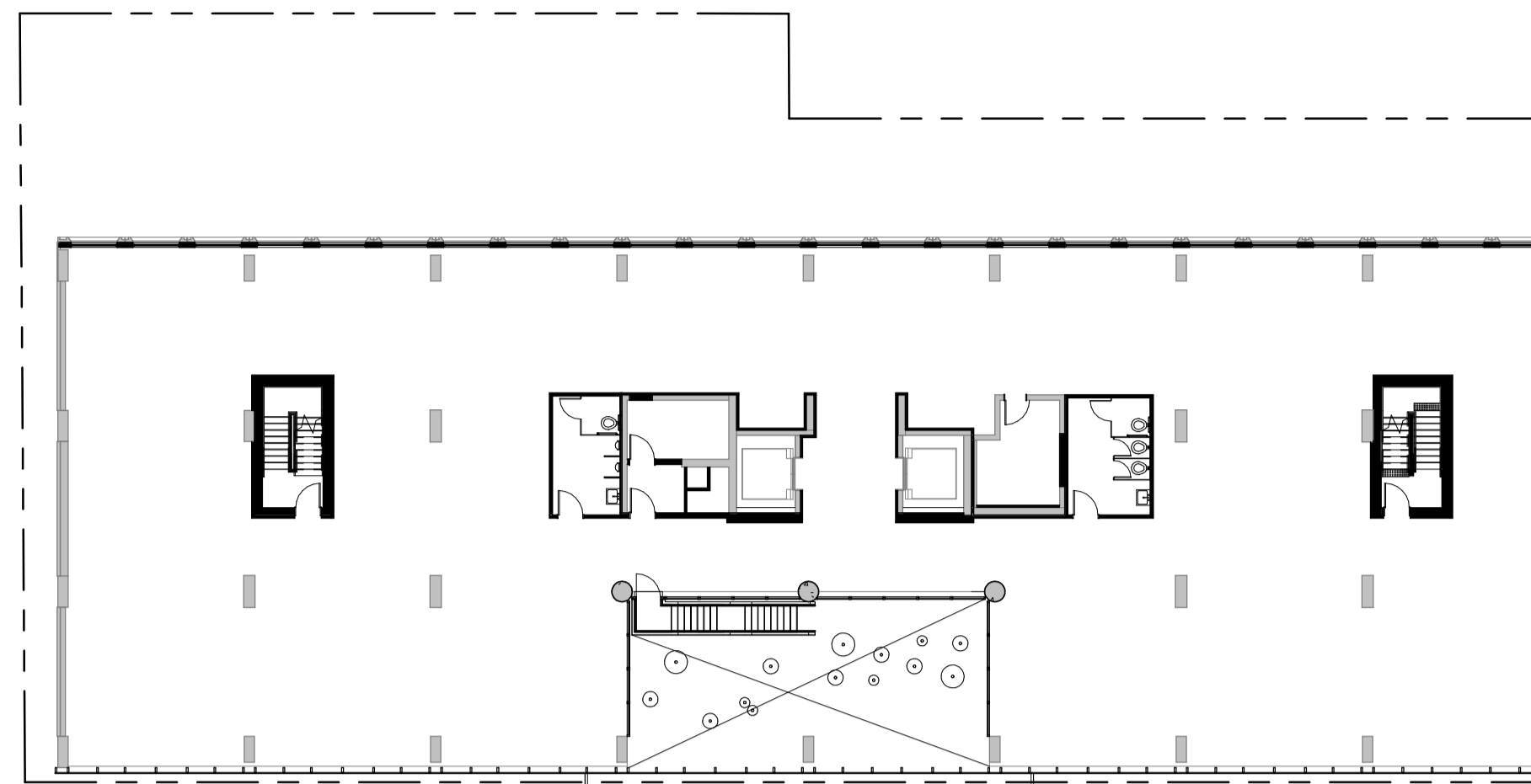
2 SUB-BASEMENT FLOOR MAP
A2-000 1:250
A5-100



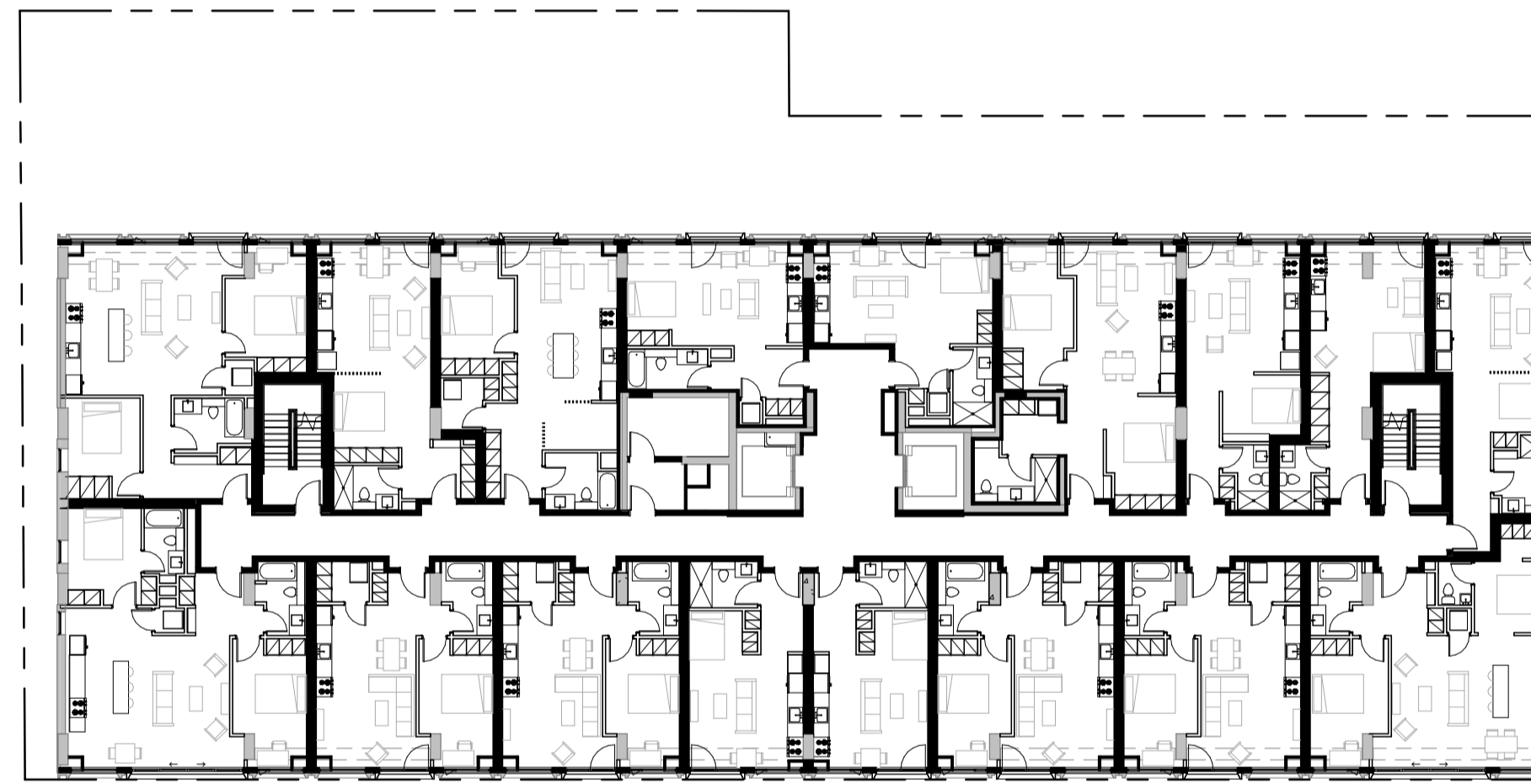
3 BASEMENT FLOOR MAP
A2-000 1:250
A5-100



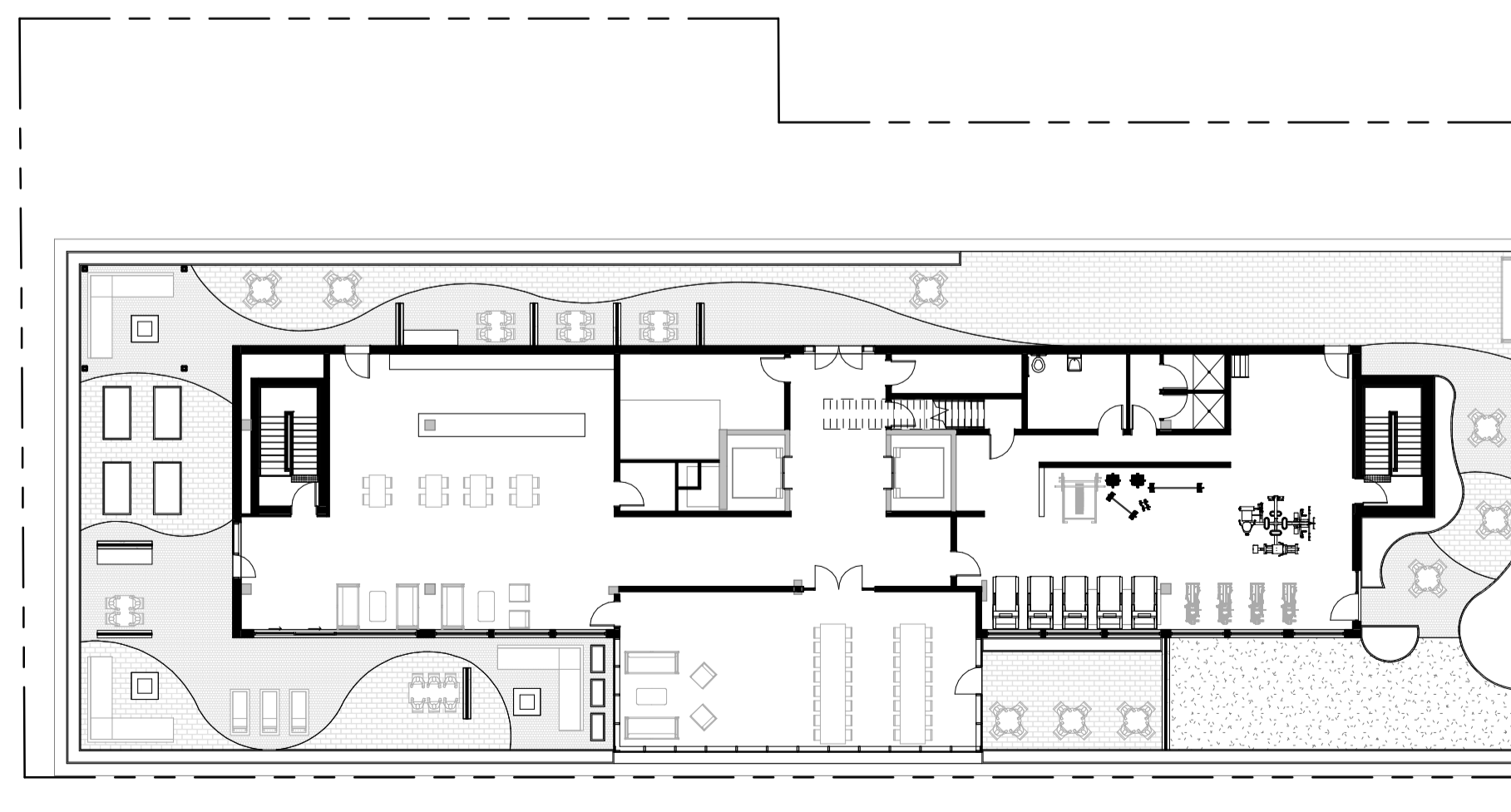
1 GROUND LEVEL FLOOR MAP
A2-000 1:250
A0-200



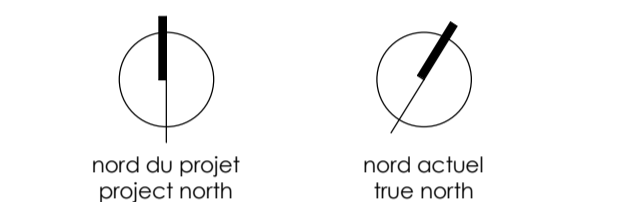
4 LEVEL 02 FLOOR MAP
A2-000 1:250
A0-200



5 LEVELS 03 TO 11 (TYPICAL) FLOOR MAP
A2-000 1:250
A0-200



7 LEVEL 12 (MAIN ROOF) FLOOR MAP
A2-000 1:250
A0-200



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no. revisions _____ date _____

stamp | timbre _____



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

FLOOR MAP

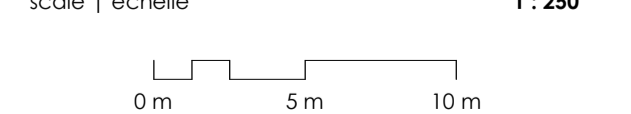
project number | numéro du projet **159**

drawn | dessiné **CK / MP**

checked | vérifié **JM / AR**

date | date **DEC 06, 2019**

scale | échelle **1:250**



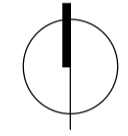
drawing number | numéro du dessin

A2-000



PARKING SPACES:	
EXISTING:	30
PROPOSED:	26

1 SUB-BASEMENT FLOOR PLAN
A2-099 1:100 AS-100



nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

ISSUED FOR PRE-CONSULTATION JUL 26, 2019

no revisions date

stamp | timbre



architect | architecte

general notes | note générale

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PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

SUB BASEMENT FLOOR PLAN

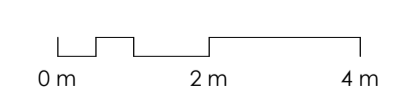
project number | numéro du projet 159

drawn | dessiné CK / MP

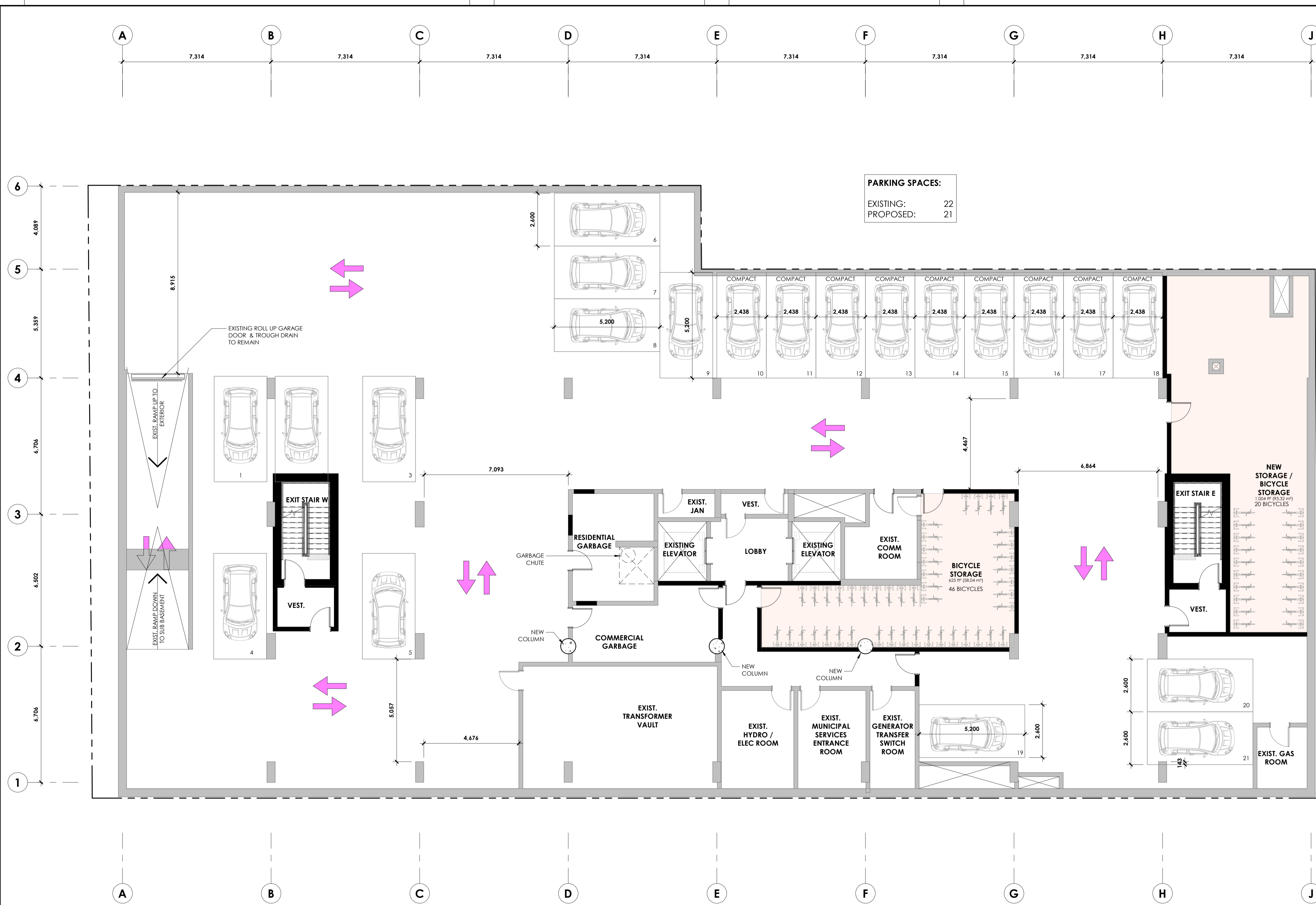
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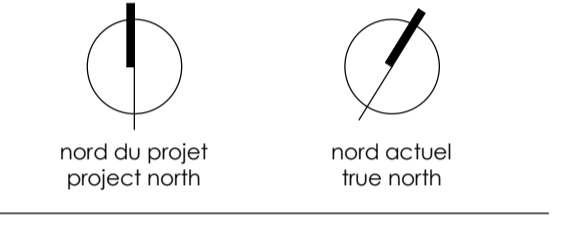
scale | échelle 1:100



drawing number | numéro du dessin



1 BASEMENT
 A2-100
 1:100
 AS-100



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stamp | timbre



architect | architecte

linebox
 STUDIO

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 PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

BASEMENT FLOOR PLAN

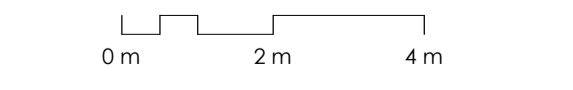
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checked | vérifié JM / AR

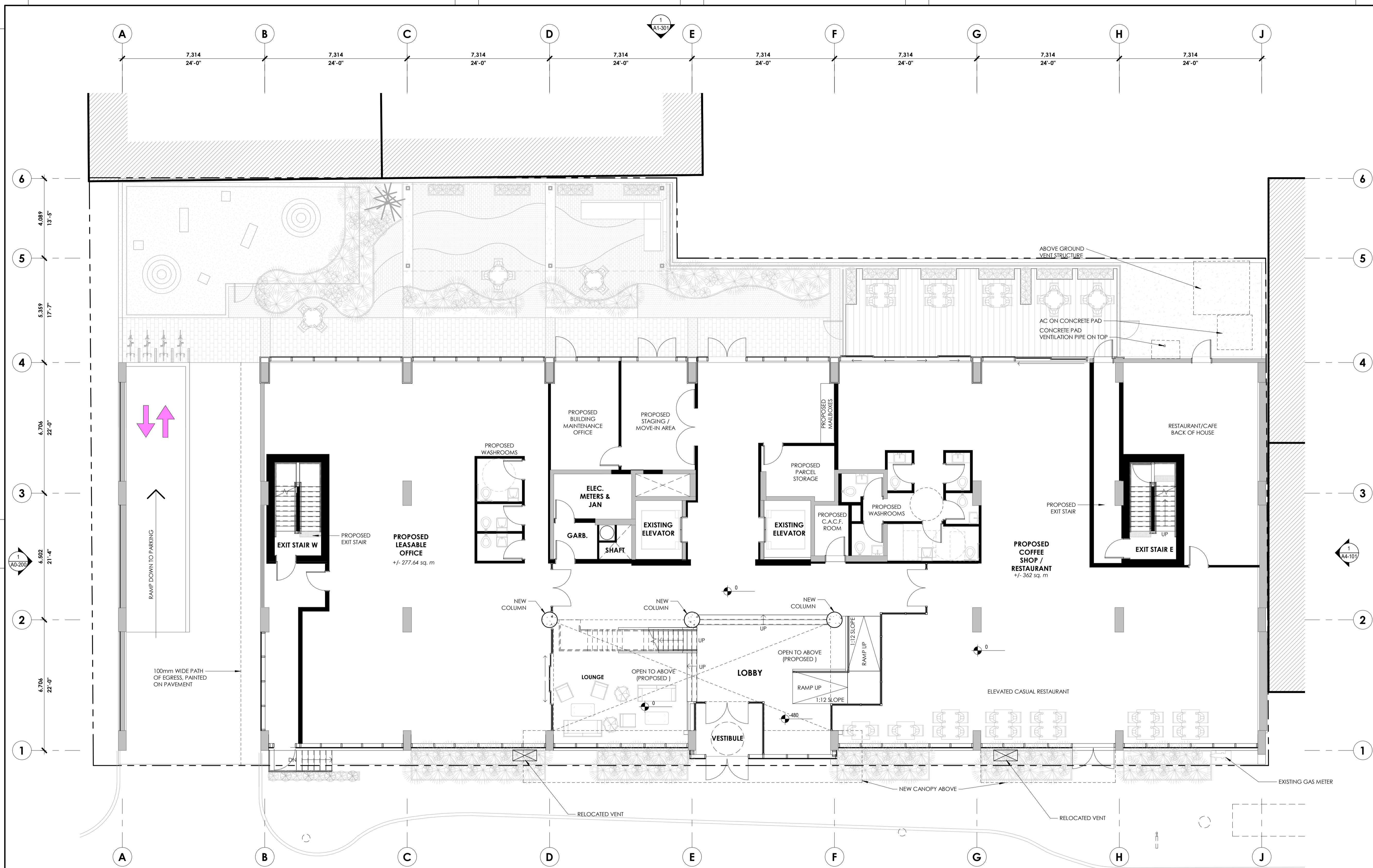
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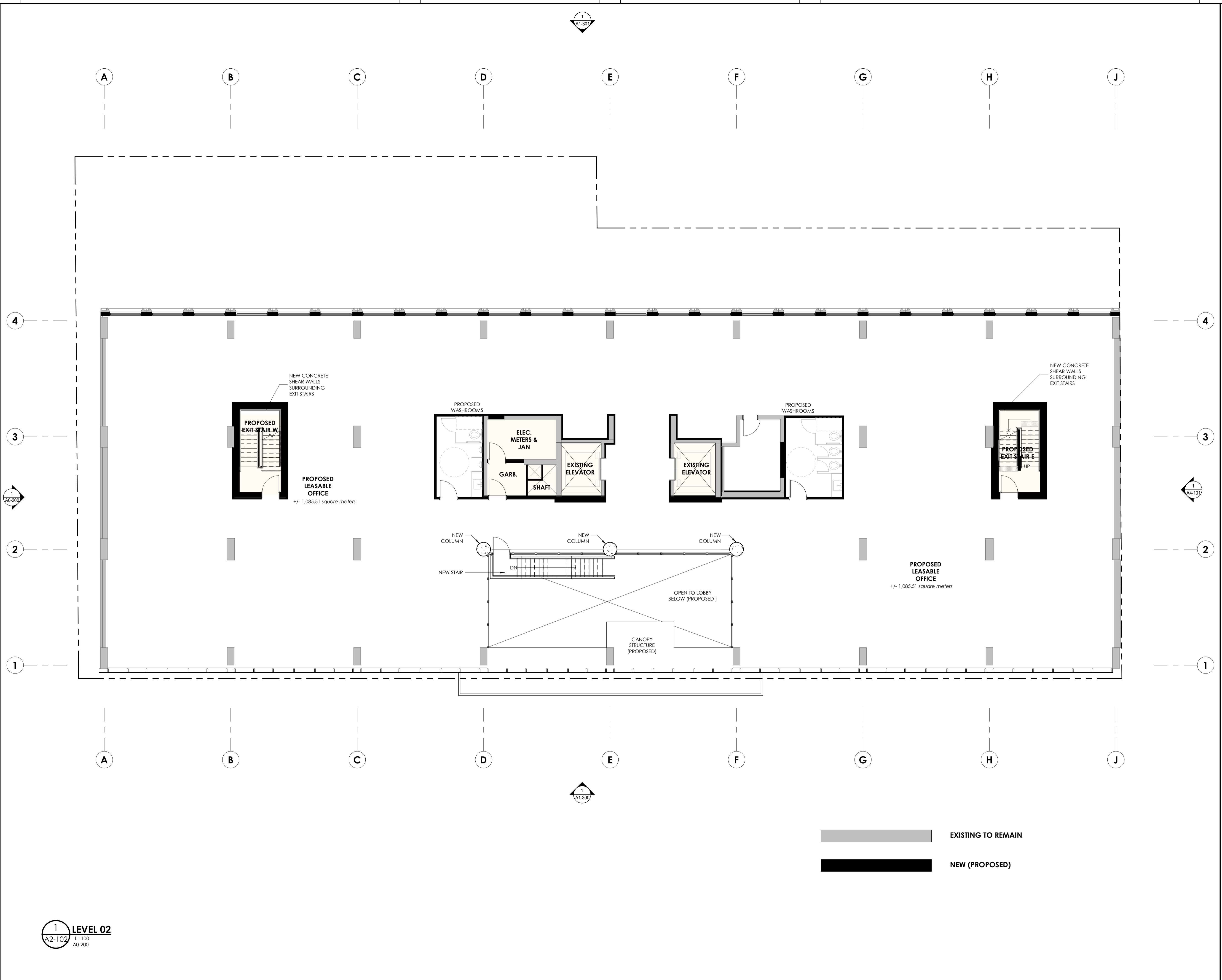


drawing number | numéro du dessin

A2-100



EXISTING TO REMAIN
 NEW (PROPOSED)



1 LEVEL 02
A2-102 1:100
AD-200

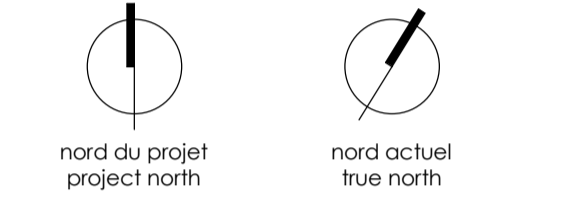
EXISTING TO REMAIN
NEW (PROPOSED)

owner | propriétaire

structural engineers | ingénieur structure

civil engineers | ingénieur civil

landscape architects | architectes paysagistes



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architect | architecte

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473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 02 FLOOR PLAN

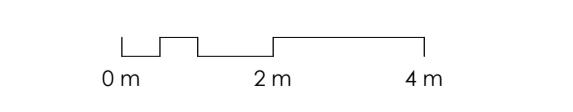
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drawn | dessiné CK / MP

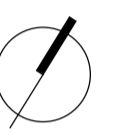
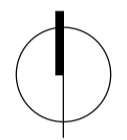
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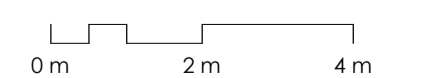
scale | échelle 1 : 100



drawing number | numéro du dessin



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BARRIER FREE UNIT DESIGN:

15% OF SUITES OF VARYING TYPES (STUDIO, 1BDRM, 2BDRM) TO BE DESIGNED AS BARRIER FREE UNITS.

15% OF 17 = 2.55 SUITES (OR 3 PER FLOOR)

PROPOSED: x03 (1 BED), x05 (STUDIO), x15 (2 BED)

REQUIREMENTS:
1100mm MIN. OPEN FLOOR AREA TO A BEDROOM, BATHROOM, KITCHEN
1100mm CLEAR BETWEEN KITCHEN & ISLAND (IF THERE IS AN ISLAND)
1500mm TURNING CIRCLE IN ONE BATHROOM

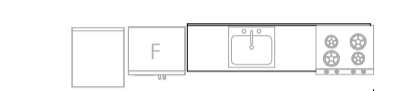
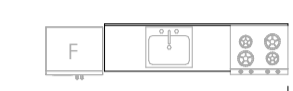
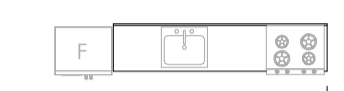
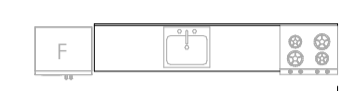
4 KITCHEN TYPES:

2 BEDROOM UNITS: 4000mm

1 BEDROOM UNITS: 3600mm

STUDIO UNITS: 3200mm

x04, x05, x06, x10, x11: 4000mm

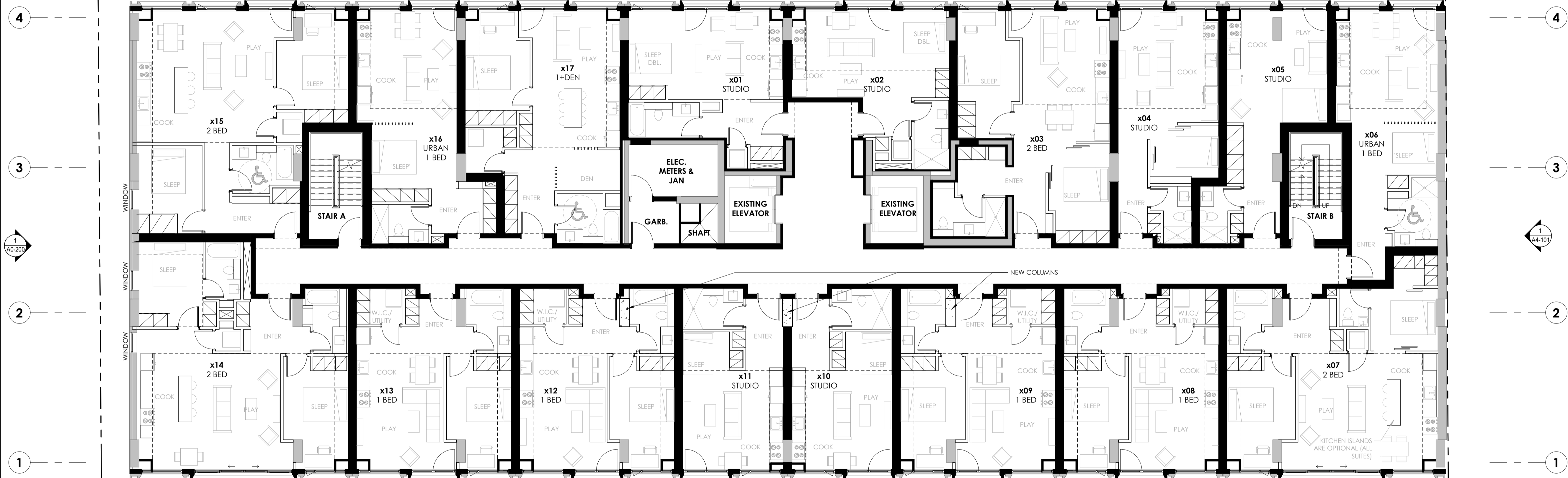


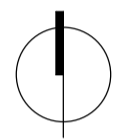
4,000
13'-1 1/2"

3,600
11'-9 1/2"

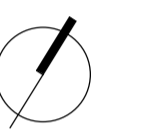
3,200
10'-6"

3,987
13'-1"





nord du projet
project north



nord actuel
true north

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019
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no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 12 (MAIN ROOF)
FLOOR PLAN

project number | numéro du projet 159

drawn | dessiné CK / MP

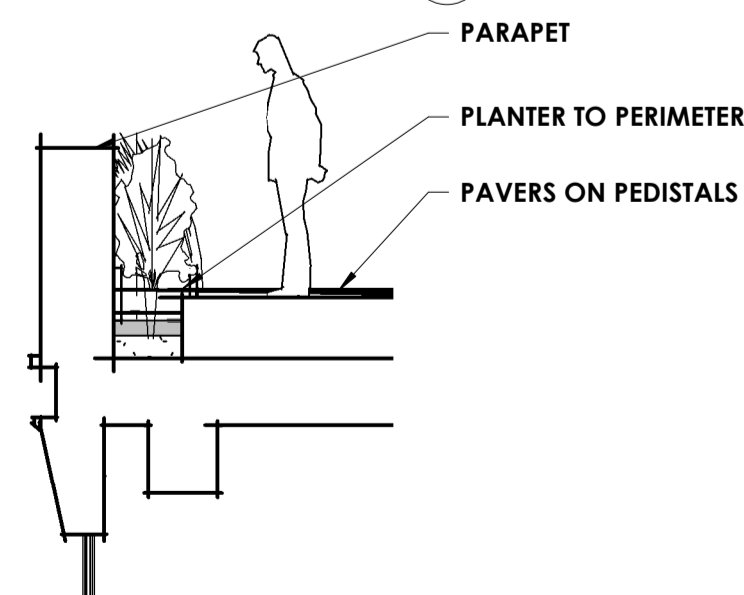
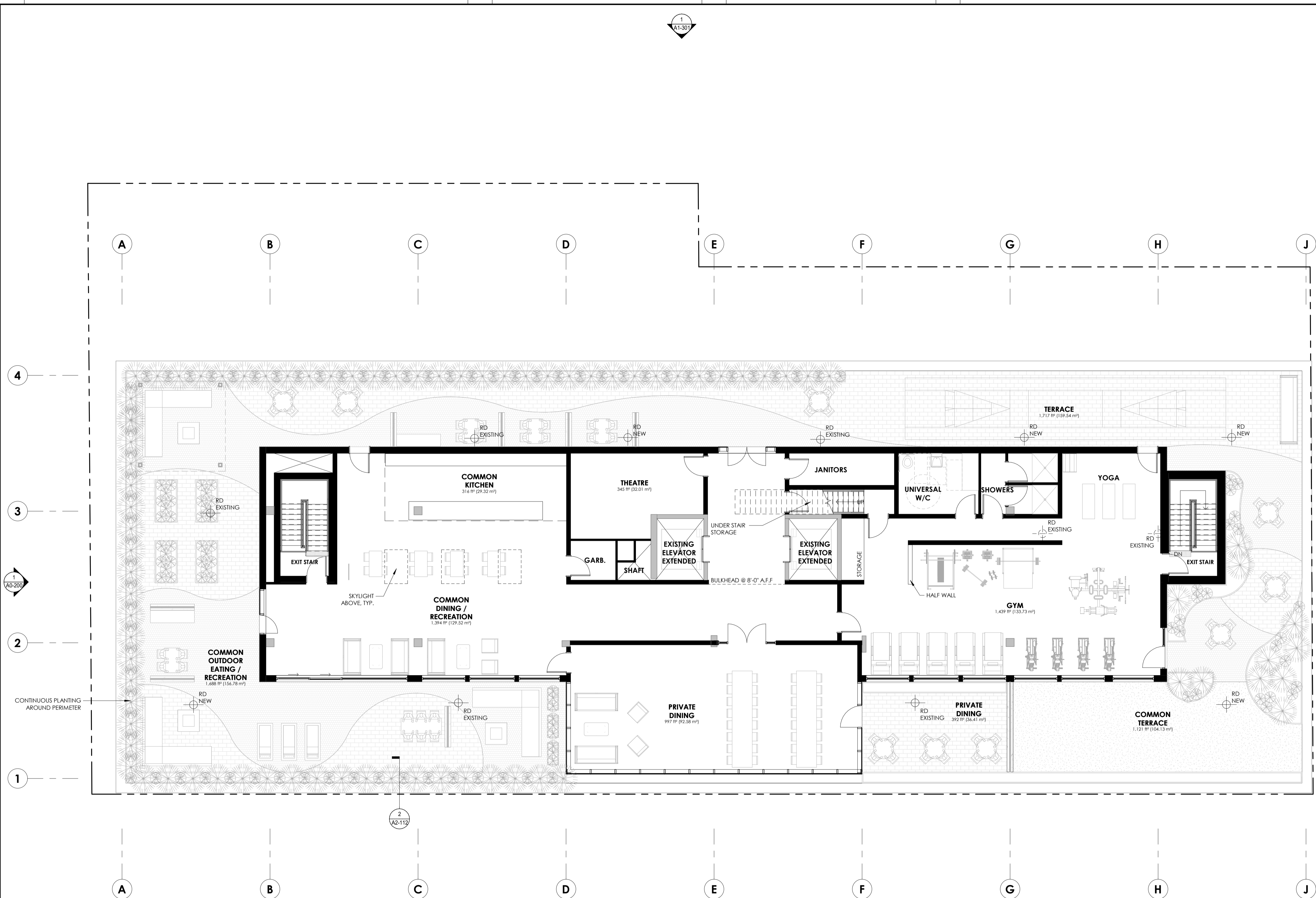
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date | date DEC 06, 2019

scale | échelle As indicated

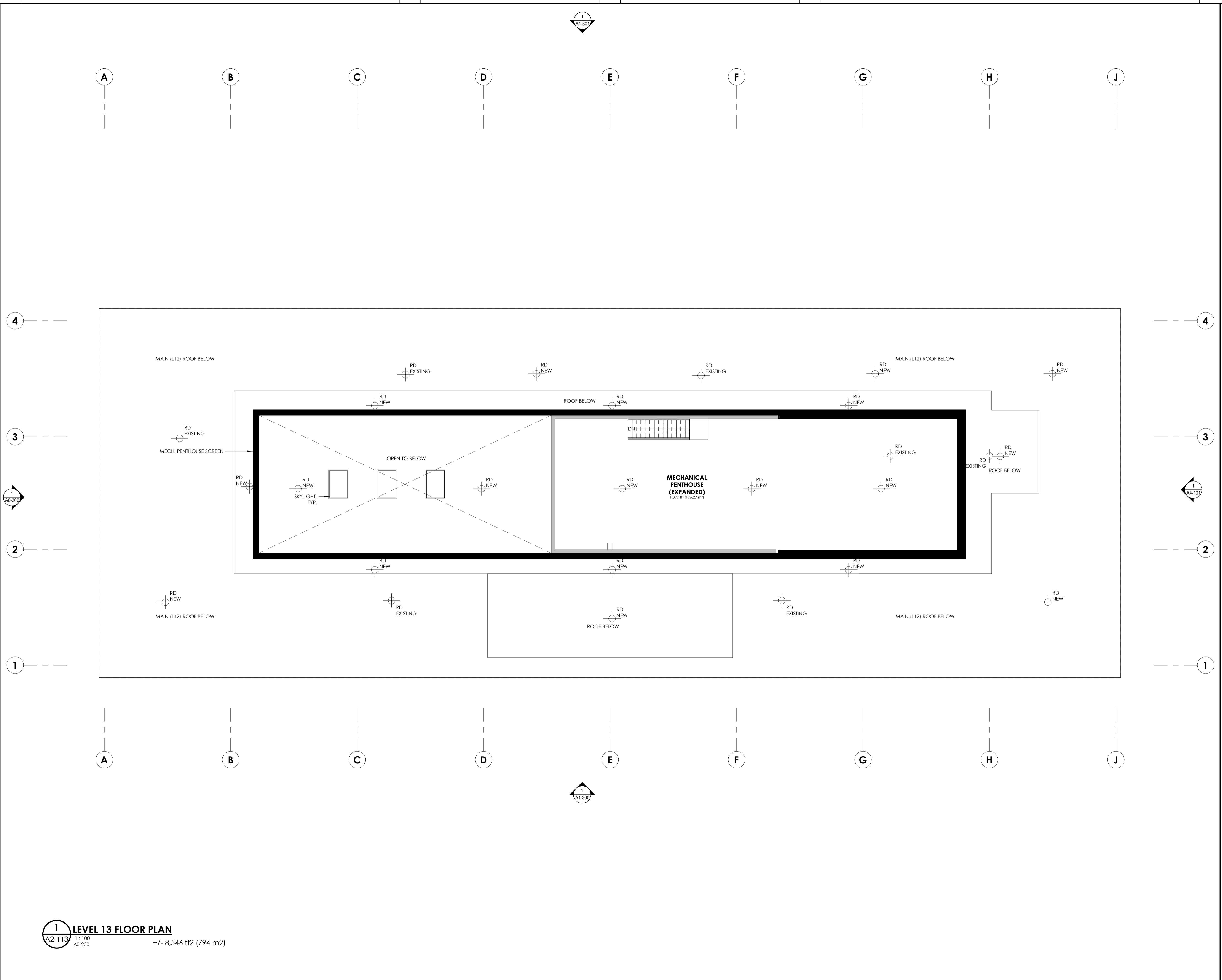
drawing number | numéro du dessin

A2-112



1 LEVEL 12 (MAIN ROOF)
A2-112 1:100 8,804 ft2 (818 m2)
A0-200

2 SECTION - PERIMETER GREEN STRATEGY
A2-112 1:50
A1-111



1 **LEVEL 13 FLOOR PLAN**
A2-113 1:100
A0-200 +/- 8,546 ft² (794 m²)

owner | propriétaire

structural engineers | ingénieur structure



Smith + Andersen

530 - 1600 Carling Avenue Ottawa Ontario K1Z 1G3
1 613 230 1186 smithandandersen.com

MEP engineers | ingénieur MEP

civil engineers | ingénieur civil

205 - 720 Bathurst Street Toronto Ontario M5S 2R4
1 647 933 1151 forestandfield.ca

landscape architects | architectes paysagistes



nord du projet project north

nord actuel true north

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stamp | empreinte



architect | architecte

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project title

473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 13 (MECH. PENTHOUSE) FLOOR PLAN

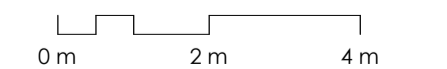
project number | numéro du projet **159**

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date | date **DEC 06, 2019**

scale | échelle **1 : 100**



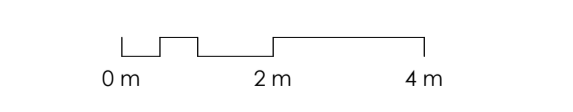
drawing number | numéro du dessin



MATERIAL LEGEND											
TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION
1		CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5		BRONZE COLOUR PROFILED CLADDING	9		EXISTING RIB PROFILED PRECAST PANEL	13		EXISTING CLAY BRICK MASONRY
2		CLEAR GLASS (FRAMELESS GLAZING) FRAMELESS, SILICONE JOINTED EXTERIOR GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6		BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10		EXISTING PAVING ON CIP CONCRETE STRUCTURE	14		EXTERIOR TREATED WOOD
3		CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7		BLACK METAL SIGNAGE ON STAND-OFFS	11		AGGREGATED CONCRETE FINISH	15		WHITE METAL PANEL FINISH
4		EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8		WEATHERING STEEL EXTRUSION	12		EXPOSED CONCRETE	16		CLEAR POLYCARBONATE SCREEN L13 MECH PENTHOUSE



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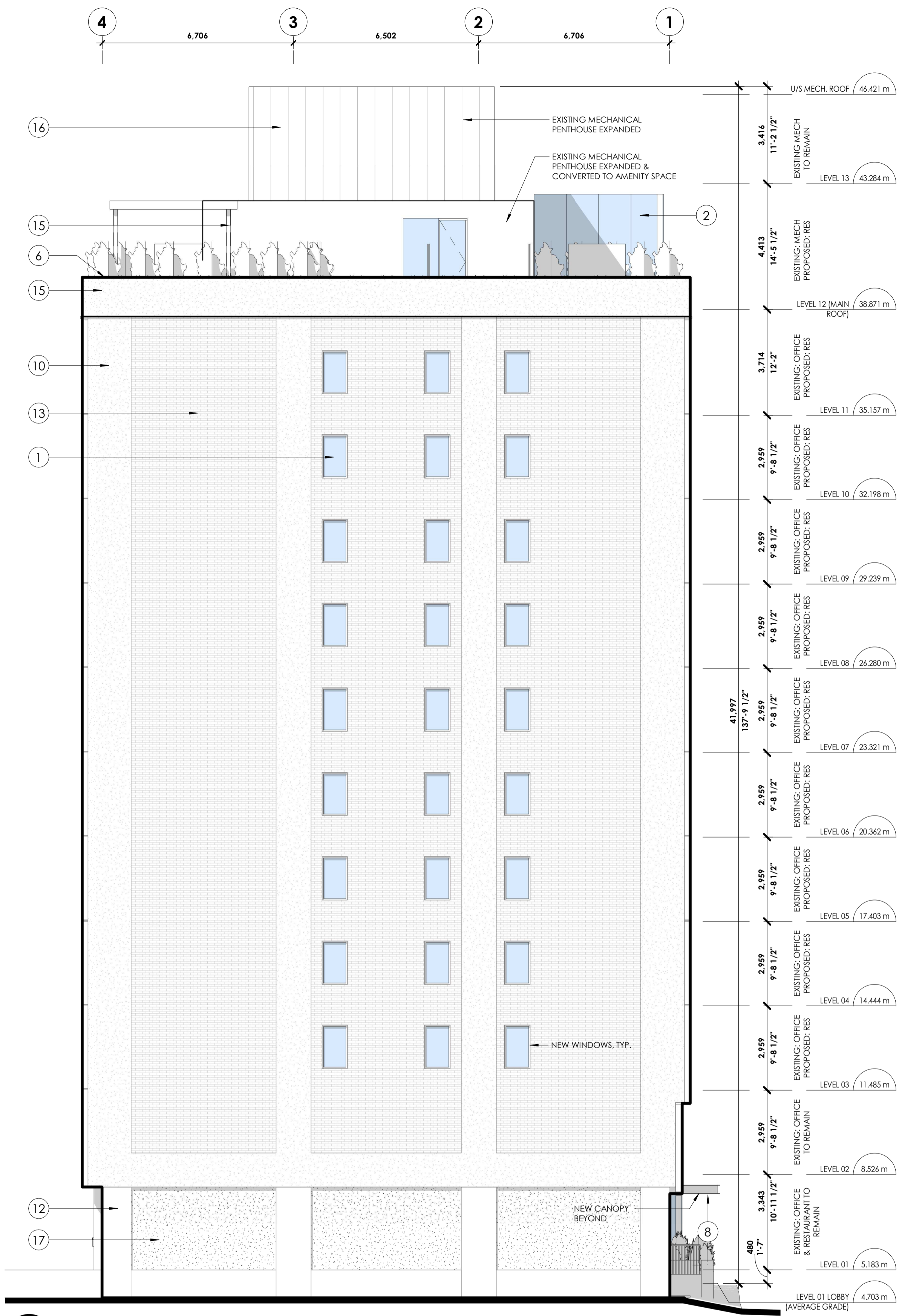
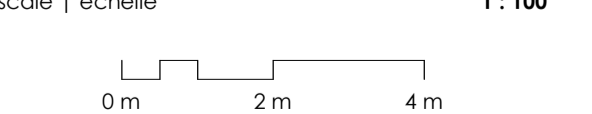




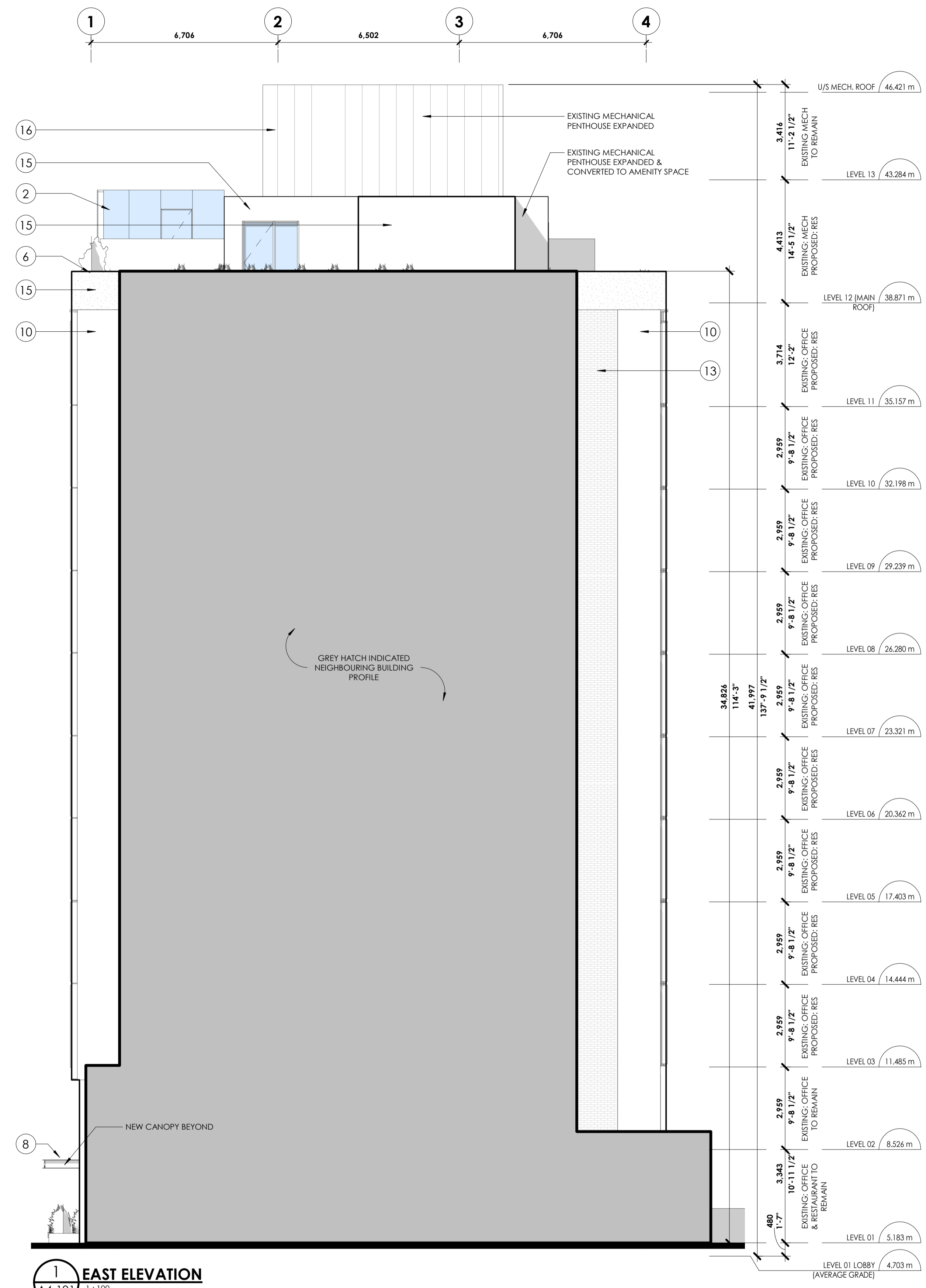
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473 ALBERT
PROPOSED MIXED-USE RENOVATION

EAST & WEST ELEVATION



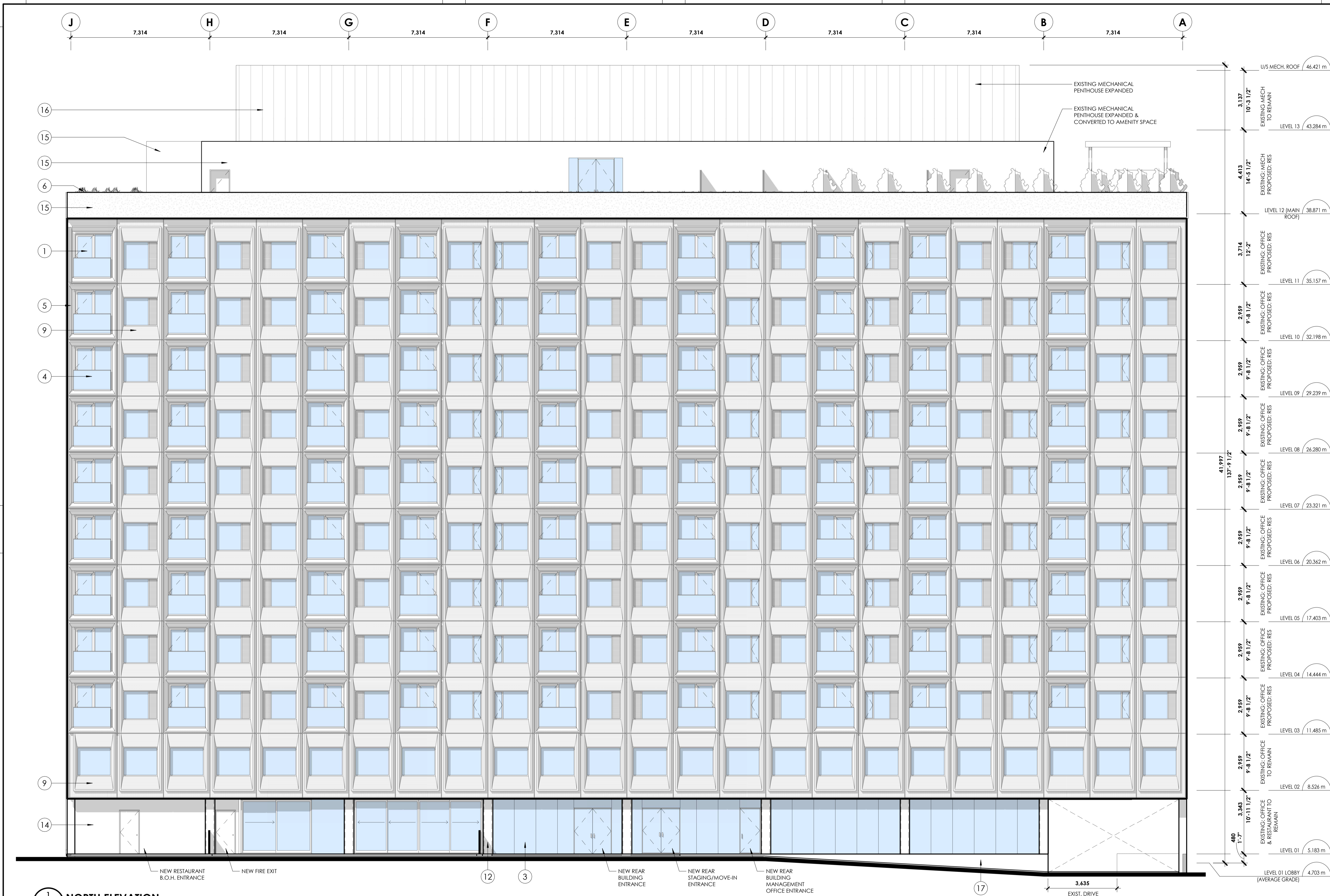
2 WEST ELEVATION
A4-101 1:100
A2-103d



1 EAST ELEVATION
A4-101 1:100
A2-101

MATERIAL LEGEND

TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION
1		CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5		BRONZE COLOUR PROFILED CLADDING	9		EXISTING RIB PROFILED PRECAST PANEL	13		EXISTING CLAY BRICK MASONRY
2		CLEAR GLASS (FRAMELESS GLAZING) FRAMELESS, SILICONE JOINTED EXTERIOR GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6		BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10		EXISTING PARGING ON CIP CONCRETE STRUCTURE	14		EXTERIOR TREATED WOOD
3		CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7		BLACK METAL SIGNAGE ON STAND-OFFS	11		AGGREGATED CONCRETE FINISH	15		WHITE METAL PANEL FINISH
4		EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8		WEATHERING STEEL EXTRUSION	12		EXPOSED CONCRETE	16		CLEAR POLYCARBONATE SCREEN L13 MECH PENTHOUSE



1 NORTH ELEVATION
 A4-102 1:100 A2-101

MATERIAL LEGEND

TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION	TAG	PATTERN	DESCRIPTION
1		CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5		BRONZE COLOUR PROFILED CLADDING	9		EXISTING RIB PROFILED PRECAST PANEL	13		EXISTING CLAY BRICK MASONRY
2		CLEAR GLASS (FRAMELESS GLAZING) FRAMELESS, SILICONE JOINTED EXTERIOR GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6		BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10		EXISTING PARGING ON CIP CONCRETE STRUCTURE	14		EXTERIOR TREATED WOOD
3		CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7		BLACK METAL SIGNAGE ON STAND-OFFS	11		AGGREGATED CONCRETE FINISH	15		WHITE METAL PANEL FINISH
4		EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8		WEATHERING STEEL EXTRUSION	12		EXPOSED CONCRETE	16		CLEAR POLYCARBONATE SCREEN L13 MECH PENTHOUSE

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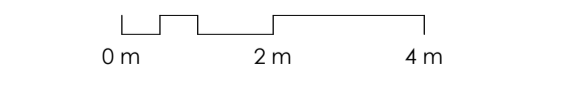
general notes | note générale
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project title
473 ALBERT
 PROPOSED MIXED-USE RENOVATION

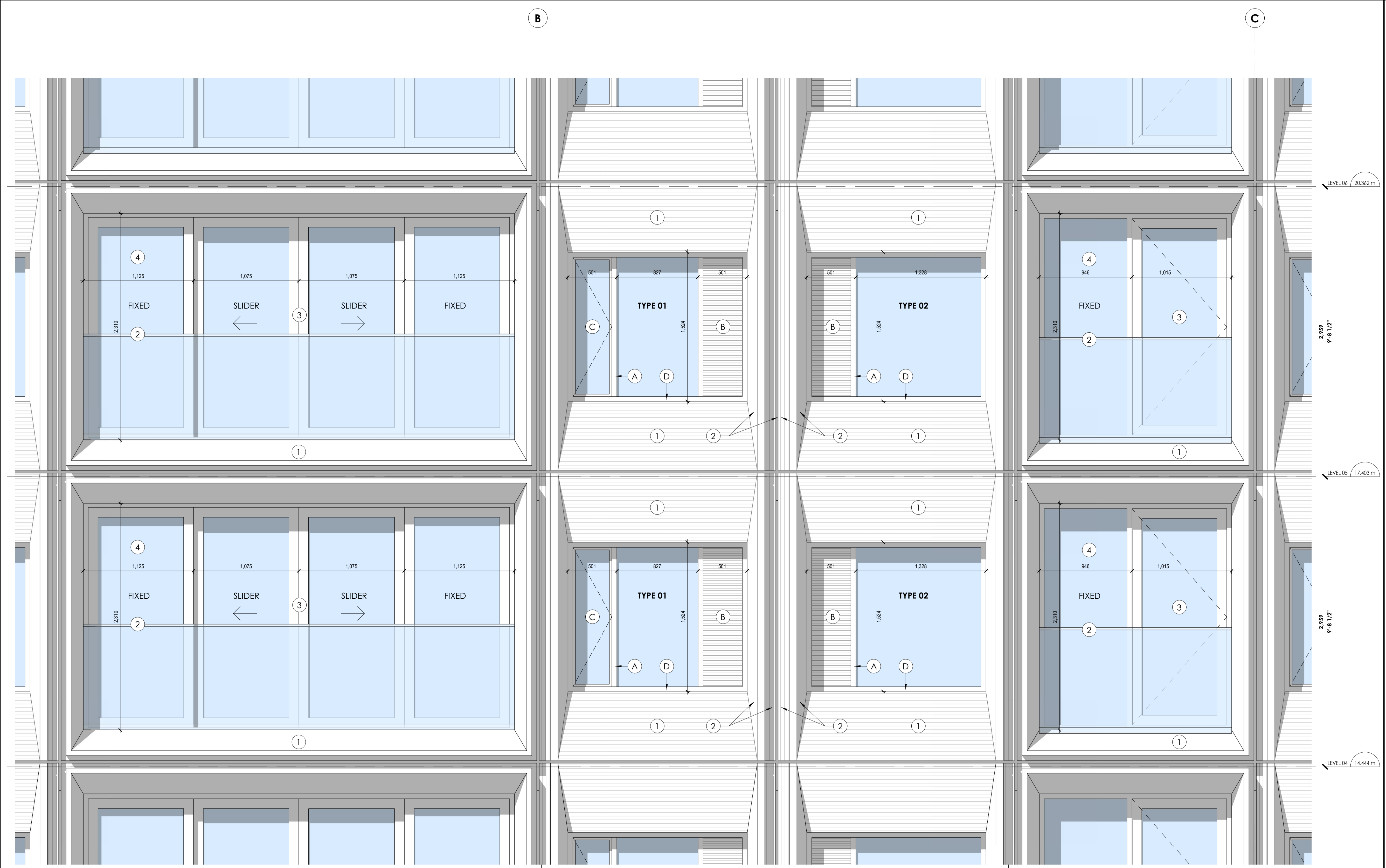
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

NORTH ELEVATION

project number | numero du projet **159**
 drawn | dessiné **CK / MP**
 checked | vérifié **JM / AR**
 date | date **DEC 06, 2019**
 scale | échelle **1:100**



drawing number | numéro du dessin



DOUBLE JULIET:
DOUBLE WIDTH BRONZE COLOURED FRAMED JULIET BALCONY INSERTION, EXISTING CONC. PANELS REMOVED

- ① BRONZE COLOURED PROFILED COVER
- ② GLASS BALUSTRADE WITH RECTANGULAR PROFILE, BRONZE COLOURED HANDRAIL + CAPPING
- ③ DOUBLE SLIDING GLASS DOORS, BRONZE COLOURED FRAMED
- ④ FIXED BRONZE COLOURED FRAMED GLAZED SIDE LIGHT

EXISTING PANELS:
PRECAST CONCRETE PANELS

- ① ANGLED, RIBBED PROFILE TO TOP + BASE EXPANSION JOINT TO ADJACENT MATERIALS.
- ② SMOOTH-FACED, ANGLED VERTICAL PROFILES; WITH RIBBED INFILL SECTION AND MASTIC SEALED EXPANSION JOINT.

NEW WINDOWS - TYPE 01 + TYPE 02, REPLACE EXISTING W/ BRONZE COLOURED FRAMED, DOUBLE-GLAZED WINDOWS

- A BRONZE COLOURED FRAMED FIXED WINDOW
- B PROFILED BRONZE COLOURED VENTED PANEL TO HVAC EXHAUSTS
- C OPERABLE VENT WINDOW
- D BRONZE COLOURED, PROFILED METAL SILL

SINGLE JULIET BALCONIES:
BRONZE COLOURED FRAMED JULIET BALCONY INSERTION, EXISTING CONC. PANEL REMOVED

- ① BRONZE COLOURED PROFILED COVER
- ② GLASS BALUSTRADE WITH RECTANGULAR PROFILE, BRONZE COLOURED HANDRAIL + CAPPING
- ③ INWARD OPENING, BRONZE COLOURED FRAMED, GLASS DOOR
- ④ FIXED BRONZE COLOURED FRAMED GLAZED SIDE LIGHT

ISSUED FOR SITE PLAN CONTROL DEC 06, 2019

no. revisions _____ date _____

stamp | timbre _____



architect | architecte

linebox
STUDIO

general notes | note générale

1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
2. DO NOT SCALE THE DRAWINGS.
3. NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

project title

473 ALBERT
 PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

ENLARGED ELEVATIONS

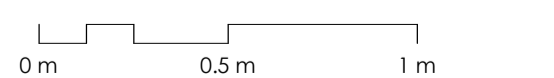
project number | numéro du projet **159**

drawn | dessiné **CK / MP**

checked | vérifié **JM / AR**

date | date **DEC 06, 2019**

scale | échelle **1 : 20**



drawing number | numéro du dessin

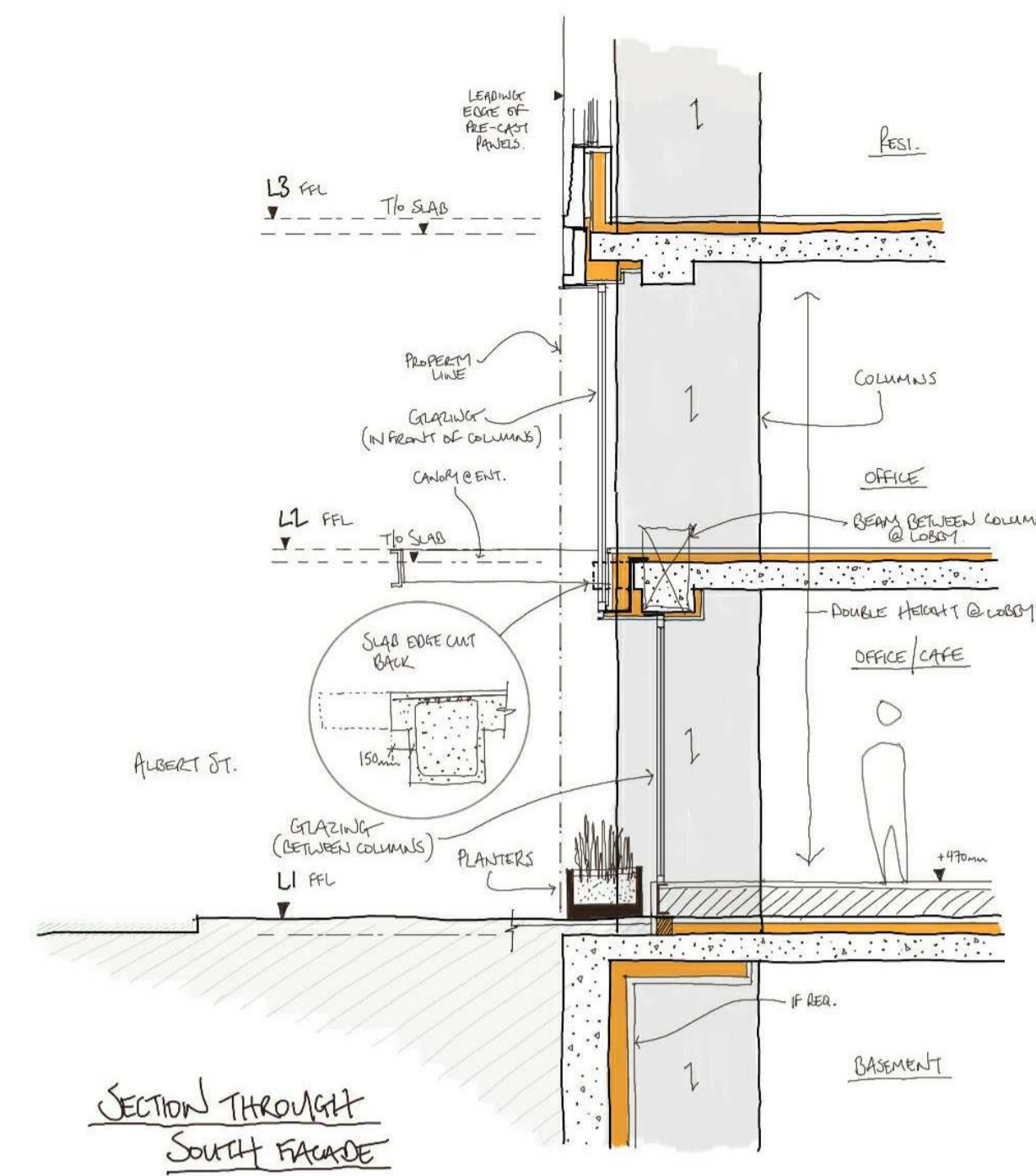
A4-201



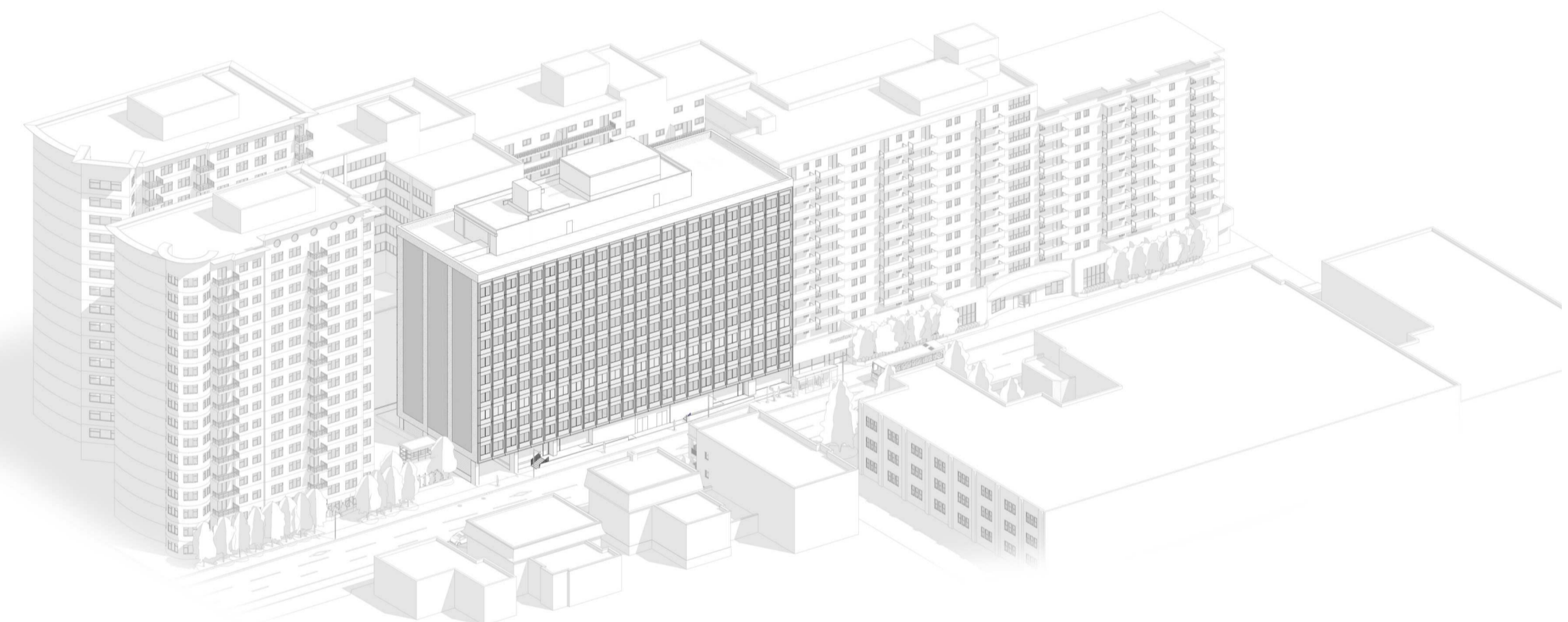
FRONT ELEVATION BASE DETAIL



SECTION ELEVATION DETAIL



SECTION DETAIL THROUGH SOUTH FACADE



EXISTING ISOMETRIC VIEW OF SITE



PROPOSED ISOMETRIC VIEW OF SITE



EXISTING VIEW FROM SOUTH



PROPOSED VIEW FROM SOUTH

no revisions | date

stamp | timbre



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3D VIEWS

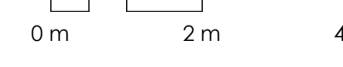
project number | numéro du projet 159

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scale | échelle



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