

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE, REPORT TO THE OWNER AND ARCHITECT ON ANY DISCREPANCIES BETWEEN THE EXISTING SITE CONDITIONS AND THE FINAL DRAWINGS PRIOR TO CONTINUING CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE FOR CONFORMANCE OF WORKMANSHIP, MATERIAL, AND METHODS.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE AND LOCAL AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO CHECK AVAILABILITY OF ALL MATERIALS AND REPORT ANY DISCONTINUATIONS OR DELAYS TO THE OWNER AND ARCHITECT.
- CONTRACTOR TO CLEAN ALL WINDOWS, FLOORS, ETC. AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN AND BE FAMILIAR WITH ALL REQUIRED TESTING AND REPORTS DURING THE PROGRESS OF THE WORK.
- FINISH MATERIALS TO MEET 2012 ONTARIO BUILDING CODE REQUIREMENTS FOR FLAME SPREAD RATINGS AND SMOKE DEVELOPED CLASSIFICATION.
- ALL INTERIOR FURNISHINGS ARE BY THE TENANT UNLESS OTHERWISE NOTED.
- SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL ITEMS.
- SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR BASE BUILDING RELEVANT NOTES AND DETAILS.
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR HEATING, VENTILATION, AIR CONDITIONING, LIGHTS, AND SPRINKLERS.
- ALL CONSTRUCTION TO CONFORM TO 2012 ONTARIO BUILDING CODE SECTION 3.8 BARRIER-FREE DESIGN.
- CAULK AND SEAL ALL AROUND OPENINGS AT PENETRATIONS.
- FOR ALL ELECTRICAL, AV & MECHANICAL EQUIPMENT MOUNTING HEIGHTS REFER TO ENGINEERING DRAWINGS.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE COMPLEMENTARY. ANYTHING SHOWN ON ARCHITECTURAL DRAWINGS AND NOT SHOWN ON STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS OR VISE VERSA, SHALL BE INTERPRETED AS BEING SHOWN ON ALL FOUR. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS
- ALL STEEL STUDS TO BE DESIGNED & STAMPED BY PROFESSIONAL ENGINEER LICENSED IN ONTARIO - SUBMIT SHOP DRAWINGS
- CONCRETE FLOORS TO BE SMOOTH & LEVEL WITH A MAXIMUM DEVIATION OF 1/2 INCH IN 20 FEET READY TO ACCEPT TENANT'S FLOOR FINISH MATERIAL UNLESS NOTED OTHERWISE ON FLOOR PLAN OR SPECIFICATIONS - TO COMPLY WITH TENANTS REQUIREMENTS.
- SEE DOOR SCHEDULE FOR DOOR & FRAME TYPE, SIZE & HARDWARE.
- METAL ROOF DECK CEILING TO BE SUITABLE FOR PAINT WITHOUT ADDITIONAL PREPARATION BY TENANT
- ROUGH IN OF WASHROOM FIXTURES TO BE BY GENERAL CONTRACTOR & LOCATION OF SUITE FINAL LAYOUT TO FOLLOW ON COMMERCIAL AND RESIDENTIAL SUITES IDENTIFIED AS 'BY FUTURE PERMITS'. EACH TENANT IDENTIFIED AS SUCH TO OBTAIN SEPARATE PERMIT FOR ALL INTERIOR WORK.
- HVAC BY GENERAL CONTRACTOR & TO SUIT FINAL COMMERCIAL TENANT LAYOUT (TO FOLLOW) WHERE APPLICABLE.
- TENANT TO OBTAIN A SEPARATE PERMIT REGARDING EXTERIOR SIGNAGE.
- SHOP QUALITY SPRINKLER DRAWINGS COMPLETE WITH HYDRAULIC CALCULATIONS TO BE SUBMITTED TO THE CITY UNDER SEPARATE COVER BY THE SUCCESSFUL CONTRACTOR'S SPRINKLER SYSTEM DESIGN ENGINEER WHEREVER SPRINKLERS ARE REQUIRED.
- USE HILTI FS601 OR FS-ONE FLEXIBLE FIRE STOP AT TOP OF ALL FIRE RATED WALLS AT ROOF DECKS AND WALL PENETRATIONS TO SUIT RATING OF WALL (TYP.)
- ALL R.W.L. TO BE TIGHT TO BACK OF COLUMNS (STEEL)
- 50mm METAL STRAPS @ 600 o.c. AT ALL DOUBLE WALL CONSTRUCTION TO SECURE BATT INSULATION IN PLACE.
- ALL STEEL STRUCTURAL MEMBERS TO BE WITHIN STUD CAVITIES
- PIPING, TUBING, DUCTS, CHIMNEYS, OPTICAL FIBRE CABLES, ELECTRICAL WIRES AND CABLES, TOTALLY ENCLOSED NON-COMBUSTIBLE RACEWAYS, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR BUILDING SERVICES THAT PENETRATE A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING, OR A FIRE SEPARATION, SHALL BE SEALED BY A FIRE STOP SYSTEM.
- AT ALL TRANSITIONS OF MATERIALS, JOINTS TO BE CAULKED c/w BACKER ROD
- WRAP ENTIRE PERIMETER OF ROUGH OPENINGS WITH PEEL AND STICK MEMBRANE BEFORE INSTALLATION OF WINDOW AND DOOR FRAMES.
- PROVIDE 12.7mm EXTERIOR GRADE PLYWOOD @ ALL SIGNAGE, AWNINGS, LIGHT FIXTURE LOCATIONS, AND GAS PIPES UNLESS OTHERWISE NOTED. PROVIDE WOOD BLOCKING FOR ALL WASHROOM FIXTURES, ELECTRICAL & MECHANICAL FIXTURES WHERE APPLICABLE (TYP.)
- GENERAL CONTRACTOR TO ENSURE THAT FIRE RATING OF DEMISING WALLS IS NOT ALTERED FROM THE DESIGNATED WALL CONSTRUCTION LISTED
- GAS PIPES TO BE PAINTED SAME COLOR AS WALL OR CEILING ON WHICH THEY ARE MOUNTED. w/ YELLOW STRIPES SPACED @ 4'-0" FROM EACH OTHER
- WHERE FIRE RATED WALL RUNS PERPENDICULAR TO METAL DECK, DRYWALL TO FOLLOW DECK CONTOUR c/w 12mm TO 20mm GAP. FILL ALL VOIDS WITH FIRE STOP MINERAL WOOL AND FIRE STOP CAULKING/SPRAY TO MAINTAIN WALL FIRE RATING.
- HORIZONTAL JOINT @ DEFLECTION TRACK CAULKING TO MAINTAIN FIRE RATING (TYP.)
- VERTICAL DRYWALL CONTROL JOINT TO BE @ EVERY STEEL COLUMN TYP. (SEE SPECIFICATIONS)
- PAINT EXTERIOR H.M. DOOR EDGES
- GRADES SHOWN ON FLOOR PLANS, ELEVATIONS, AND SECTION DATUM TAGS ARE FOR REFERENCE ONLY. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL GRADES WITH GRADING PLAN.
- GENERAL CONTRACTOR TO BOX IN ALL ELEC. & MECH. SERVICES NOT CONCEALED IN WALLS UNLESS OTHERWISE NOTED. PROVIDE ACCESS PANELS WHERE APPLICABLE.
- GENERAL CONTRACTOR TO CLEAN (SCRAPE AND VACUUM) BOTTOM OF STUD TRACK BEFORE BATT TYPE INSULATION INSTALLATION.
- REFER TO WALL TYPES, ULC MANUAL, AND OBC DRAWINGS FOR ALL FIRE RATINGS REQUIRED FOR ALL INTERIOR AND EXTERIOR WALLS. NO SUBSTITUTIONS FOR GYPSUM BOARD LISTED IN THE ULC MANUAL FOR THE FIRE RATED WALLS.
- FIRE STOP NOTE: FOR ALL DOUBLE STUD WALLS WITHIN AN AIR SPACE MORE THAN 25mm - PROVIDE 12.7 EXTERIOR GRADE GYPSUM WALL BOARD FIRE STOP @ 3m o.c. VERTICAL INTERVALS x 20m o.c. HORIZONTAL INTERVALS OR FILL CAVITY WITH BATT TYPE INSULATION.

NOTES: ONTARIO BUILDING CODE INTERIOR FINISHES:

- ALL SURFACES FOR EXIT STAIRS, LOBBIES (ELEVATOR), SERVICE ROOMS MEET:
- FLAME SPREAD RATING: 25
 - SMOKE DEVELOPED RATING: 50

- 10% MAX. OF A SURFACE WITHIN AN EXIT OR LOBBY:
- FLAME SPREAD RATING: 150
 - SMOKE DEVELOPED RATING: 300

- ALL OTHER WALLS:
- FLAME SPREAD RATING: 150
 - SMOKE DEVELOPED RATING: 0

- COMBUSTIBLE CEILING FINISHES:
- FLAME SPREAD RATING: 25

GENERAL NOTES FOR SLAB EDGE DRAWINGS

- FOR STAIR OPENINGS AND SLAB EDGE DETAILS REFER TO THE PRECAST STAIR SHOP DRAWINGS.
- FOR ELEVATOR SHAFT OPENING REFER TO ELEVATOR SHOP DRAWINGS.
- FOR DUCT/SHAFT OPENING AND PENETRATIONS THROUGH WALLS & FLOORS, REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. COORDINATE ALL PENETRATIONS FOR LIGHTING w/ ELECTRICAL ENGINEERS DRAWINGS PRIOR TO CONSTRUCTION OF FLOOR SLABS.
- FOR DOOR AND WINDOW OPENINGS THROUGH WALLS, CHECKS IN FLOORS, ELEMENTS TO BE CAST INTO FLOORS - COORDINATE WITH OTHER ARCHITECTURAL DRAWINGS, SPECIFICATIONS AND DOOR AND WINDOW SHOP DRAWINGS.
- PROVIDE POCKETS FOR PRECAST
- PROVIDE POCKETS FOR PRECAST ANCHORS. FOR LOCATIONS AND DETAILS COORDINATE WITH PRECAST CONCRETE SHOP DRAWINGS.
- ALL STRUCTURAL WALL THICKNESSES, COLUMN SIZES AND BEAM SIZES TO BE CONFIRMED BY STRUCTURAL DRAWINGS.
- FOR ROOF ANCHORS AND DAVIT BASES ON ROOF SLAB REFER TO ROOF ANCHOR SYSTEM PLAN FOR LOCATIONS AND DETAILS.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTER WALL DETAILS AND DIMENSIONS.
- ALL NOTCHES SHOWN FOR CURTAIN WALL & WINDOW WALL CONNECTION LOCATIONS ARE STRICTLY DIAGRAMMATIC. CONFIRM ALL LOCATIONS WITH CURTAIN WALL SHOP DRAWINGS PRIOR TO CONSTRUCTION OF SLAB

- DENOTES SLOPE DIRECTION OF CONCRETE SLAB
- ⊙ DENOTES TOP OF STRUCTURAL SLAB (T.S.S.)

GENERAL NOTES FOR WALLS WITH S.T.C. RATINGS

- WALLS MUST EXTEND SLAB TO SLAB.
- THERE IS TO BE A MINIMUM AMOUNT OF STUDS PER WALL. (NO ADDITIONAL STUDS SHOULD BE INSTALLED)
- INNER AND OUTER LAYERS OF DRYWALL SHOULD HAVE NO GAPS OVER 6 MM.
- INNER LAYERS SHOULD BE TAPED BUT NOT SANDED.
- JOINTS MUST BE STAGGERED.
- FIRE RATED CAULKING SHOULD BE USED AS THE PRIMARY SEALANT.
- FIRE RATED CAULKING SHOULD BE DONE ON ALL LAYERS OF DRYWALL AROUND ENTIRE PERIMETER EXCEPT AT DRYWALL JOINTS.
- FIRE RATED CAULKING ON ANY GAP OVER 6 MM MUST BE OVER ROD BACKUP. BUT GAPS OVER 6 MM ARE TO BE AVOIDED.
- ELECTRICAL BOXES ON OPPOSING FACES OF THE WALL SHOULD BE LOCATED IN SEPARATE STUD CAVITIES.
- FIT DRYWALL TIGHTLY WITHIN 6 MM OF ALL SERVICES INCLUDING ELECTRICAL BOXES FOR EACH DRYWALL LAYER.
- ALL ELECTRICAL SERVICES IN PARTY WALLS SHOULD HAVE BACK BOXES.
- FIBERGLASS OR MINERAL FIBER BATT SHOULD BE RUN BEHIND AND AROUND ALL ELECTRICAL BOXES.
- ALL PENETRATIONS THROUGH RATED WALLS MUST BE SEALED AIR-TIGHT WITH A COMBINATION OF JOINT COMPOUND AND CAULKED
- NO DRYWALL IS TO PASS BETWEEN ROOMS. FOR EXAMPLE DRYWALL IS TO BE BROKEN (SEPARATED) AT TEES, CROSS AND CORNER JUNCTIONS. THIS AVOIDS A DIRECT LINK BETWEEN THE TWO ROOMS WHICH WOULD DECREASES STC RATINGS CONSIDERABLY.
- BLOCKING INSTALLED IN THE DEMISING WALLS SHOULD NOT BRIDGE THE TWO FACES OF THE WALLS, BUT BE INSTALLED ONLY ON THE FACE OF THE STUDS ACCEPTING THE CABINETRY
- BLOCKING FOR CABINETS WILL BE REPLACING PART OF THE INNER LAYER OF A DOUBLE LAYER DRYWALL WALL WITH PLYWOOD, WHEREVER PLYWOOD IS USED INSTEAD OF DRYWALL. SEAL ALL AROUND THE PLYWOOD TO THE ADJACENT DRYWALL.
- BATT TYPE INSULATION FOR INTERIOR WALLS MAY BE MINERAL WOOL OR FIBERGLASS - AT OWNER'S DISCRETION

GENERAL NOTES FOR ROOF PLANS

- DRAINAGE:**
- CO-ORD ROOF DRAIN LOCATIONS AS SHOWN W/ MECH. DWGS.
 - ROOF TRUSS /BEAM FRAMING TO BE SHIMMED /LOWERED AS REQ'D. @ LOW POINTS ALONG GRIDS TO PROVIDE ROOF SLOPE. CO-ORD W/ STRUCT DWGS.
 - PROVIDE TAPERED ROOF INSULATION AS REQ'D TO ACHIEVE POSITIVE DRAINAGE IN ALL NOTED AREAS.
 - ENSURE THAT RAIN WATER LEADERS ARE GROUPED (SEE MECH. DWGS).

- ROOF ASSEMBLY:**
- PROVIDE MANUF SPECS & DETAILS FOR APPROVAL BY ARCHITECT, FOR NEW ROOF SYSTEM, C/W RIGID INSULATION & BASE SHEATHING. SEE TYP. SECT. DETAILS.**
 - SEE MECH /ELECT DWGS FOR ROOF EQUIPMENT OPENINGS, CURBS, ETC & ROOF MEMBRANE MANUFACTURER'S INSTALLATION DETAILS /SPCS AT ALL LOCATIONS.**

- WARRANTY:**
- PROVIDE WRITTEN WARRANTY FROM BOTH THE ROOFING CONTRACTOR & THE ROOFING MEMBRANE MANUFACTURER, CO-ORD WITH OWNER FOR REQUIREMENTS. THIS WARRANTY SHALL COVER BOTH MATERIALS & WORKMANSHIP FOR ALL COMPONENTS OF THE ROOFING SYSTEM INCLUDING, BUT NOT LIMITED TO ROOF MEMBRANE, FLASHING, MECHANICAL & ELECTRICAL EQUIPMENT PENETRATIONS AND TERMINATIONS W/ OTHER ELEMENTS OF THE BUILDING ENVELOPE SYSTEM.

- COORDINATE PRO BEL SAFETY ROOF ANCHORS W/ STRUCTURAL ENGINEERING DRAWINGS FOR REQUIRED STRUCTURAL CONNECTIONS
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS

GENERAL NOTES FOR FLOOR FINISH PLANS

- ALL WALL TILE LOCATIONS TO BE SHOWN ON INTERIOR ELEVATIONS AND ALL RELATED DETAILING ON ARCHITECTURAL DRAWINGS.
- ALL FLOORING MATERIALS AND RELATED WALL TILES TO BE INSTALLED IN FULL ACCORDANCE WITH SPECIFICATIONS AND RELATED ARCHITECTURAL DETAILS.
- METAL TRANSITION STRIPS ARE TO BE SUPPLIED AND INSTALLED AT ALL TRANSITIONS BETWEEN DISSIMILAR FLOOR FINISHES AS PER SPECIFICATIONS.
- TILE EDGING STRIPS ARE TO BE USED AT ALL TILE EDGES AS NOTED IN SPECIFICATIONS.
- ALL FLOORING MATERIALS ARE TO BE INSTALLED ONLY ONCE ALL SUBFLOOR CONDITIONS ENSURING PROPER INSTALLATION ARE MET (INCLUDING ALL REQUIRED FLOOR LEVELING ON STRUCTURE).
- ANY FLOORING MATERIALS EXHIBITING IMPROPER ADHESION, SIGNS OF TELEGRAPHING, CALENDERING, OR IRREGULARITIES THROUGH THE FINISHED SUBFLOOR, ETC. MAY BE DEEMED UNSUITABLE - REQUIRING RECTIFICATION TO THE ARCHITECT'S STANDARDS.
- EXTEND ALL FLOORING UNDER MILLWORK IN COMMON BUILDING AREAS
- FLOOR MATERIAL HATCHES ARE NOT INDICATIVE OF PATTERN. SEE FLOORING MATERIAL LEGEND FOR NOTES ON INSTALLATION
- ALL FINISHING PRODUCING NOXIOUS OR IRRITATING FUMES OR ODORS (ELECTROSTATIC PAINTING, FLOOR FINISHES, ETC.) SHALL BE DONE ONLY AFTER BUILDING MANAGEMENT REVIEW AND ONLY AFTER BUSINESS HOURS.
- ALL VCT, RUBBER, & OTHER HARD SURFACE FLOORING TO BE PREPPED AND SEALED TO MANUFACTURERS' RECOMMENDATIONS
- REFER TO ARCHITECTURAL SPECIFICATIONS FOR MORE NOTES ON FLOOR FINISHES

GENERAL NOTES FOR SUITE PLANS

- BATHROOMS:**
- PROVIDE WOOD BLOCKING BEHIND TOILETS & BATHTUBS TO PROVIDE FOR FUTURE GRAB BARDS & ACCESSORIES. SEE TYPICAL SUITE ELEVATIONS & DETAILS.
 - BATHROOM VANITY w/ RECESSED SINK & BASE CABINETS ARE TYPICAL. COORDINATE WIDTH.
 - COORDINATE MIRROR CABINET RECEIVED IN WALL. COORDINATE SIZE (SPEC. TBD)
 - COORDINATE TOWEL BAR(S), TOILET PAPER DISPENSER LOCATIONS.
 - DIMENSIONS OF TUB/SHOWER SUIT TO FIT MANUFACTURER.
 - PROVIDE WOOD BLOCKING SUPPORT FOR OPTIONAL FUTURE GRAB BARS TOWEL BAR & DISPENSERS.
 - ALL WALLS & CEILINGS TO HAVE MOLD RESISTANT GYPSUM BOARD
 - SUITE WASHROOM WALL STUD FRAMING TO BE FILLED TO ABOVE CEILING w/ SOUND BATT (TYPICAL)
- KITCHEN:**
- KITCHENS SHOWN FOR GENERAL LAYOUT, CABINETRY & COUNTER-TOP STYLE, FINISHES, HARDWARE, ETC. TBD. PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL.*
 - PROVIDE REQ'D BACKING AS PER MANUF. SPEC
- LAUNDRY / WASHER/DRYER CLOSET**
- COORDINATE DIMENSIONS & CLEARANCES REQUIRED FOR WASHER/ DRYER UNIT, PLUMBING CONNECTIONS, & DOOR FRAME CLEARANCE (TYPICAL)
 - FLOOR DRAIN TO BE INSTALLED IN LAUNDRY ROOM (TYPICAL) REFER TO MECH/ ELECT. DWGS.
 - COORDINATE 'FLOOD SAVER' OR APPROVED EQUAL (REFER TO MECHANICAL)

MATERIAL NOTES

	ALUMINUM		PLASTER
	BATT / FIBRE INSULATION		PLYWOOD
	BRICK		PRECAST (CONCRETE)
	CONCRETE		RIGID INSULATION
	CONCRETE BLOCK		SEMI-RIGID INSULATION
	EARTH		STEEL
	GLASS		STONE
	GRAVEL		TILE
	GYPSUM BOARD		WOOD

SYMBOL LEGEND

FIRE STRATEGY LEGEND

	00 min (0HR)
	60 min (1.0HR)
	90 min (1.5HR)
	120 min (2.0HR)
	180 min (3.0HR)
	TRAVEL DISTANCE
	SEPARATION DISTANCE BETWEEN EXITS
	DEAD END TRAVEL DISTANCE
	FIRE HOSE LENGTH

GENERAL NOTES FOR DEMOLITION PLANS

- ALL DEMOLITION TO MAKE GOOD ALL CONNECTIONS.
- DASHED LINES ON DEMOLITION PLAN REPRESENT WALLS, DOORS, WINDOWS, MILLWORK, PLUMBING FIXTURES, ETC. TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN. MAKE GOOD ALL CONNECTIONS.
- THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION PLAN WITH HVAC, ELECTRICAL AND PLUMBING REQUIREMENTS. REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL OR PLUMBING REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DEVIATION FROM THE DRAWINGS.
- MAINTAIN ACCESS TO EXITS AT ALL TIMES ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
- PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING.
- CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
- DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF SITE. COMPLY WITH ALL LOCAL HAULING & DISPOSAL REQUIREMENTS.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREA IF ANY HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION. NOTIFY
- OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING WITH OTHER WORK.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.



- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

GENERAL NOTES



BUILDING CODE MATRIX

Firm Name: LINEBOX STUDIO INC. Certificate of Practice Number: 126 York St. Suite 503 - Ottawa, ON, K1N 5T5 613.216.2609																																																										
NAME OF PROJECT: 473 ALBERT Conversion of existing 11 storey office building c/w two mechanical penthouse levels into mixed use residential complex c/w converted amenity penthouse level																																																										
LOCATION: 473 Albert Street, Ottawa, Ontario, Canada																																																										
Item	Ontario Building Code Matrix Data		O.B.C. Reference																																																							
1	Project Description Proposed Mixed Use Construction	<input checked="" type="checkbox"/> Addition <input type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	Part 11 Part 3 1.1.1 - 11.4 1.1.2, [A]																																																							
2	Major Occupancy(s)	GROUP 'C' RESIDENTIAL GROUP 'AZ' ASSEMBLY	3.1.2.1.(1)																																																							
3	Building Area	1,276.4 m ² Existing	1.4.1.2 [A]																																																							
4	Gross Floor Area	11,338.81 m ² Existing	1.4.1.2 [A]																																																							
	SUB-BASEMENT	EXISTING n/a (parking/storage)	PROPOSED n/a (parking/storage)																																																							
	BASEMENT	n/a (parking/storage)	n/a (parking/storage)																																																							
	LEVEL 01	708.78 m ²	152.31 m ²																																																							
	LEVEL 02	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 03	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 04	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 05	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 06	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 07	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 08	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 09	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 10	1,063.64 m ²	1,094.73 m ²																																																							
	LEVEL 11	1,057.27 m ²	1,079.50 m ²																																																							
	LEVEL 12	n/a (mech.)	n/a (res. amenities/mech.)																																																							
	LEVEL 13	n/a (mech.)	n/a (mech.)																																																							
5	Number of Storeys	Above Grade: 12 Below Grade: 2	1.4.1.2, [A] & 3.2.1.1.																																																							
6	Height of Building (m)	41.99 m																																																								
7	Number of Streets / Access Routes	1 [ONE]	3.2.2.10 & 3.2.5.																																																							
8	Building Classification	Group 'C' 3.2.2.42 Group 'AZ' 3.2.2.23	3.2.2.20 - 3.2.2.83																																																							
9	Sprinkler System	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required	3.2.2.20 - 3.2.2.83 3.2.1.5. 3.2.2.17.																																																							
10	Standpipe Required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.16.																																																							
11	Fire Alarm Required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																																																								
12	Water Service / Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7.																																																							
13	High Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6.																																																							
14	Permitted Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both	3.2.2.20 - 3.2.2.83																																																							
	Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both																																																								
15	Mezzanine(s) Area	N/A	3.2.11. [3]-[8]																																																							
16	Occupant Load	<input checked="" type="checkbox"/> sq.m/person <input type="checkbox"/> Design of Building	3.1.17.																																																							
	SUB-BASEMENT	n/a (parking/storage)																																																								
	BASEMENT	n/a (parking/storage)																																																								
	LEVEL 01	70 persons (2 persons per bed = 6, Lobby Lounge = 16, Amenities = 46, Storage = 2)																																																								
	LEVEL 02	36 persons (2 persons per bed)																																																								
	LEVEL 03	40 persons (2 persons per bed)																																																								
	LEVEL 04	40 persons (2 persons per bed)																																																								
	LEVEL 05	40 persons (2 persons per bed)																																																								
	LEVEL 06	40 persons (2 persons per bed)																																																								
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	LEVEL 10	40 persons (2 persons per bed)																																																								
	LEVEL 11	40 persons (2 persons per bed)																																																								
	LEVEL 12	120 persons (Amenity/Roof Terrace)																																																								
	LEVEL 13	n/a (Mechanical Penthouse)																																																								
17	Barrier-Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8.																																																							
18	Hazardous Substances	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.3.1.2 & 3.3.1.19																																																							
19	Required Fire Resistance Railing (FRR)	<table border="1"> <tr> <th colspan="2">3.2.2.42 (C)</th> <th colspan="2">3.2.2.49 (D)</th> <th colspan="2">3.2.2.23 (A2)</th> </tr> <tr> <th colspan="2">Horizontal Assemblies FRR (Hours)</th> <th colspan="2">Horizontal Assemblies FRR (Hours)</th> <th colspan="2">Horizontal Assemblies FRR (Hours)</th> </tr> <tr> <td>Floors</td> <td>2</td> <td>Floors</td> <td>2</td> <td>Floors</td> <td>2</td> </tr> <tr> <td>Roof</td> <td>ZERO</td> <td>Roof</td> <td>ZERO</td> <td>Roof</td> <td>ZERO</td> </tr> <tr> <td>Mezzanine</td> <td>1</td> <td>Mezzanine</td> <td>1</td> <td>Mezzanine</td> <td>1</td> </tr> <tr> <td colspan="2">FRR of Supporting Members</td> <td colspan="2">FRR of Supporting Members</td> <td colspan="2">FRR of Supporting Members</td> </tr> <tr> <td>Floors</td> <td>2</td> <td>Floors</td> <td>2</td> <td>Floors</td> <td>2</td> </tr> <tr> <td>Roof</td> <td>ZERO</td> <td>Roof</td> <td>ZERO</td> <td>Roof</td> <td>ZERO</td> </tr> <tr> <td>Mezzanine</td> <td>1</td> <td>Mezzanine</td> <td>1</td> <td>Mezzanine</td> <td>1</td> </tr> </table>	3.2.2.42 (C)		3.2.2.49 (D)		3.2.2.23 (A2)		Horizontal Assemblies FRR (Hours)		Horizontal Assemblies FRR (Hours)		Horizontal Assemblies FRR (Hours)		Floors	2	Floors	2	Floors	2	Roof	ZERO	Roof	ZERO	Roof	ZERO	Mezzanine	1	Mezzanine	1	Mezzanine	1	FRR of Supporting Members		FRR of Supporting Members		FRR of Supporting Members		Floors	2	Floors	2	Floors	2	Roof	ZERO	Roof	ZERO	Roof	ZERO	Mezzanine	1	Mezzanine	1	Mezzanine	1	3.3.2.20-83 3.2.1.4.	
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Wall	Area of EBF (sq. m)	L.D. (m)	L/H or H/L	Permitted Max. % of openings	Proposed % of openings	FRR (Hours)	Listed Design or Description	Comb. Construction	Comb. Construction Non-Comb. Cladding	Non-Comb. Construction																																																
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South	N/A	>9m	N/A	100%	N/A	N/A	N/A	N/A	N/A	N/A																																																
West	REFER TO BUILDING CODE ELEVATION ON DRAWING 1/A0-200																																																									

GENERAL NOTES

ADDITIONAL CONSTRUCTION REQUIREMENTS:
(GENERAL FIRE SAFETY)

- ALL CANOPY STRUCTURES ARE TO BE OF NON-COMBUSTIBLE CONSTRUCTION, HOWEVER, O.B.C. 3.1.5.2 & 3.1.5.3 PERMITS MINOR COMBUSTIBLE ELEMENTS.
- ALL GROUP - 'C' RESIDENTIAL USE DWELLING UNITS/SUITS ARE TO BE SEPARATED FROM EACH OTHER, AND THE REMAINDER OF THE BUILDING BY 1 HOUR FIRE SEPARATIONS (MIN.) AS PER O.B.C. - 3.3.4.2.(2)
- ALL CORRIDORS HAVE BEEN DESIGNED TO MEET REQUIREMENTS INCLUDING:
I. MINIMUM REQUIRED WIDTH
II. SMOKE DETECTORS
III. EMERGENCY LIGHTING
IV. MINIMUM LIGHTING LEVELS
V. FLAME SPREAD RATINGS
VI. VISUALLY AND PHYSICALLY OPEN
VII. MAXIMUM TRAVEL DISTANCE
VIII. NO FUEL-FIRED APPLIANCES
IX. NO DEAD-END PORTION WITHOUT SECOND MEANS OF EGRESS

-COMMON TENANT STORAGE AREAS HAVE BEEN SEPARATED FROM REMAINING FLOOR AREAS BY ONE(1) HOUR FIRE SEPARATIONS (MIN.) AS PER O.B.C. - 3.3.4.3.(2)

-ELEVATOR HOISTWAYS HAVE BEEN SEPARATED FROM REMAINING FLOOR AREAS BY 1.5 HOUR FIRE SEPARATIONS (MIN.) AS PER O.B.C. - TABLE 3.5.3.1.

-VERTICAL SERVICE SPACES ARE TO BE SEPARATED FROM ALL OTHER PORTIONS OF EACH ADJACENT STOREY BY 1 HOUR FIRE SEPARATIONS AS PER O.B.C.TABLE 3.6.3.1.

-MECHANICAL ROOMS HAVE BEEN SEPARATED FROM REMAINING FLOOR AREAS BY ONE(1) HOUR FIRE SEPARATION (MIN.), AS PER O.B.C. - 3.6.2.1

-ELECTRICAL ROOM HAS BEEN SEPARATED FROM REMAINING FLOOR AREAS BY ONE(1) HOUR FIRE SEPARATION (MIN.) AS PER O.B.C. - 3.6.2.1.(6)

-REFUSE STORAGE ROOM c/w CHUTE DISCHARGE HAS BEEN SPRINKLERED AND SEPARATED FROM THE REMAINDER OF THE BUILDING BY TWO(2) HOUR FIRE SEPARATION (MIN.) AS PER O.B.C. - 3.6.3.3.(9). OTHER GARBAGE ROOMS HAVE BEEN SEPARATED BY ONE(1) HOUR FIRE SEPARATION (MIN.) AS PER O.B.C. - 3.6.2.5.

-ALL DOORS, AND MECHANICAL DUCTS THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL CONFORM TO O.B.C. TABLE 3.1.8.4. FOR THE REQUIRED CORRESPONDING FIRE RATINGS AS INDICATED (INCLUDES FIRE DAMPERS AS PER O.B.C. - 3.1.8.7)

-REFER TO O.B.C. - 3.1.8.8 TO CONFIRM EXEMPTIONS FOR SPECIFIC FIRE DAMPERS (AT UNRATED FIRE SEPARATIONS IF APPLICABLE).

-MAXIMUM OPENING SIZES WITHIN ALL REQUIRED FIRE SEPARATIONS ARE NOT TO EXCEED THE DIMENSIONS AS PER O.B.C. - 3.1.8.6.(2)

FIRE ALARM AND DETECTION SYSTEMS:

-FIRE ALARM SYSTEM IS REQUIRED AS PER O.B.C. - 3.2.4.1.(2)(C)(I), ETC

-HEAT DETECTORS WILL NOT BE REQUIRED WITH THE PROVISION OF ELECTRICALLY-SUPERVISED SPRINKLER SYSTEM AS PER O.B.C. - 3.2.4.12 (3.2.4.9)

-FIRE DETECTORS TO BE LOCATED IN ALL STORAGE ROOMS, SERVICE ROOMS, JANITOR'S ROOMS, ELEVATORS, AS PER O.B.C. - 3.2.4.1.1.(2)

-SMOKE DETECTORS ARE TO BE INSTALLED WITHIN ALL SLEEPING ROOMS AND CORRIDORS WITHIN DWELLING UNITS/SUITS, CORRIDORS AND EXIT STAIRS AS PER O.B.C. - 3.2.4.12(1).

-MANUAL PULL STATIONS ARE TO BE LOCATED AS PER O.B.C. - 3.2.4.18.

-BUILDING TO SATISFY ALL REQUIREMENTS COMMON TO ALL MEASURES FOR FIRE SAFETY IN HIGH BUILDINGS AS PER SECTION 2 OF OBC - MMAH SUPPLEMENTARY STANDARDS SB-4

-BUILDING TO SATISFY MEASURE A - FULLY SPRINKLERED BUILDING AS PER SECTION 2 OF OBC - MMAH SUPPLEMENTARY STANDARDS SB-4

-CONTROL OF SMOKE MOVEMENT TO BE ACHIEVED BY ADHERANCE TO O.B.C. 3.2.6.2.(1)-(5)

-ELEVATORS TO BE DESIGNED AND OPERATIONAL TO SATISFY THE REQUIREMENTS OF O.B.C. 3.2.6.4. EMERGENCY OPERATION OF ELEVATORS

-PROVIDE ALL REQUIREMENTS FOR ELEVATOR FOR USE BY FIREFIGHTERS AS PER O.B.C. 3.2.6.5.

-VENTING TO AID FIREFIGHTING HAS BEEN DESIGNED AS PER O.B.C. 3.2.6.6.

-CENTRAL ALARM AND CONTROL FACILITY TO BE CONSTRUCTED AS PER O.B.C. 3.2.6.7.

-TESTING OF SMOKE CONTROL AND MECHANICAL VENTING SHALL BE CONDUCTED AFTER OCCUPANCY AS PER O.B.C. 3.2.6.9.

EMERGENCY LIGHTING:

-TO BE PROVIDED AND LOCATED AS PER O.B.C. - 3.2.7.3.

STANDPIPE SYSTEM:

-IS REQUIRED AS PER O.B.C. - 3.2.9.1.(1),(A)

FLAME SPREAD RATINGS:

-REQUIREMENTS FOR FLAME SPREAD RATINGS ARE TO BE SATISFIED WITH RESPECT TO LOCATIONS AS SPECIFIED BY O.B.C. - 3.1.13.2 (INCL. TABLE 3.1.13.2).

REQUIREMENTS FOR EXITING:

-OVERALL BUILDING REQUIRED EXIT CAPACITIES HAVE BEEN PROVIDED AS PER O.B.C. - 3.4

-AT LEAST 2 EXIT STAIRS HAVE BEEN PROVIDED AND LOCATED TO SATISFY THE REQUIREMENTS OF O.B.C. - 3.4.2.1.(1) (MIN. NUMBER OF EXITS), 3.4.4.4. (INTEGRITY OF EXITS), AND 3.4.2.5.(1)(C) (MAXIMUM 45M TRAVEL DISTANCE).

-ENSURE REQUIRED EXITING DOOR SWING DIRECTIONS AT ALL (HORIZONTAL EXITS) LOCATIONS, AND PROVIDE EXIT SIGNS AS PER O.B.C. - 3.4.5.1

-MINIMUM WIDTHS FOR ALL EXIT STAIRS HAVE BEEN DESIGNED AS PER O.B.C. - 3.4.3.1., 3.4.3.2 & 3.4.3.4

-MINIMUM WIDTHS FOR ACCESS TO EXIT CORRIDORS WHICH SERVE GROUP 'C' FLOOR AREAS HAVE BEEN PROVIDED AS PER THE REQUIREMENTS OF O.B.C.

-MINIMUM DOOR WIDTHS FOR ALL EXITS SERVING GROUP -'C' FLOOR AREAS HAVE BEEN PROVIDED AS PER O.B.C.

(NOTE)
-REFER TO O.B.C. - 3.3.1.12.(1) TO CONFIRM MIN. REQUIRED DOOR WIDTHS AT OTHER LOCATIONS AS INDICATED.

-HANDRAIL & GUARD DETAILS ARE TO SATISFY THE REQUIREMENTS OF O.B.C. - 3.4.6.5 & 3.4.6.6.

-IDENTIFICATION OF FLOOR LEVELS AND STAIR DESIGNATION IS TO BE PROVIDED FOR BOTH SIDES OF ALL DOORS INTO EXIT STAIRS AS PER O.B.C. - 3.4.6.19.(1) & (2).

ELEVATOR REQUIREMENTS:

-TO SATISFY THE REQUIREMENTS FOR ELEVATORS AS PER O.B.C. - 3.5.2 INCLUDING:

-ELEVATOR TO BE DESIGNED TO SATISFY BARRIER-FREE REQUIREMENTS OF O.B.C. - 3.8.3.5.

SOUND TRANSMISSION:

-SOUND TRANSMISSION CLASS (S.T.C.) MIN. RATINGS ARE TO BE PROVIDED FOR ALL DWELLING UNIT /SUITS AS PER O.B.C. - 3.3.4.6.(1) - REFER TO SECTION #5 / 5.9.1.2

-MINIMUM 55 STC FROM ELEVATOR AREAS TO FLOOR AREAS

-MINIMUM 50 STC FROM ALL OTHER AREAS

-REFER TO GENERAL NOTES FOR WALLS WITH STC RATINGS FOR MORE INFORMATION

WINDOW REQUIREMENTS:

-PROTECTION IS TO BE PROVIDED AT WINDOWS LOCATED WITHIN ALL DWELLING UNIT/SUITS AS PER O.B.C. - 3.7.2.1.

-PROPOSED INTERIOR WIRED GLASS ASSEMBLIES ARE TO MEET THE REQUIREMENTS OF O.B.C. - 3.1.8.14. (APPLICABLE TO ONE-HOUR MAX. FIRE SEPARATIONS ONLY). (REFER ALSO TO S.G.-2.3.14)

-PROTECTION OF OPENINGS WITHIN FIRE SEPARATIONS WITH REQUIRED FIRE RATINGS EXCEEDING ONE-HOUR ARE TO BE PROTECTED BY CLOSURES (FIRE SHUTTERS) WITH FIRE RATINGS AS REQUIRED BY O.B.C. - 3.1.8.4.(2).

BARRIER-FREE REQUIREMENTS:

-BUILDING ENTRANCES (INCLUDING VESTIBULE DOORS) ARE TO PROVIDE FOR BARRIER-FREE ACCESS AS PER O.B.C. - 3.8.1.2 AND 3.8.3.3.(5) & (6) (POWER OPERATORS).

-BARRIER-FREE PATH OF TRAVEL MIN. WIDTHS HAVE BEEN PROVIDED AS PER O.B.C. 3.8.1.3. AT ALL LOCATIONS AS CONFIRMED BY O.B.C. - 3.8.2.1.(1) AND (2).

(NOTE)
-A BARRIER FREE PATH OF TRAVEL IS NOT REQUIRED WITHIN INDIVIDUAL DWELLING UNIT/SUITS OF RESIDENTIAL OCCUPANCY AS EXEMPTED BY O.B.C. - 3.8.2.1.(3) (J).

-15% OF RESIDENTIAL SUITES REQUIRED TO BE PROVIDED WITH A BARRIER FREE PATH OF TRAVEL INTO AT LEAST THE FOLLOWING SPACES

- AT LEAST ONE BEDROOM

- AT LEAST ONE BATHROOM

- THE KITCHEN

- A LIVING ROOM OR SPACE

- UNITS REQUIRED TO BE BARRIER FREE HAVE BEEN DISTRIBUTED BETWEEN STOREYS AS PER 3.8.2.1(B).

WASHROOM REQUIREMENTS:

- EACH DWELLING UNIT /SUITE HAS BEEN PROVIDED W/ PLUMBING FACILITIES AS PER O.B.C. - 3.7.4.5.

SPATIAL SEPARATION AND EXPOSURE PROTECTION:
(NOTES)

-ALL DWELLING UNITS/SUITS HAVE BEEN SEPARATED BY 1 HOUR FIRE COMPARTMENTS (MIN.) AS PER O.B.C. - 3.2.3.2.(2).

-AS PER O.B.C. - TABLE 3.2.3.1.D., UNPROTECTED OPENINGS ARE PERMITTED AS DESIGNED & OUTLINED IN MATRIX CALCULATIONS & NO SPECIAL CONSTRUCTION IS REQUIRED AS PER O.B.C. 3.2.3.7.

DESIGN OF DWELLING UNITS:

- RESIDENTIAL FLOORS DESIGNED TO MEET THE REQUIREMENTS OF SECTION 3.3.4.

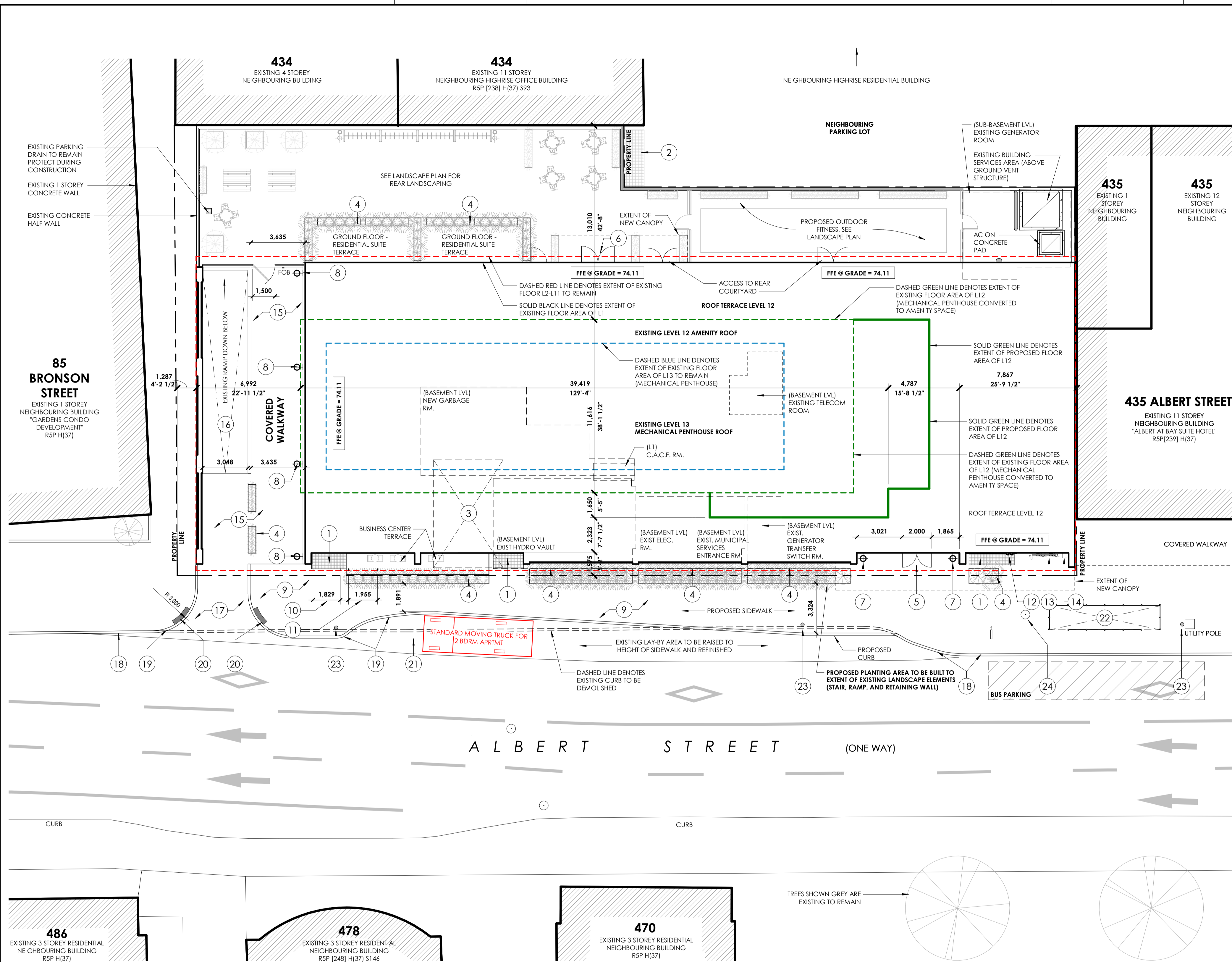
- DESIGN TO MEET THE REQUIREMENTS OF SECTION 9.5 AND THE WINDOW AREAS OF 3.7.2.1

----- END OF O.B.C. ANALYSIS. -----



FIRE COMPARTMENT	LIMITING DISTANCE (m)	AREA (sq. m)	UNPROTECTED OPENINGS PERMITTED	UNPROTECTED OPENINGS ACTUAL
A	8.59m (8)	88	100%	0%
B	1.24m (1.2)	63	14%	4%
C	1.24m (1.2)	63	14%	4%
D	1.24m (1.2)	63	14%	4%
E	1.24m (1.2)	63	14%	4%
F	1.24m (1.2)	63	14%	4%
G	1.24m (1.2)	63	14%	4%
H	1.24m (1.2)	63	14%	4%
I	1.24m (1.2)	63	14%	4%
J	1.24m (1.2)	63	14%	4%
K	1.24m (1.2)	63	14%	4%
L				
M				
N				

1 HOUR FRR REQUIRED ON WALLS WITH 0%-10% UNPROTECTED OPENINGS PERMITTED AS PER TABLE 3.2.3.7.
1 HOUR FRR REQUIRED



- GENERAL NOTES:**
- UNLESS OTHERWISE NOTED:
- SITE DEMOLITION PLAN AND SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE AND CIVIL PACKAGE DRAWINGS.
 - ALL CONSTRUCTED ELEMENTS ARE TO BE RETAINED.
 - PROTECTION MEASURES ARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING STRUCTURES OR LANDSCAPE FROM OCCURRING.
 - PROTECTION ZONE FOR TREES NOT BEING REMOVED SHALL BE RESPECTED (REFER TO LANDSCAPE PLAN).
 - PROPERTY LINE ALONG ALBERT STREET TO BE REVISED IN RESPONSE TO THE ROAD MODIFICATION APPROVAL ACCEPTED BY THE CITY OF OTTAWA. THIS MAY AFFECT, BUT IS NOT LIMITED TO, THE LOCATION OF THE RAMP, SIDEWALK, CYCLE TRACK, BUS STOP SHELTER, AND LANDSCAPING ELEMENTS.
 - ANY PARKING SIGNAGE MOVED OR REMOVED DURING CONSTRUCTION WILL BE REINSTATED.
 - ANY TURE DISTURBED DURING CONSTRUCTION WILL BE REINSTATED UPON COMPLETION.
 - MATERIAL EXCAVATED FROM THE SITE WILL BE REMOVED AS SOON AS POSSIBLE.
 - SIDEWALK/CURB TO BE REINSTATED WHERE PRIVATE DRIVEWAYS HAVE BEEN DEMOLISHED OR WHERE DAMAGED THROUGH CONSTRUCTION PROCESS.
 - DELIVERIES TO RESTAURANTS AND LEASABLE AREAS IS THROUGH THE BUILDING.
- SPECIFIC NOTES:**
- NEW PARKING VENTILATION GRADE TO BE REINSTATED.
 - EXISTING PARKING GARAGE EXHAUST TO REMAIN.
 - UNDERGROUND STORAGE TANK/CISTERN. REFER TO CIVIL DRAWINGS FOR SPEC.
 - METAL CLAD PLANTER
 - 473 ALBERT MAIN ENTRANCE (RELOCATED).
 - MOVE IN ENTRANCE.
 - PROPOSED ENTRANCE LIGHTING.
 - PROPOSED COVERED WALKWAY LIGHTING.
 - NEW CONCRETE SIDEWALK.
 - TYPICAL DIMENSION OF PROPOSED NEW WINDOWS - REPLACE EXISTING W/ BRONZE COLOURED FRAMED, DOUBLE-GLAZED WINDOWS. SEE ELEVATION
 - TYPICAL DIMENSION OF PROPOSED SINGLE JULIET BALCONIES, BRONZE COLOURED FRAMED JULIET BALCONY INSERTION. EXISTING CONC. PANEL REMOVED. SEE ELEVATION
 - RELOCATED SIAMSESE CONNECTIONS.
 - NEW GAS METER.
 - DIESEL STATION.
 - EXISTING ASPHALT DRIVEWAY TO BE MAINTAINED.
 - EXISTING PARKING RAMP TO BE MAINTAINED.
 - EXISTING ASPHALT DRIVEWAY EXTENDED TO STREET
 - EXISTING CURB & SIDEWALK.
 - NEW CONCRETE CURB.
 - TACTILE WALKING SURFACE INDICATOR AS PER CITY OF OTTAWA STANDARDS.
 - EXTENSION TO EXISTING LAY-BY FOR LOADING DROP OFFS.
 - EXISTING BUS SHELTER LOCATION.
 - EXISTING UTILITY POST TO REMAIN.
 - EXISTING MAN HOLE TO REMAIN.

RESIDENTIAL G.L.A. BREAKDOWN

LEVEL	AREA (m ²)	AREA (ft ²)
LEVEL 01	141.11	1,519
LEVEL 02	842.65	9,070
LEVEL 03	931.05	10,022
LEVEL 04	931.05	10,022
LEVEL 05	931.05	10,022
LEVEL 06	931.05	10,022
LEVEL 07	931.05	10,022
LEVEL 08	931.05	10,022
LEVEL 09	931.05	10,022
LEVEL 10	931.05	10,022
LEVEL 11	915.07	9,850
TOTAL	9,347.24	100,613

RESIDENTIAL LEASABLE AREA

DESCRIPTION	BDRM. COUNT	AREA (m ²)	AREA (ft ²)
LEVEL 01			
TOWN #1	2 BEDROOM	84.94	914
TOWN #2	1.5 BEDROOM	56.17	605
		141.11	1,519
LEVEL 02			
SUITE 202	1 BEDROOM	44.63	480
SUITE 203	1 BEDROOM	60.86	655
SUITE 204	1 BEDROOM	57.91	623
SUITE 205	2 BEDROOM	98.73	1,063
SUITE 206	2 BEDROOM	88.33	951
SUITE 207	1 BEDROOM	57.59	620
SUITE 208	1 BEDROOM	40.99	441
SUITE 209	STUDIO	30.45	328
SUITE 210	STUDIO	30.45	328
SUITE 211	1.5 BEDROOM	43.94	473
SUITE 212	1.5 BEDROOM	62.27	670
SUITE 213	2 BEDROOM	82.50	888
SUITE 214	2 BEDROOM	83.04	894
SUITE 215	1.5 BEDROOM	60.95	656
		842.65	9,070
LEVEL 03-10 [TYPICAL]			
SUITE x01	1 BEDROOM	43.73	471
SUITE x02	1 BEDROOM	45.42	489
SUITE x03	1 BEDROOM	61.55	662
SUITE x04	1 BEDROOM	58.59	631
SUITE x05	2 BEDROOM	99.40	1,070
SUITE x06	2 BEDROOM	88.33	951
SUITE x07	1 BEDROOM	57.59	620
SUITE x08	1 BEDROOM	40.99	441
SUITE x09	STUDIO	30.45	328
SUITE x10	STUDIO	30.45	328
SUITE x11	1.5 BEDROOM	43.94	473
SUITE x12	1.5 BEDROOM	62.27	670
SUITE x13	2 BEDROOM	82.50	888
SUITE x14	2 BEDROOM	83.71	901
SUITE x15	1.5 BEDROOM	58.25	627
SUITE x16	1 BEDROOM	43.89	472
		931.05	10,022
LEVEL 11			
SUITE 1101	2 BEDROOM	76.83	827
SUITE 1102	1 BEDROOM	45.42	489
SUITE 1103	1 BEDROOM	61.55	662
SUITE 1104	1 BEDROOM	58.59	631
SUITE 1105	2 BEDROOM	99.40	1,070
SUITE 1106	2 BEDROOM	88.33	951
SUITE 1107	1 BEDROOM	57.59	620
SUITE 1108	1 BEDROOM	40.98	441
SUITE 1109	2 BEDROOM	61.77	665
SUITE 1110	1.5 BEDROOM	43.94	473
SUITE 1111	1.5 BEDROOM	62.60	674
SUITE 1112	2 BEDROOM	81.57	878
SUITE 1113	2 BEDROOM	83.10	895
SUITE 1114	1 BEDROOM	53.39	575
		915.07	9,850
TOTAL		9,347.24	100,613

RESIDENTIAL SUITE COUNTS

SUITE TYPE	COUNT
1 BEDROOM	67
1.5 BEDROOM	30
2 BEDROOM	43
STUDIO	18
TOTAL	158

GFA AREA SCHEDULE

LEVEL	EXISTING AREA	PROPOSED AREA	DIFFERENCE
LEVEL 01 (RES./AMENITY)	708.78 m ²	152.31 m ²	- 556.47 m ² [NEW EXT. WALL LOCATION, REPROGRAM]
LEVEL 02 (RESIDENTIAL)	1,063.64 m ²	1,009.52 m ²	- 54.12 m ² [NEW FLOOR OPENING @ LOBBY, CORE MODIF.]
LEVEL 03 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 04 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 05 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 06 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 07 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 08 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 09 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 10 (RESIDENTIAL)	1,063.64 m ²	1,094.73 m ²	+ 31.09 m ² [CORE MODIF.]
LEVEL 11 (RESIDENTIAL)	1,057.27 m ²	1,079.50 m ²	+ 22.23 m ² [CORE MODIF.]
LEVEL 12 (AMENITIES)	-	-	-
LEVEL 13 (MECH.)	-	-	-
TOTAL	11,338.81 m ²	10,999.21 m ²	- 339.60 m ²

ZONING MATRIX

Item	Field	Data	Item	Field	Data
1	LEGAL DESCRIPTION	PLAN 3922 LOT 25 S PT LOT 23/PT LOT 24	9	LOADING ZONE	REQUIRED: RESIDENTIAL: 0 spaces (min) PROPOSED: 1 SHARED LOADING ZONE
2	CURRENT ZONING PERMITTED USES:	RSP[2469]H[37] APARTMENT DWELLINGS (HIGH RISE), RESTAURANT (CONDITIONAL), OFFICE (CURRENT EXCEPTION)	10	PARKING	REQUIRED: RESIDENTIAL: 0.5 / UNIT = 237 spots VISITOR: 0 FOR 1ST 12 UNITS, THEN 0.1 PER DWELLING UNIT = 14 SPOTS PROPOSED: RESIDENTIAL: 42 VISITOR: 10 TOTAL: 52
3	LOT AREA	1,979.01 m ² (EXISTING UNCHANGED)	11	BICYCLE PARKING	REQUIRED: RESIDENTIAL: 0.5 / UNIT = 79 SPACES TOTAL: 79 SPACES PROPOSED: BASEMENT 36 HORIZONTAL BASEMENT LEVEL 01 32 HORIZONTAL TOTAL: 86
4	LOT FRONTAGE	60.35 m (EXISTING UNCHANGED)	12	LANDSCAPED AREAS	REQUIRED: 593.7 m ² (30% OF LOT AREA) PROPOSED: GROUND LEVEL: 162 m ² L12 ROOF TERRACE: 585 m ² TOTAL: 747 m ²
5	BUILDING AREA	1,276.40 m ² (EXISTING UNCHANGED)	13	DRIVE AISLES	REQUIRED: DOUBLE TRAFFIC LANE: MIN: 6m; MAX: 3.6m FOR LESS THAN 20 PARKING SPACES, 6.7m FOR 20 OR MORE PARKING SPACES PROPOSED: SEE PLANS
6	BUILDING SETBACKS	FRONT YARD REQUIRED: 3m FRONT YARD (EXISTING): 0m REAR YARD (REQUIRED): 7.5m REAR YARD (EXISTING): 4.7m INTERIOR SIDE YARD (REQUIRED): 1.5m FOR FIRST 21m, THEN 6m INTERIOR SIDE YARD (EXISTING): 0m (EAST) 1.5m (WEST)			
7	AMENITY SPACE	REQUIRED: 6m ² x 158 DWELLING UNITS = 948m ² PROPOSED COMMUNAL AMENITY: GROUND LEVEL, EXTERIOR: 162.81 m ² GROUND LEVEL, INTERIOR: 382.53 m ² L12, INTERIOR: 187.15 m ² L12, EXTERIOR: 585.39 m ² TOTAL: 1,317.88 m ²			
8	BUILDING HEIGHT	HEIGHTS UNCHANGED; PROPOSED CHANGE TO USE AS FOLLOWS: 34.2M TO TOP OF MAIN ROOF (UNCHANGED) 37.6M TO TOP OF AMENITY PENTHOUSE (L12) (CURRENTLY MECH PENTHOUSE) 41.99M TO TOP OF MECHANICAL/ELEVATOR PENTHOUSE (UNCHANGED)			

1 PROPOSED SITE PLAN
A0-801 | 1:150
A0-200

nord du projet / nord actuel / true north

ISSUED FOR SITE PLAN CONTROL MAR 05, 2021

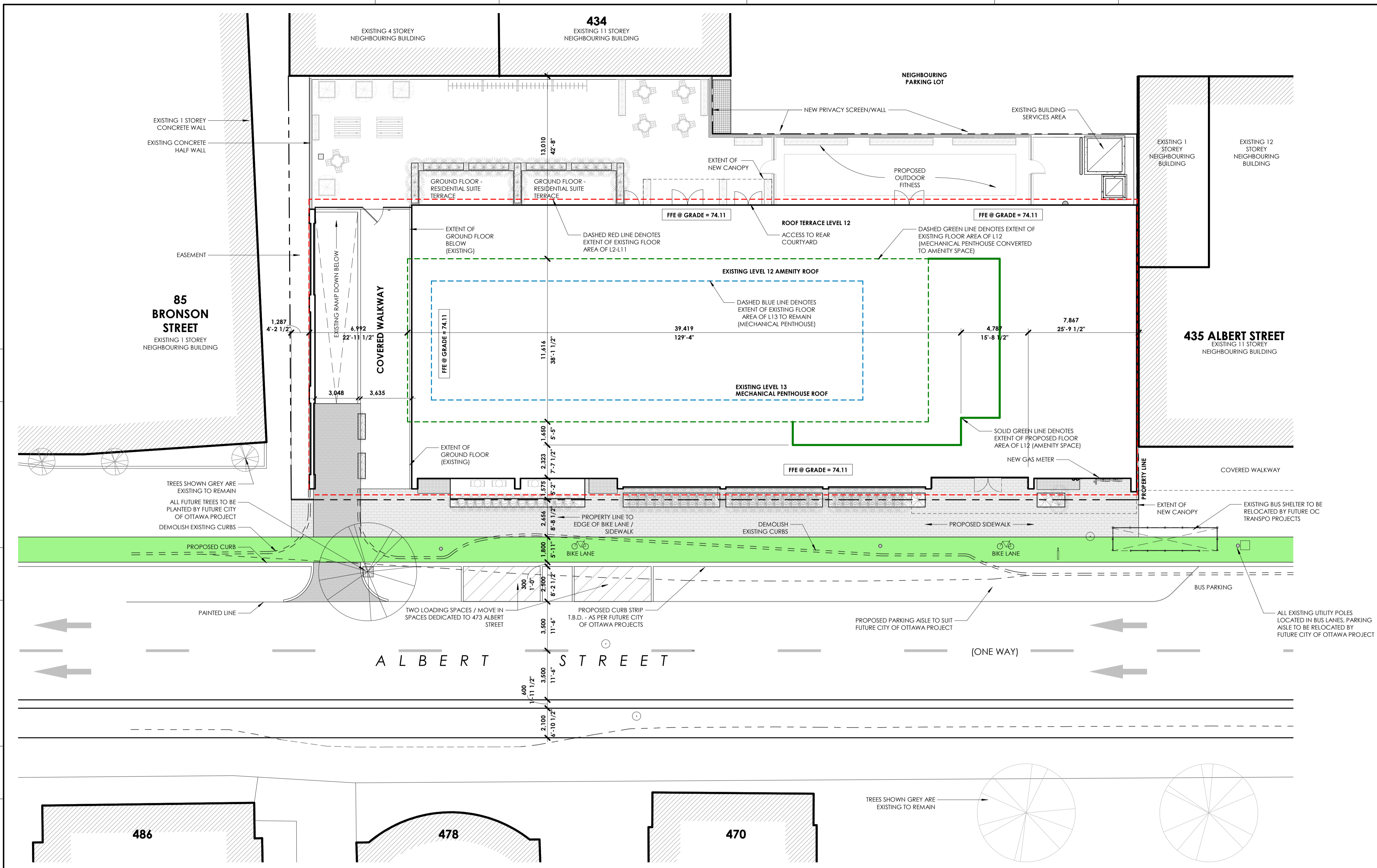
no revisions / date

stamp | timbre

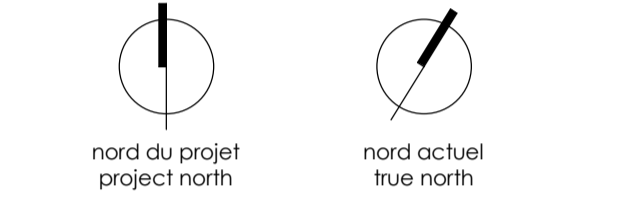
ONTARIO ASSOCIATION OF ARCHITECTS
ANDREW REEVES LICENCE 6464

architect | architecte

D07-12-19-0203



1 ILLUSTRATIVE SITE PLAN - FUTURE ALBERT STREET RENEWAL PLAN
 A0-802 1:150
 A0-200



ISSUED FOR SITE PLAN CONTROL MAR 05, 2021
 no revisions date
 stamp | firme



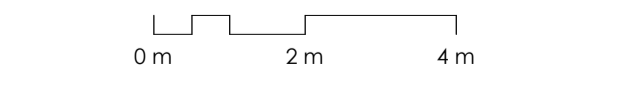
- general notes | note générale
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 - DO NOT SCALE THE DRAWINGS.
 - NOT FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

project title
473 ALBERT
 PROPOSED MIXED-USE RENOVATION

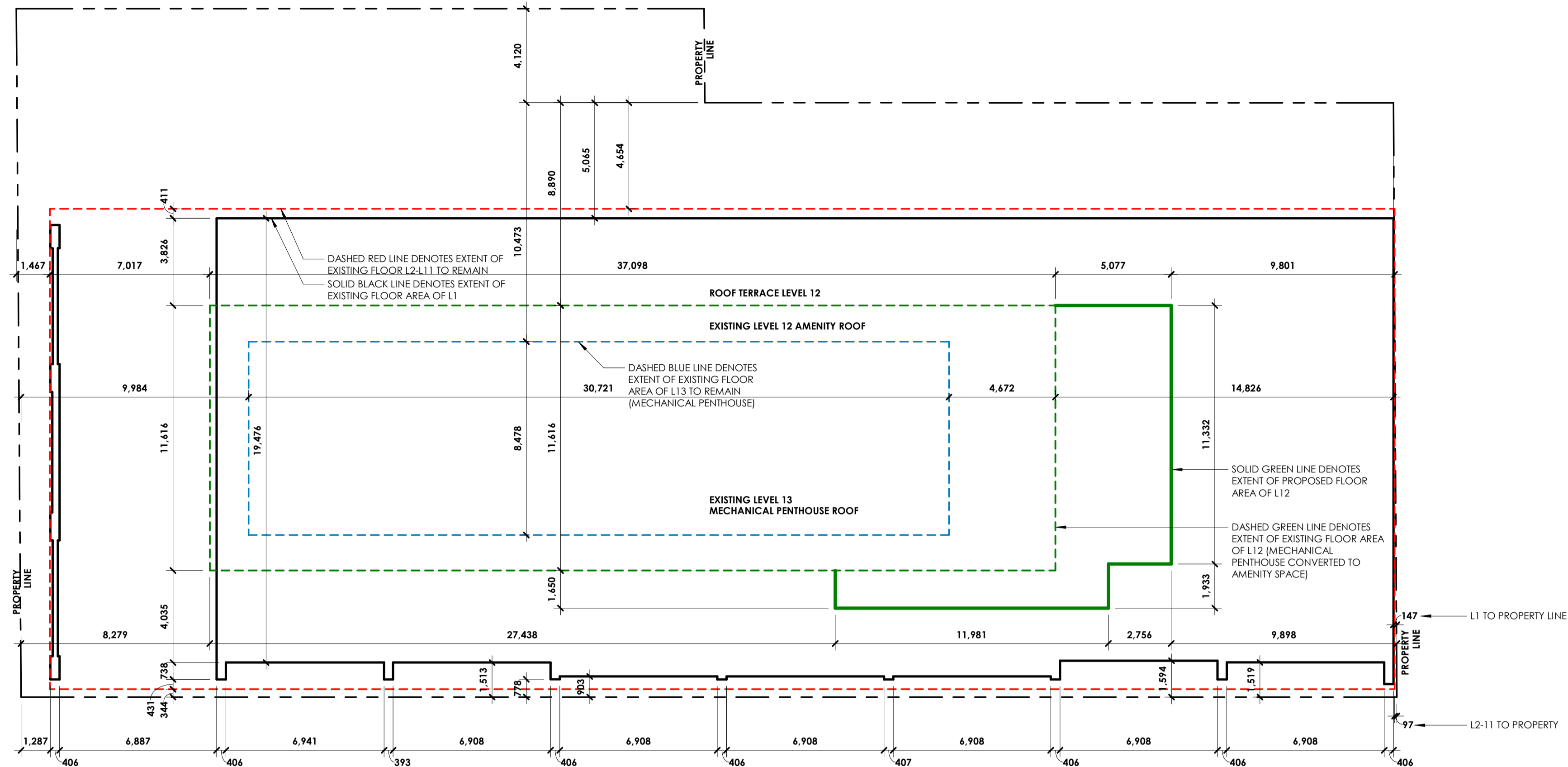
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
 drawing title | titre du dessin

ILLUSTRATIVE SITE PLAN - FUTURE ALBERT STREET RENEWAL PLAN

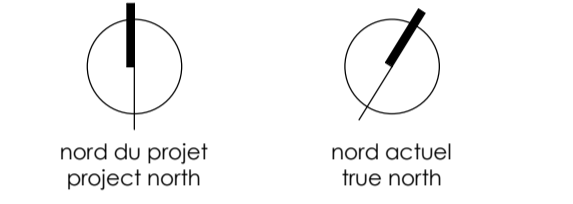
project number | numéro du projet **159**
 drawn | dessiné **CK / LI / MP / JH**
 checked | vérifié **JM / AR**
 date | date **03/23/20**
 scale | échelle **1 : 150**



drawing number | numéro du dessin
A0-802



1 BUILDING SETBACK DRAWINGS
 A0-803 1:150
 A0-200



ISSUED FOR SITE PLAN CONTROL MAR 05, 2021
 no revisions date
 stamp | timbre



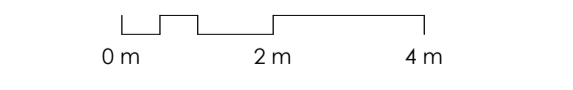
architect | architecte
linebox
 STUDIO

- general notes | note générale
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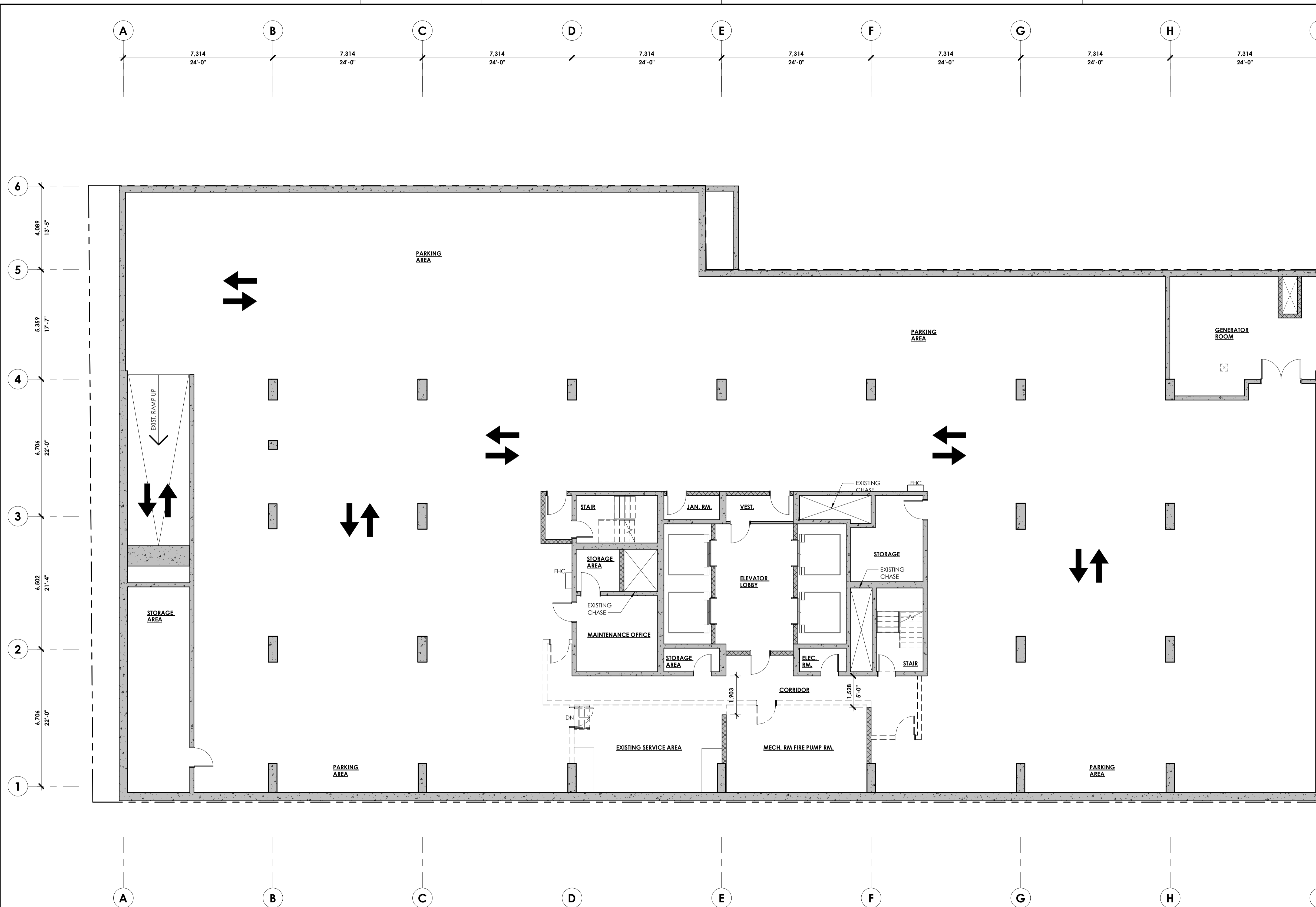
project title
473 ALBERT
 PROPOSED MIXED-USE RENOVATION
 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
 drawing title | titre du dessin

INDEX TO BUILDING SETBACKS

project number | numéro du projet **159**
 drawn | dessiné **CK / LI / MP / JH**
 checked | vérifié **JM / AR**
 date | date **03/23/20**
 scale | échelle **1 : 150**



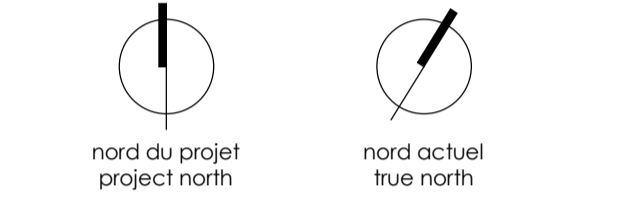
drawing number | numéro du dessin
A0-803



1 SUB-BASEMENT DEMOLITION PLAN
 A1-099 1:100 AS-100

- NOTES:**
- EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
 - EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
 - EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.
 - REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

- LEGEND:**
- EXISTING ELEMENTS TO REMAIN
 - DEMOLISHED ELEMENTS



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 no revisions date
 stamp | fibre



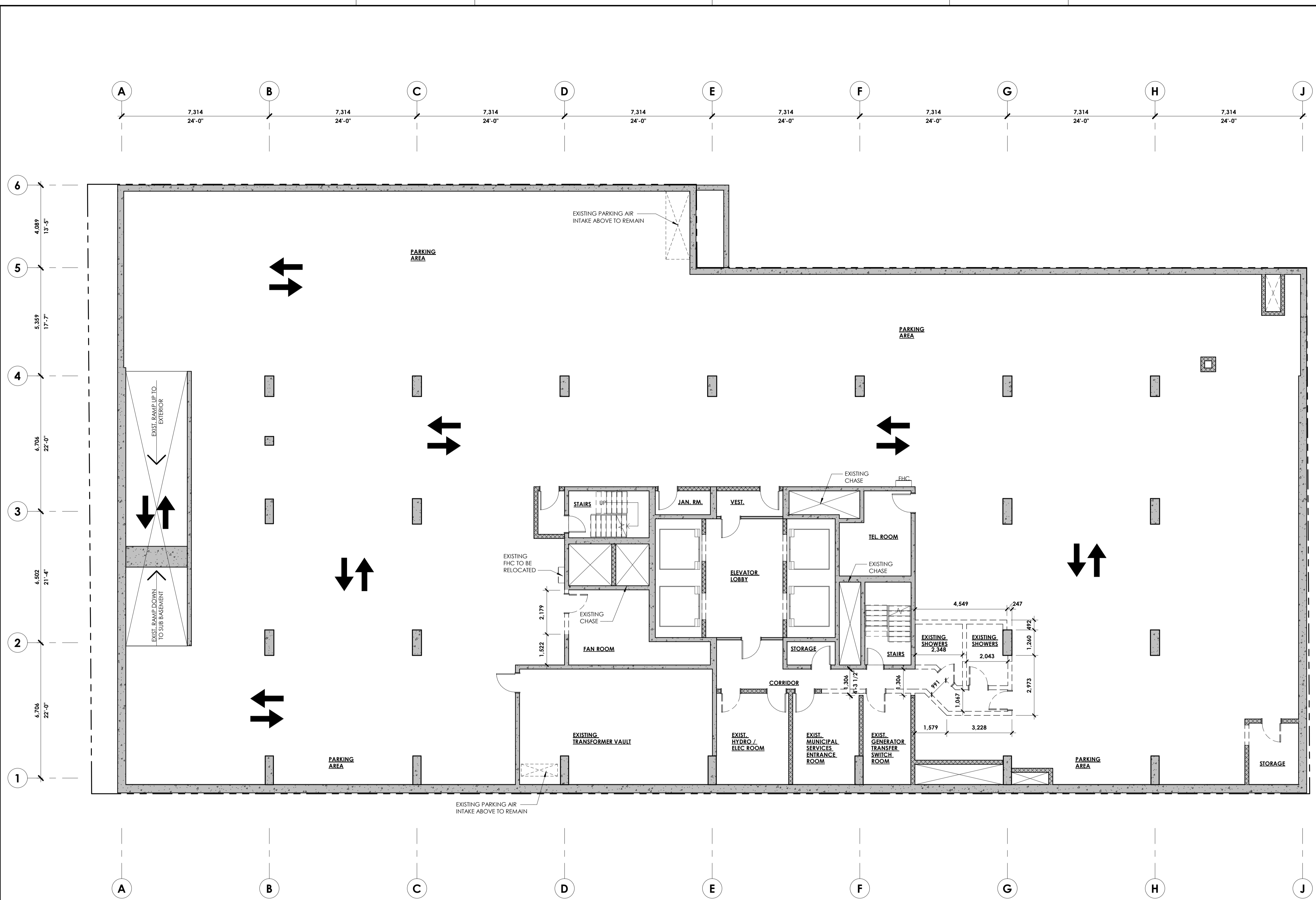
- general notes | note générale
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project title
473 ALBERT
 PROPOSED MIXED-USE RENOVATION
 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
 drawing title | titre du dessin

SUB BASEMENT DEMOLITION PLAN

project number | numéro du projet **159**
 drawn | dessiné **CK / LI / MP / JH**
 checked | vérifié **JM / AR**
 date | date **03/23/20**
 scale | échelle **As indicated**

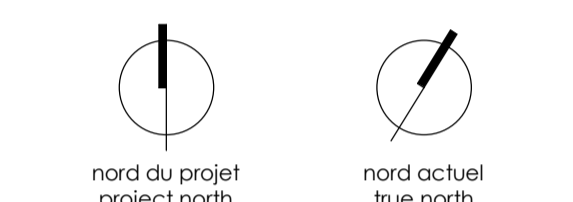
drawing number | numéro du dessin
A1-099



1 BASEMENT DEMOLITION PLAN
A1-100 1:100 AS-100

NOTES:
1. EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
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3. EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.
4. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION

LEGEND:
[Solid Grey Box] EXISTING ELEMENTS TO REMAIN
[Dashed Line Box] DEMOLISHED ELEMENTS



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no revisions date

stamp | firme



architect | architecte
linebox
STUDIO

general notes | note générale
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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 01 DEMOLITION PLAN

project number | numéro du projet 159

drawn | dessiné CK / LI / MP / JH

checked | vérifié JM / AR

date | date 03/23/20

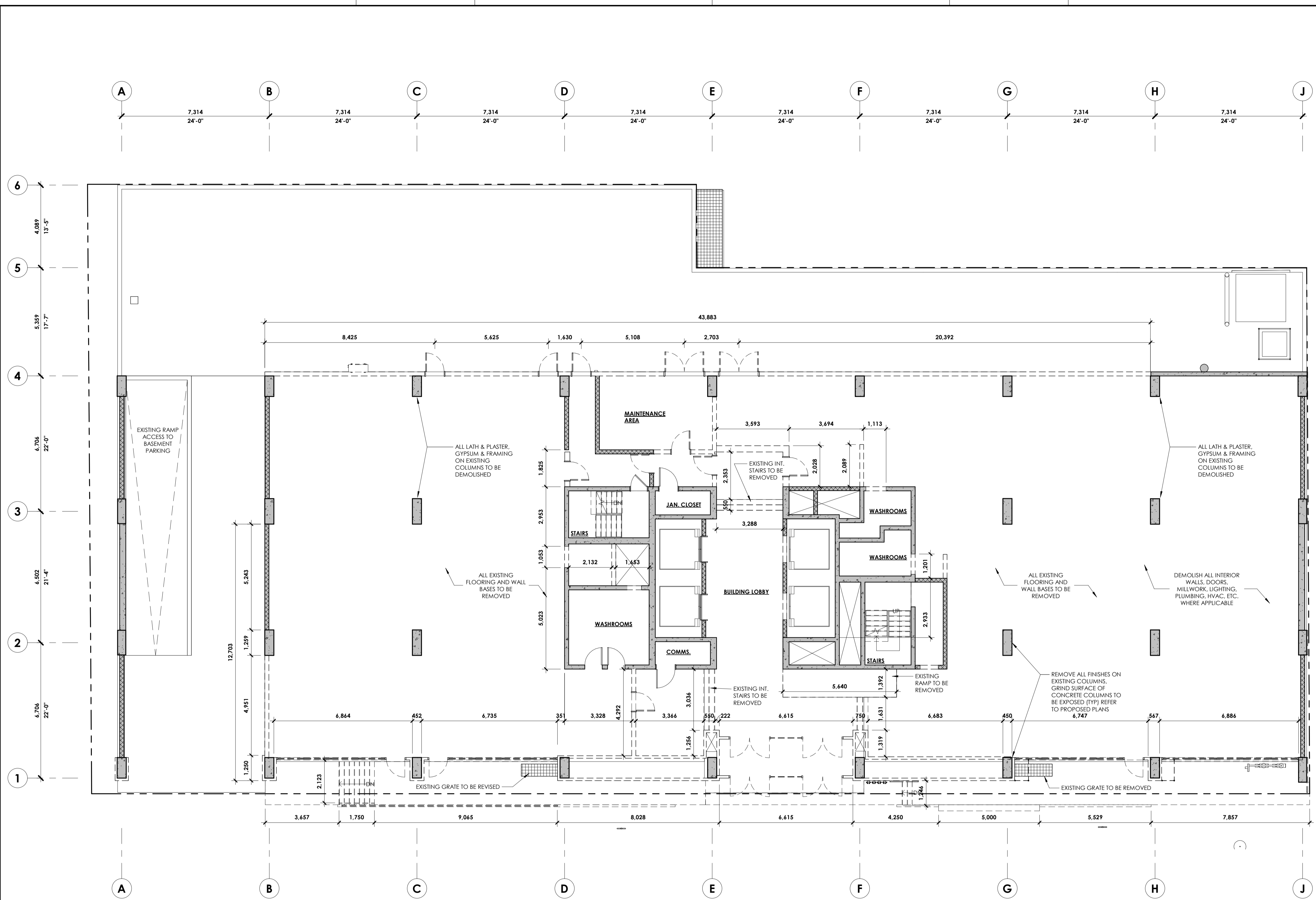
scale | échelle As indicated

drawing number | numéro du dessin

A1-101

#18100

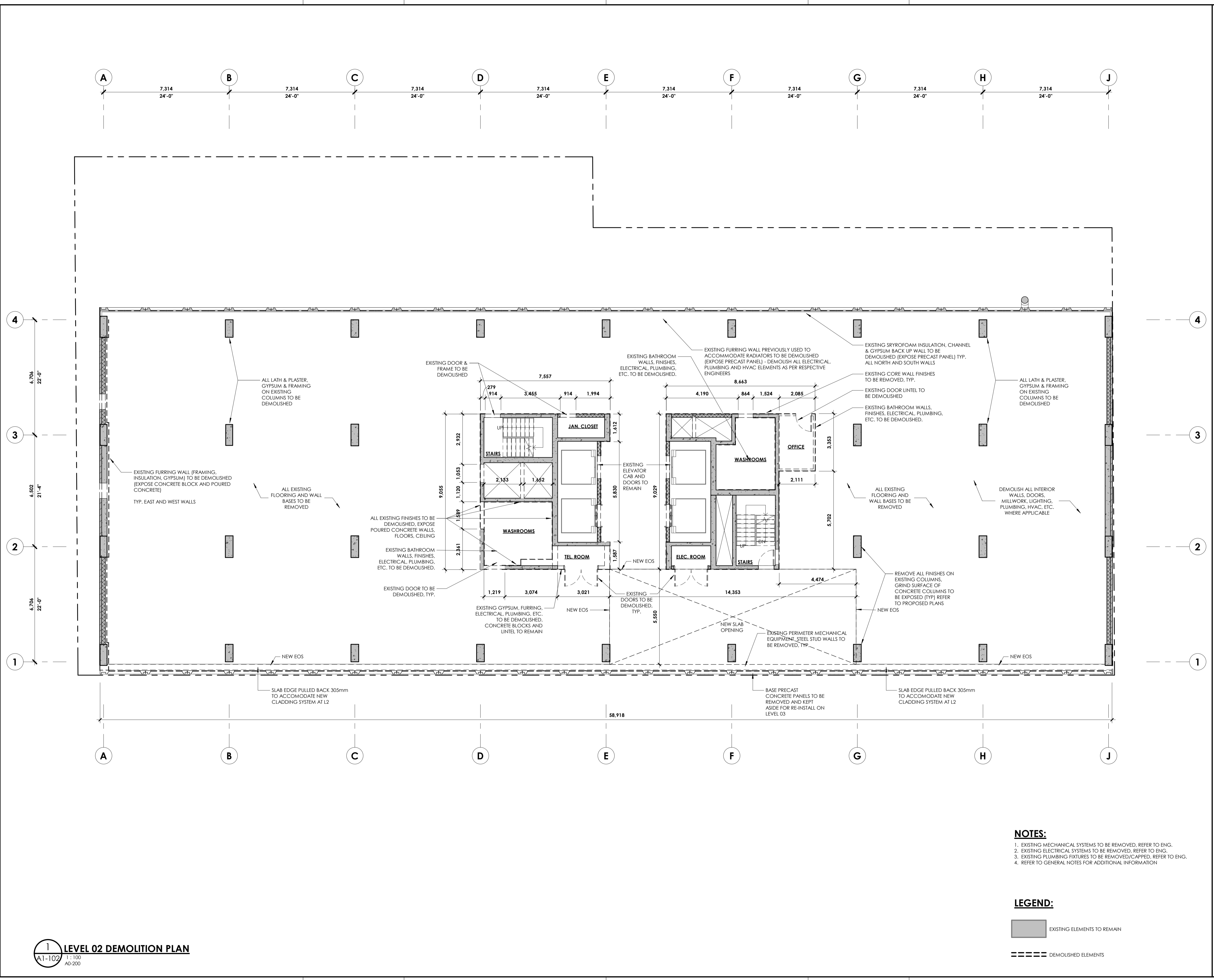
D07-12-19-0203



- NOTES:**
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 - EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
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- LEGEND:**
- EXISTING ELEMENTS TO REMAIN
 - DEMOLISHED ELEMENTS

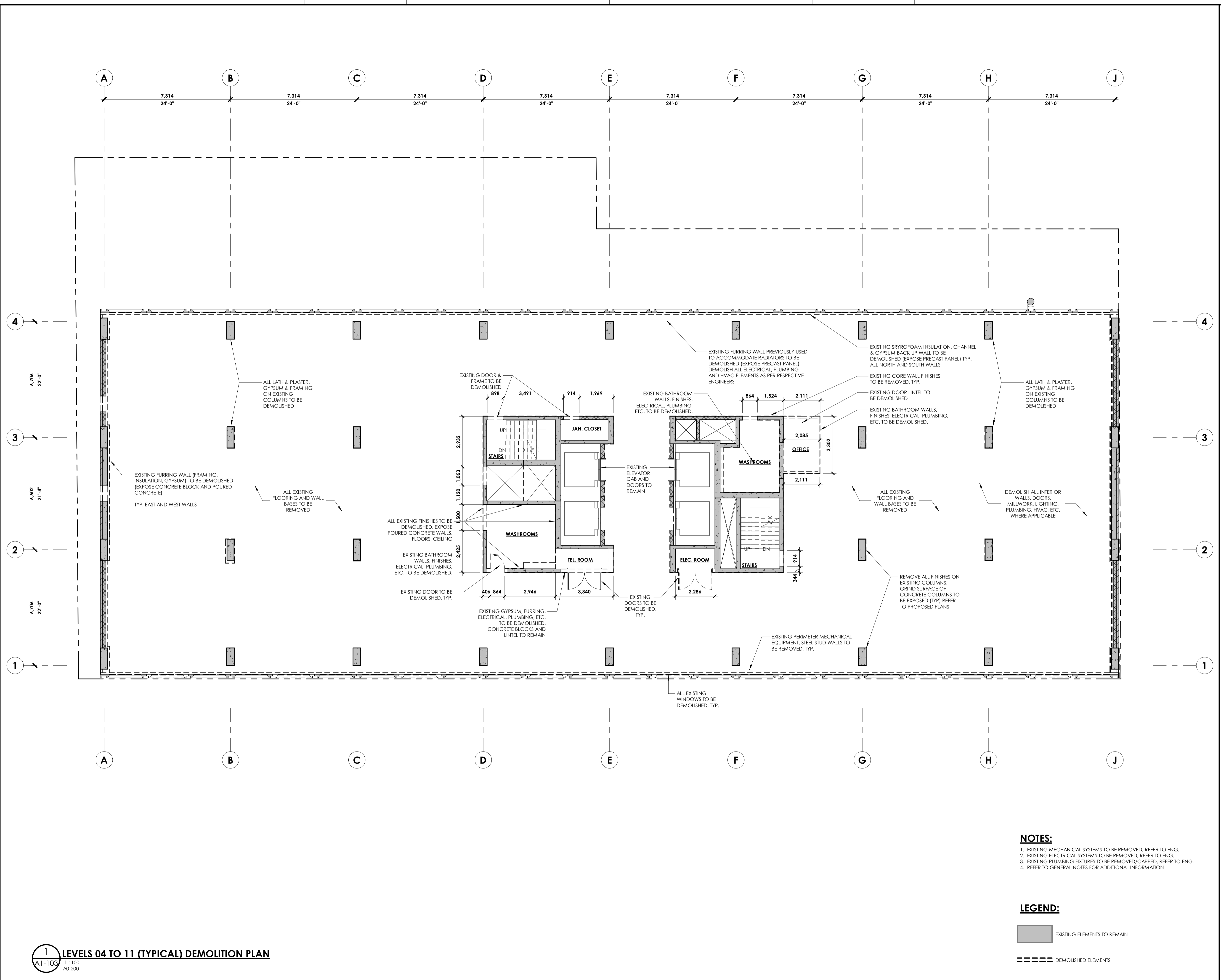
1 LEVEL 01 DEMOLITION PLAN
A1-101 1:100 AO-200



1 LEVEL 02 DEMOLITION PLAN
A1-102 1:100 AO-200

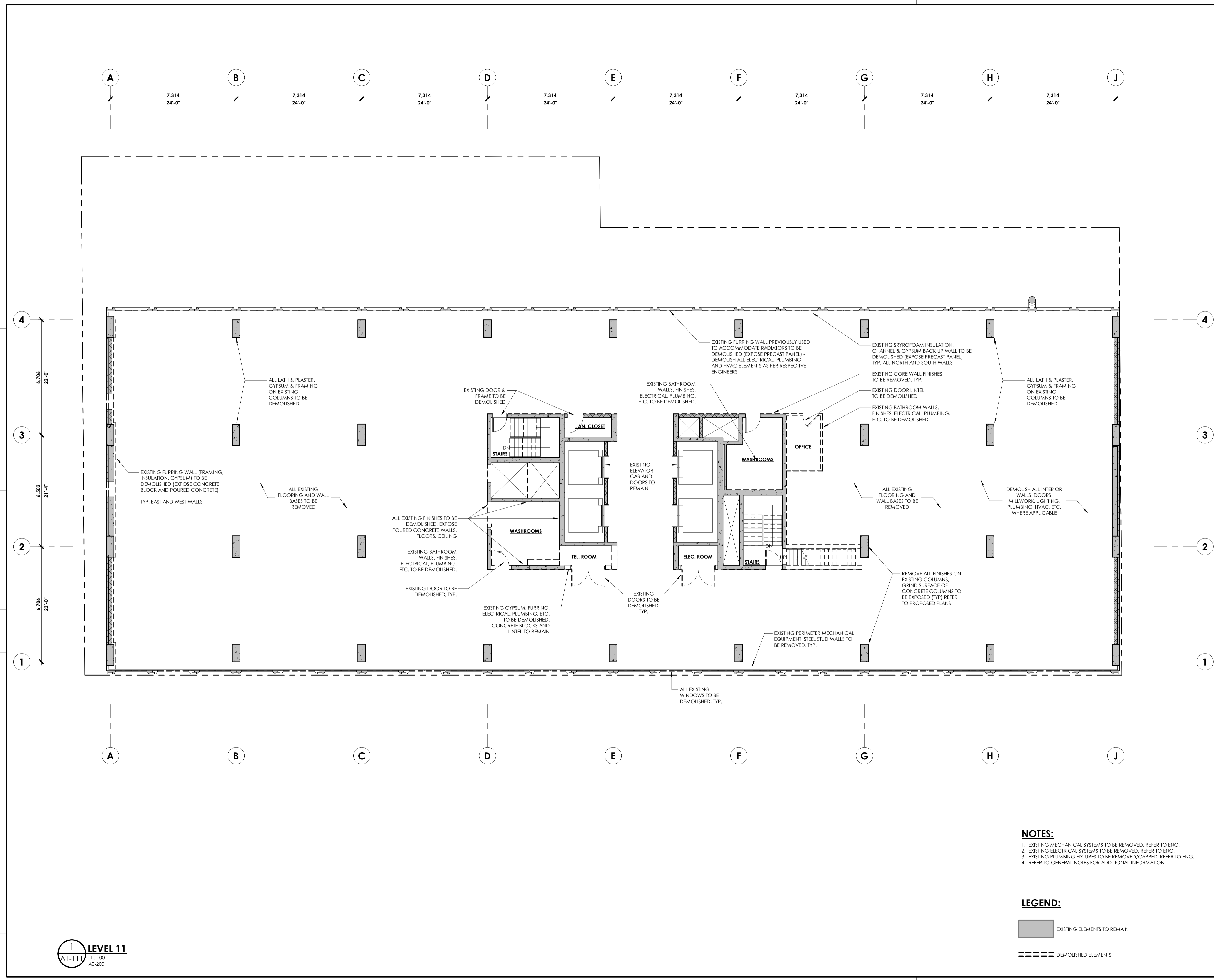
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- LEGEND:**
- EXISTING ELEMENTS TO REMAIN
 - DEMOLISHED ELEMENTS



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LEGEND:
 [Solid Grey Box] EXISTING ELEMENTS TO REMAIN
 [Dashed Line Box] DEMOLISHED ELEMENTS



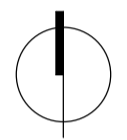
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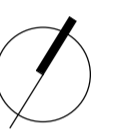
LEGEND:

EXISTING ELEMENTS TO REMAIN

DEMOLISHED ELEMENTS



nord du projet
project north



nord actuel
true north

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architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT

PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 12 DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / LI / MP / JH**

checked | vérifié **JM / AR**

date | date **03/23/20**

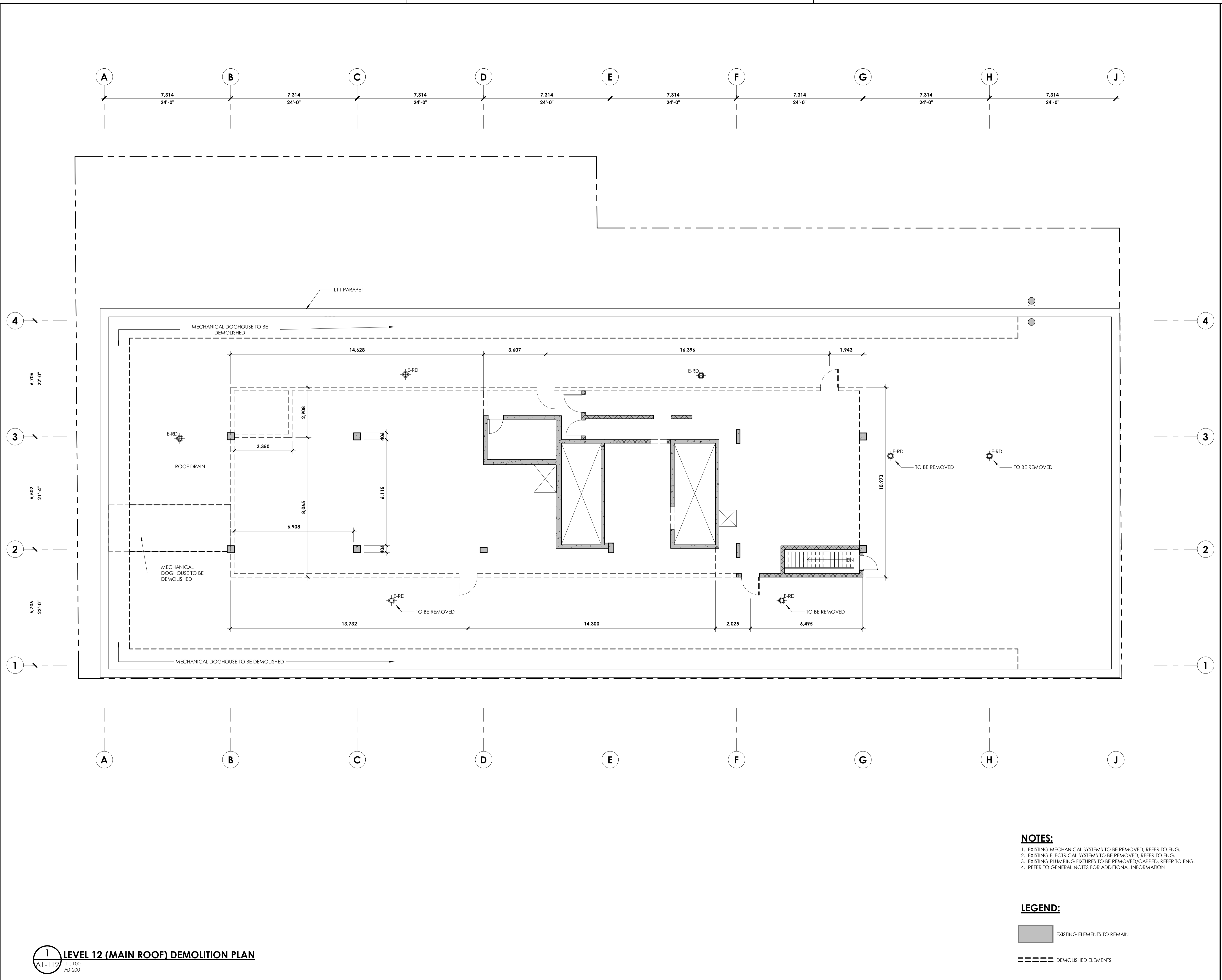
scale | échelle **As indicated**

drawing number | numéro du dessin

A1-112

#18100

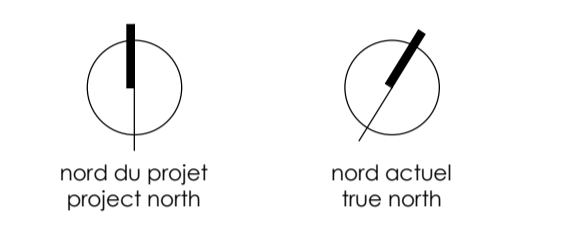
D07-12-19-0203



1 LEVEL 12 (MAIN ROOF) DEMOLITION PLAN
A1-112 1:100 AD-200

- NOTES:**
- EXISTING MECHANICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
 - EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
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- LEGEND:**
- EXISTING ELEMENTS TO REMAIN
 - DEMOLISHED ELEMENTS



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no revisions date

stamp | timbre



architect | architecte



general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 13 DEMOLITION PLAN

project number | numéro du projet **159**

drawn | dessiné **CK / LI / MP / JH**

checked | vérifié **JM / AR**

date | date **03/23/20**

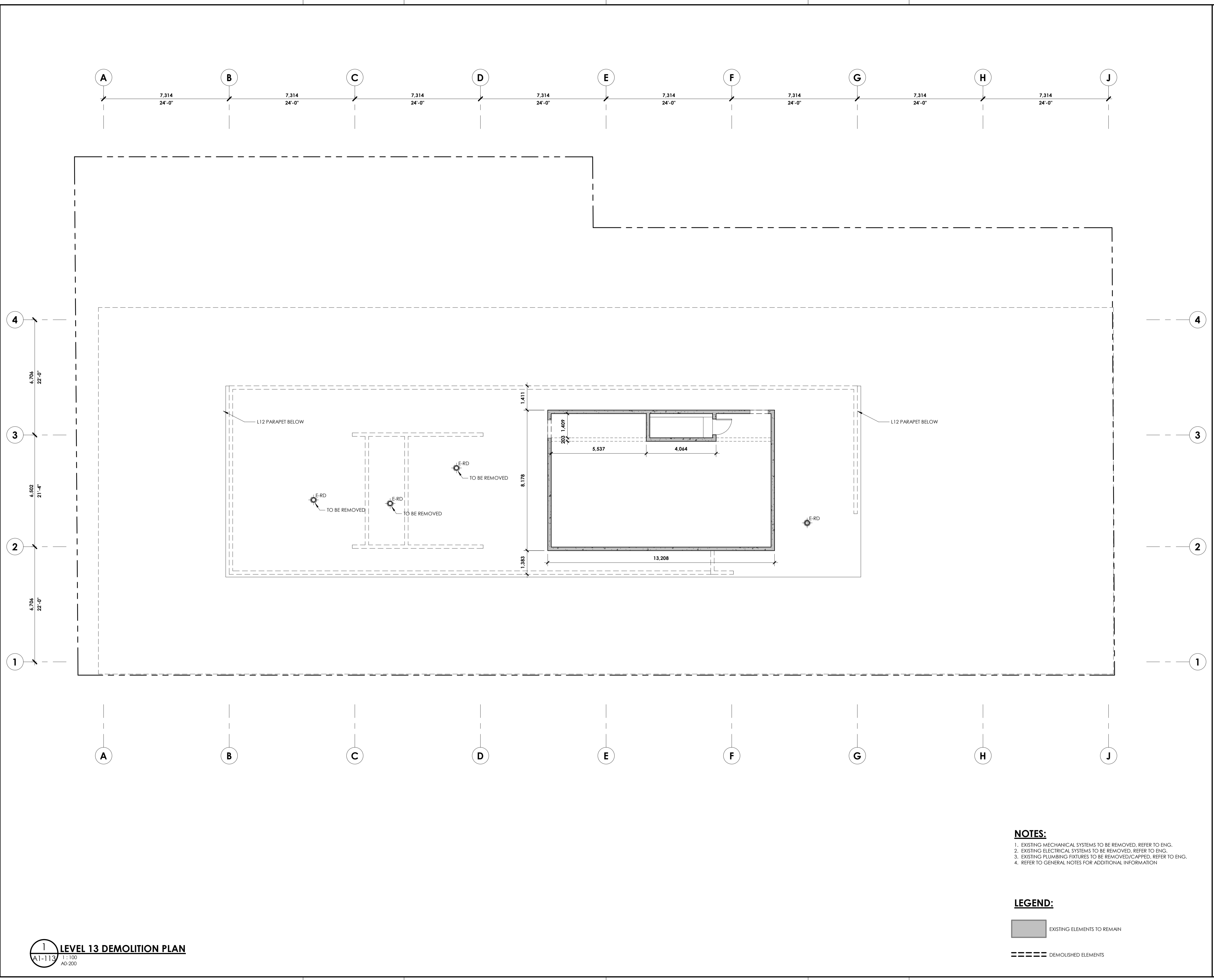
scale | échelle **As indicated**

drawing number | numéro du dessin

A1-113

#18100

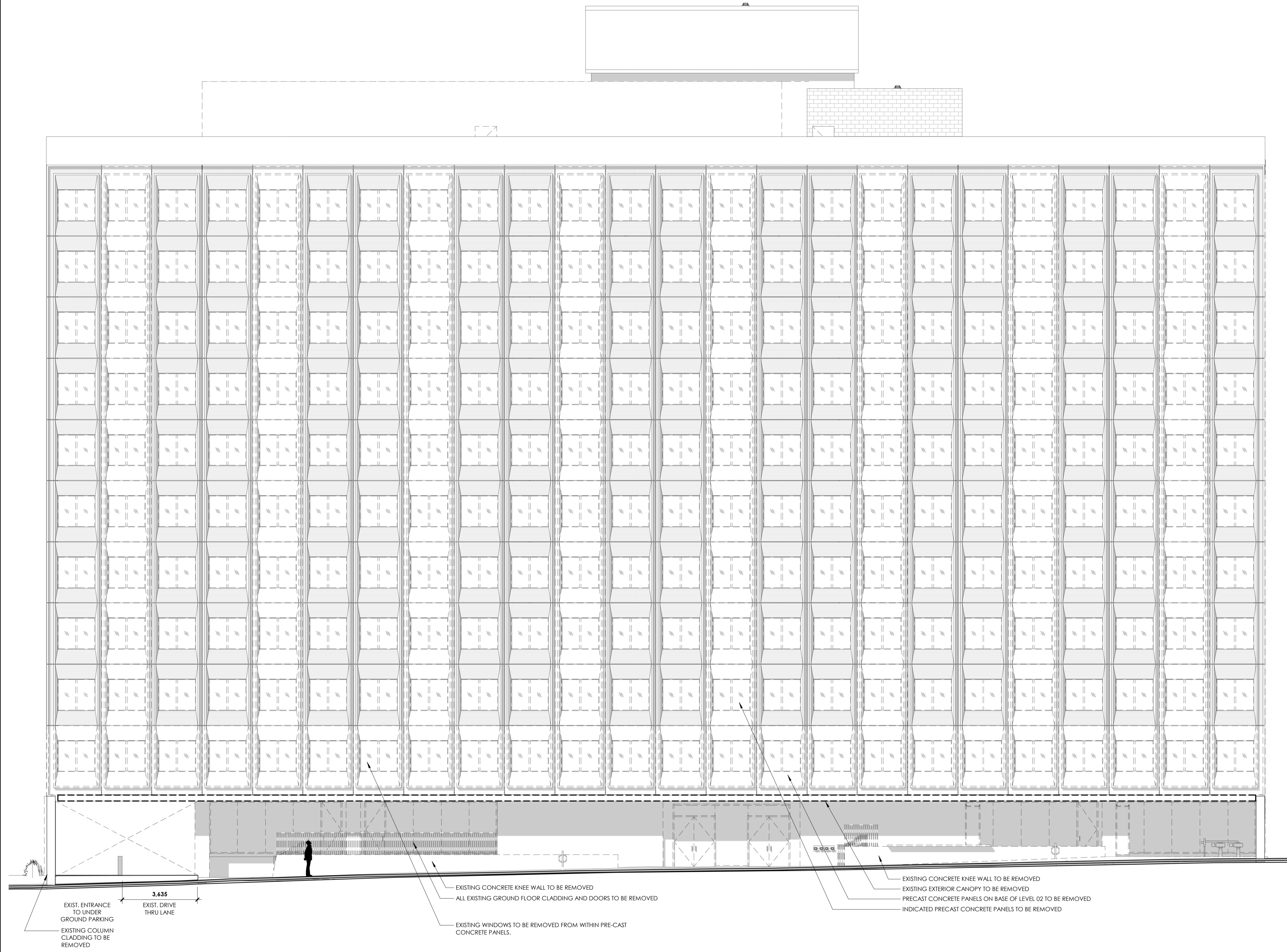
D07-12-19-0203



- NOTES:**
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 - EXISTING ELECTRICAL SYSTEMS TO BE REMOVED, REFER TO ENG.
 - EXISTING PLUMBING FIXTURES TO BE REMOVED/CAPPED, REFER TO ENG.
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- LEGEND:**
- EXISTING ELEMENTS TO REMAIN
 - DEMOLISHED ELEMENTS

A 7.314 B 7.314 C 7.314 D 7.314 E 7.314 F 7.314 G 7.314 H 7.314 J



MECH. ROOF	115.259 m
EXISTING MECH TO REMAIN	10'-1"
LEVEL 13 (MECH)	112.186 m
PENTHOUSE ROOF	111.272 m
EXISTING MECH PROPOSED: AVENUE	15'-10 1/2"
LEVEL 12 (FFL)	107.798 m
LEVEL 12 (SSL)	107.348 m
EXISTING OFFICE PROPOSED: RES	10'-8 1/2"
LEVEL 11	104.084 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 10	101.125 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 09	98.166 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 08	95.207 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 07	92.248 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 06	89.289 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 05	86.330 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 04	83.371 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 03	80.412 m
EXISTING OFFICE TO REMAIN	9'-8 1/2"
LEVEL 02	77.453 m
EXISTING OFFICE & RESTAURANT TO REMAIN	10'-11 1/2"
LEVEL 01	74.110 m
AVERAGE GRADE	73.630 m

EXIST. ENTRANCE TO UNDER GROUND PARKING
EXIST. DRIVE THRU LANE
EXISTING COLUMN CLADDING TO BE REMOVED
EXISTING CONCRETE KNEE WALL TO BE REMOVED
ALL EXISTING GROUND FLOOR CLADDING AND DOORS TO BE REMOVED
EXISTING WINDOWS TO BE REMOVED FROM WITHIN PRE-CAST CONCRETE PANELS.

EXISTING CONCRETE KNEE WALL TO BE REMOVED
EXISTING EXTERIOR CANOPY TO BE REMOVED
PRECAST CONCRETE PANELS ON BASE OF LEVEL 02 TO BE REMOVED
INDICATED PRECAST CONCRETE PANELS TO BE REMOVED

ISSUED FOR SITE PLAN CONTROL MAR 05, 2021
no revisions date

stamp | timbre

ONTARIO ASSOCIATION OF ARCHITECTS
ANDREW REEVES
LICENCE
6464

architect | architecte

linebox STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

SOUTH (ALBERT STREET) DEMOLITION ELEVATION

project number | numero du projet 159
drawn | dessiné CK / LI / MP / JH
checked | vérifié JM / JR
date | date 03/23/20
scale | échelle 1 : 100

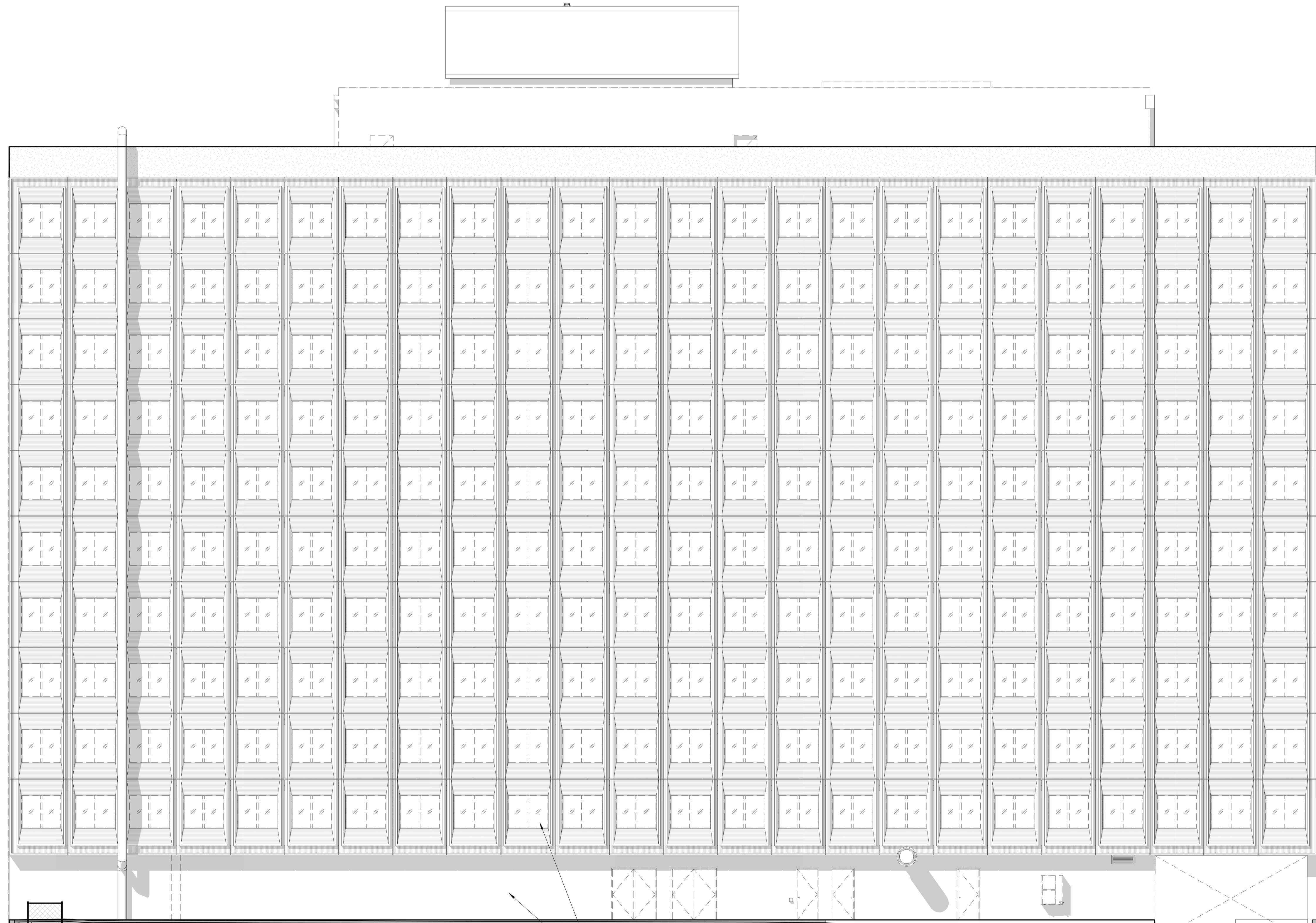
0 m 2 m 4 m

drawing number | numéro du dessin

A1-300

D07-12-19-0203

J 7.314 H 7.314 G 7.314 F 7.314 E 7.314 D 7.314 C 7.314 B 7.314 A



MECH. ROOF	115.259 m
EXISTING MECH TO REMAIN	10'-1"
LEVEL 13 (MECH)	112.186 m
PENTHOUSE ROOF	111.272 m
EXISTING MECH PROPOSED: RES	15'-10 1/2"
LEVEL 12 (FFL)	107.798 m
LEVEL 12 (SSL)	107.348 m
EXISTING OFFICE PROPOSED: RES	10'-8 1/2"
LEVEL 11	104.084 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
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LEVEL 07	92.248 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 06	89.289 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 05	86.330 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 04	83.371 m
EXISTING OFFICE PROPOSED: RES	9'-8 1/2"
LEVEL 03	80.412 m
EXISTING OFFICE TO REMAIN	9'-8 1/2"
LEVEL 02	77.453 m
EXISTING OFFICE & RESTAURANT TO REMAIN	10'-11 1/2"
LEVEL 01	74.110 m
AVERAGE GRADE	73.630 m

ALL EXISTING WINDOWS IN PRECAST CONCRETE PANELS TO BE REMOVED
 ALL EXISTING GROUND FLOOR CLADDING AND DOORS TO BE REMOVED

EXIST. DRIVE THRU LANE

INTERRENT REIT
 485 BANK ST #207, OTTAWA, ON K2P 1Z2
 owner | propriétaire

CLELAND JARDINE ENGINEERING LTD
 structural engineers | ingénieur structure

Smith + Andersen
 530 - 1600 Carling Avenue Ottawa Ontario K1Z 1G3
 1 613 230 1186 smithandandersen.com
 MEP engineers | ingénieur MEP

PARSONS
 1223 MICHAEL STREET, SUITE 100, OTTAWA, ONTARIO K1J 7T2
 Tel: 613-738-4160 Fax: 613-738-7105
 civil engineers | ingénieur civil

Forest and Field Landscape Architecture
 5 - 864 College Street Toronto Ontario M6H 1A3
 1 647 933 1151 forestandfield.ca
 landscape architects | architectes paysagistes

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stamp | timbre

ONTARIO ASSOCIATION OF ARCHITECTS
 ANDREW REEVES
 LICENCE
 6464

architect | architecte

linebox STUDIO

general notes | note générale

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project title

473 ALBERT
 PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

NORTH DEMOLITION ELEVATION

project number | numéro du projet 159
 drawn | dessiné CK / LI / MP / JH
 checked | vérifié JM / AR
 date | date 03/23/20
 scale | échelle 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin

A1-301

D07-12-19-0203

#18100



BICYCLE PARKING SCHEDULE	
TYPE	COUNT
BASEMENT	
HORIZONTAL	36
VERTICAL	18
LEVEL 01 (EXTERIOR)	32
GRAND TOTAL	86

BELOW GRADE PARKING SPACE SCHEDULE	
TYPE	COUNT
SUB-BASEMENT	
BARRIER FREE	1
COMPACT	7
STANDARD SIZE	20
GRAND TOTAL	28 (30 EXIST.)
BASEMENT	
BARRIER FREE	1
COMPACT	9
STANDARD SIZE	14
GRAND TOTAL	52 (22 EXIST.)

LEGEND	
	NEW CONCRETE STRUCTURE LOCATION (IBC BY STRUCTURAL ENG.)
	EXISTING WALLS AND COLUMNS TO REMAIN
	NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL

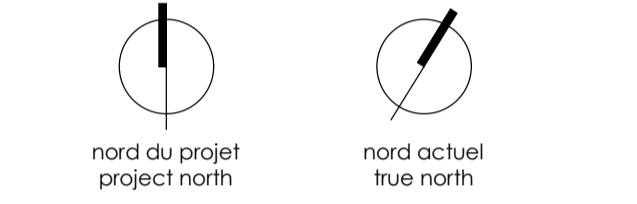
INTERRENT REIT
 485 BANK ST #207, OTTAWA, ON K2P 1Z2
 owner | propriétaire

CLELAND JARDINE ENGINEERING LTD
 structural engineers | ingénieur structure

Smith + Andersen
 530 - 1600 Carling Avenue Ottawa Ontario K1Z 1G3
 1 613 230 1186 smithandandersen.com
 MEP engineers | ingénieur MEP

PARSONS
 1223 MICHAEL STREET, SUITE 100, OTTAWA, ONTARIO K1J 7T2
 Tel: 613-738-4160 Fax: 613-738-7105
 civil engineers | ingénieur civil

Forest and Field Landscape Architecture
 5 - 864 College Street Toronto Ontario M6H 1A3
 1 647 933 1151 forestandfield.ca
 landscape architects | architectes paysagistes



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 no revisions date
 stamp | timbre

ONTARIO ASSOCIATION OF ARCHITECTS
 ANDREW REEVES
 LICENCE 6464

architect | architecte
linebox
 STUDIO

general notes | note générale
 1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
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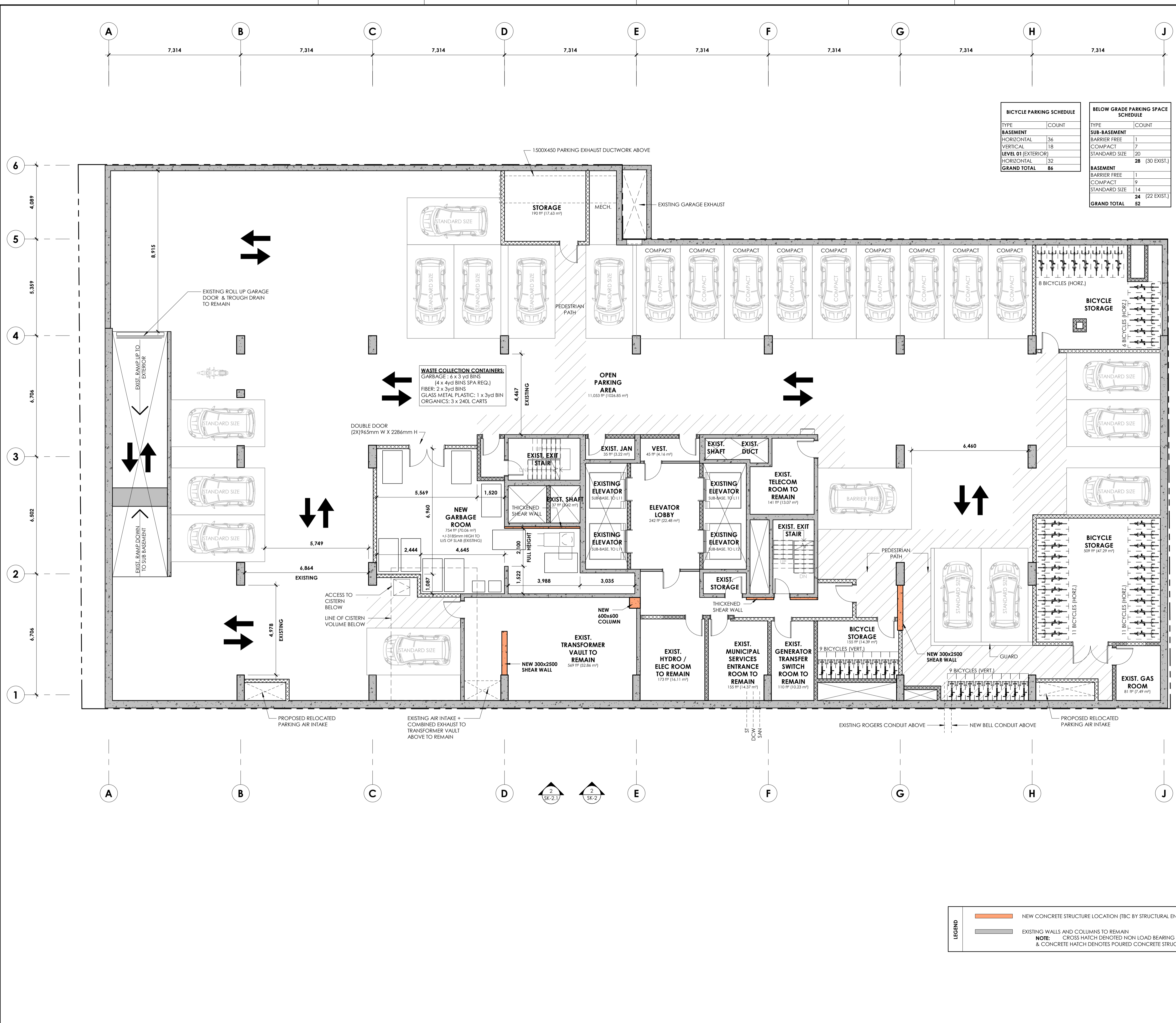
project title
473 ALBERT
 PROPOSED MIXED-USE RENOVATION
 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
 drawing title | titre du dessin

SUB BASEMENT FLOOR PLAN

project number | numéro du projet 159
 drawn | dessiné CK / LI / MP / JH
 checked | vérifié JM / AR
 date | date 03/23/20
 scale | échelle 1 : 100



drawing number | numéro du dessin
A2-099



BICYCLE PARKING SCHEDULE		BELOW GRADE PARKING SPACE SCHEDULE	
TYPE	COUNT	TYPE	COUNT
BASEMENT		SUB-BASEMENT	
HORIZONTAL	36	BARRIER FREE	1
VERTICAL	18	COMPACT	7
LEVEL 01 (EXTERIOR)		STANDARD SIZE	20
HORIZONTAL	32		28 (30 EXIST.)
GRAND TOTAL	86	BASEMENT	
		BARRIER FREE	1
		COMPACT	9
		STANDARD SIZE	14
		GRAND TOTAL	24 (22 EXIST.)

LEGEND	
	NEW CONCRETE STRUCTURE LOCATION (IBC BY STRUCTURAL ENG.)
	EXISTING WALLS AND COLUMNS TO REMAIN
	NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL

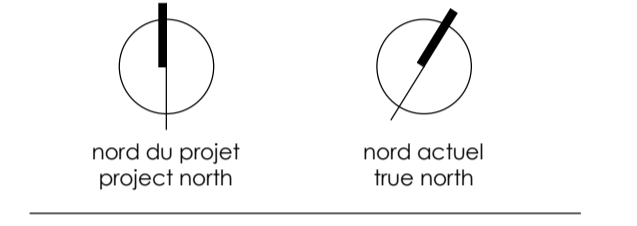
INTERRENT REIT
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 473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
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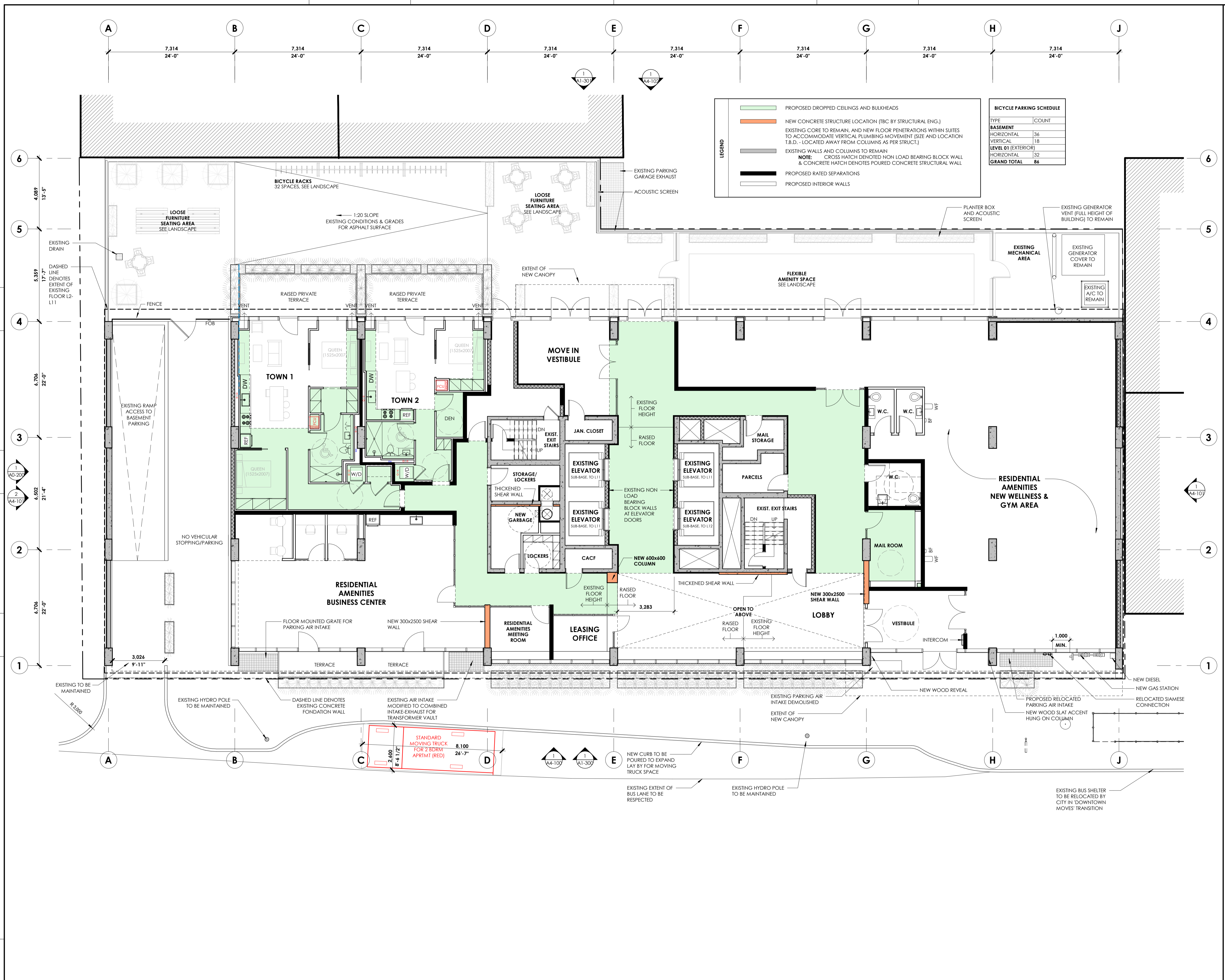
BASEMENT FLOOR PLAN

project number | numéro du projet 159
 drawn | dessiné CK / LI / MP / JH
 checked | vérifié JM / AR
 date | date 03/23/20
 scale | échelle 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin

A2-100



LEGEND

- PROPOSED DROPPED CEILING AND BULKHEADS
- NEW CONCRETE STRUCTURE LOCATION (TBC BY STRUCTURAL ENG.)
- EXISTING CORE TO REMAIN, AND NEW FLOOR PENETRATIONS WITHIN SUITES TO ACCOMMODATE VERTICAL PLUMBING MOVEMENT (SIZE AND LOCATION T.B.D. - LOCATED AWAY FROM COLUMNS AS PER STRUCT.)
- EXISTING WALLS AND COLUMNS TO REMAIN
- NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL
- PROPOSED RATED SEPARATIONS
- PROPOSED INTERIOR WALLS

BICYCLE PARKING SCHEDULE

TYPE	COUNT
BASEMENT	
HORIZONTAL	36
VERTICAL	18
LEVEL 01 (EXTERIOR)	
HORIZONTAL	32
GRAND TOTAL	86

INTERRENT REIT
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nord du projet / project north
 nord actuel / true north

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linebox STUDIO

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473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

LEVEL 01 FLOOR PLAN

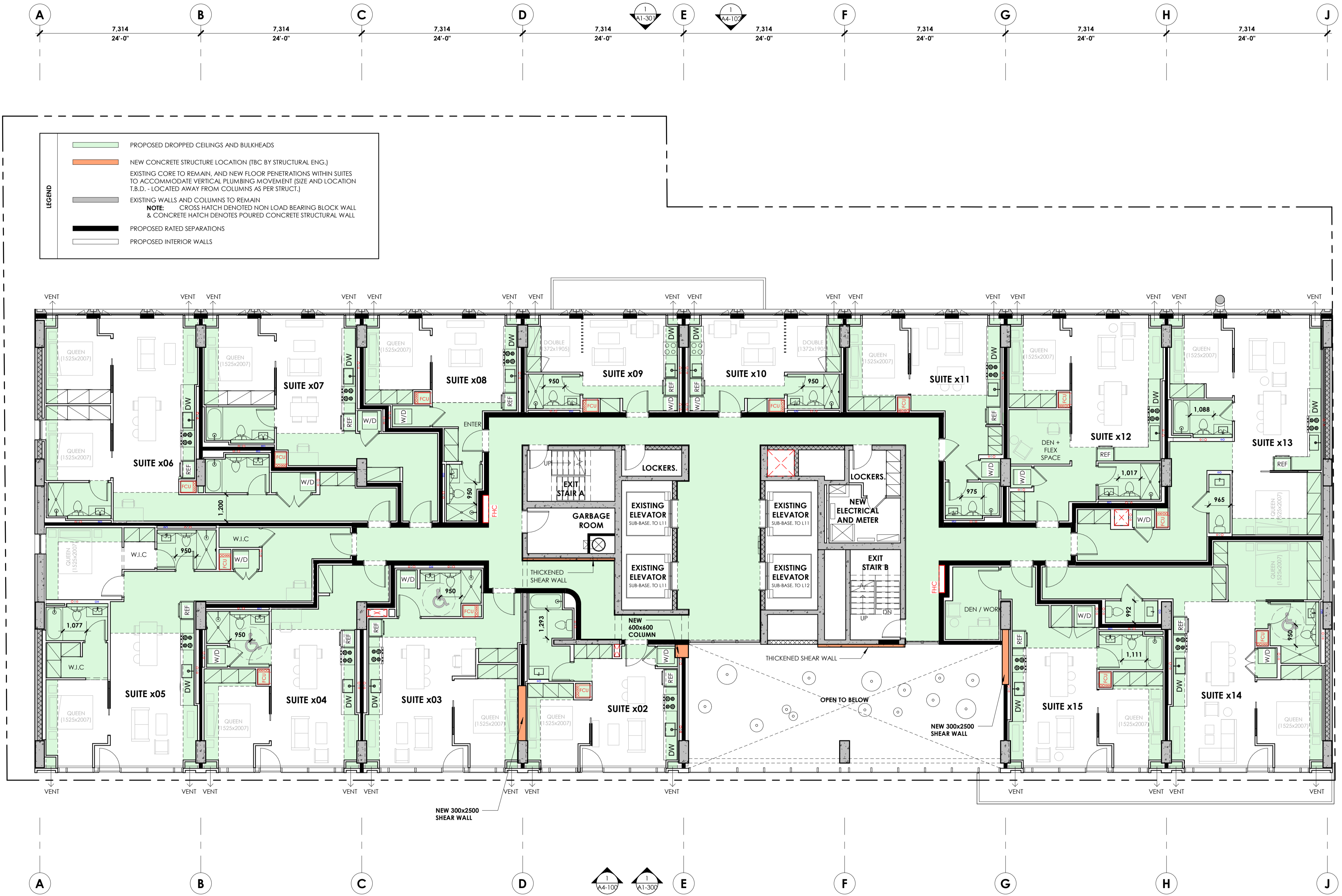
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 drawn | dessiné: CK / LI / MP / JH
 checked | vérifié: JM / AR
 date | date: 03/23/20
 scale | échelle: 1 : 100

0 m 2 m 4 m

drawing number | numéro du dessin

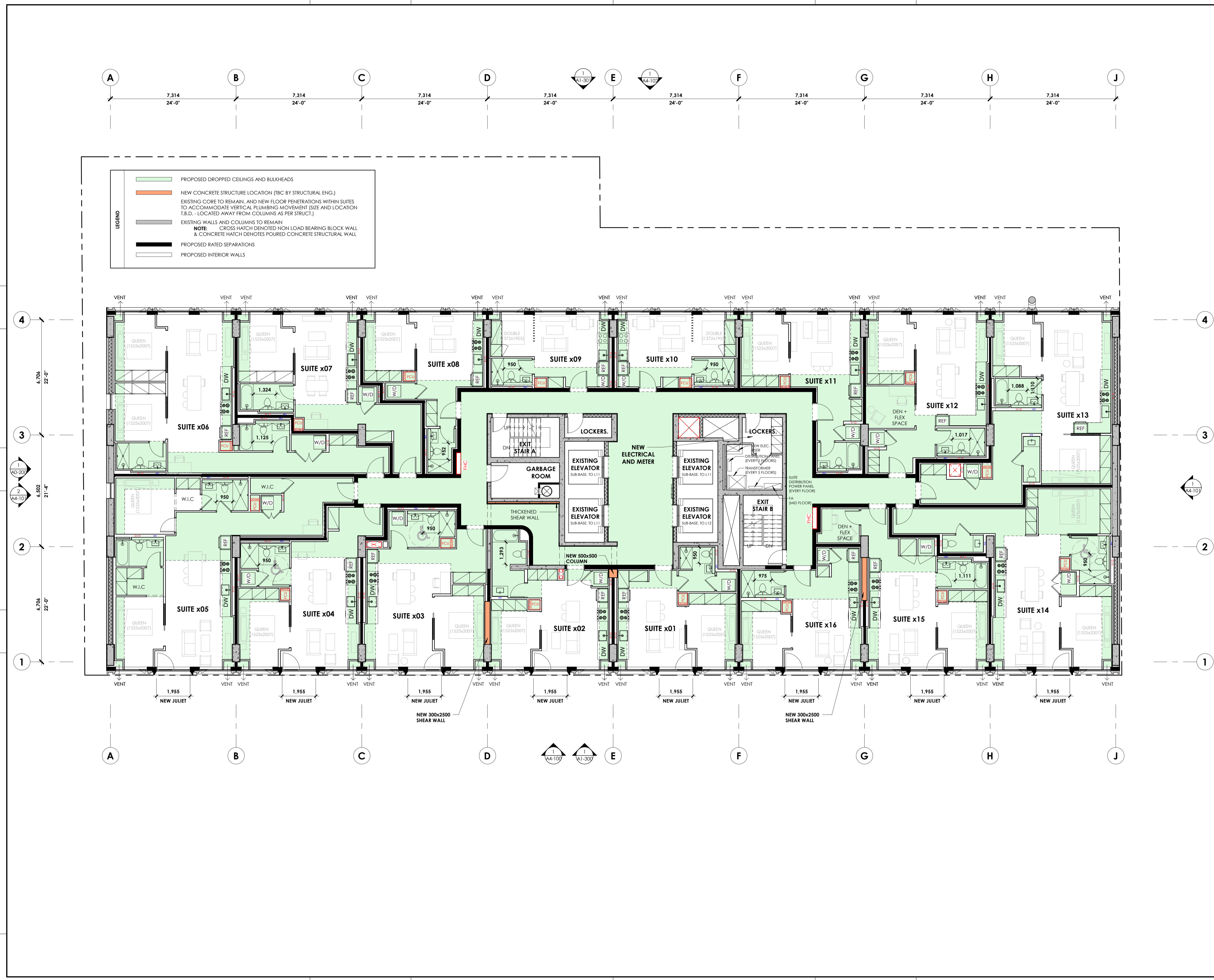
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D07-12-19-0203



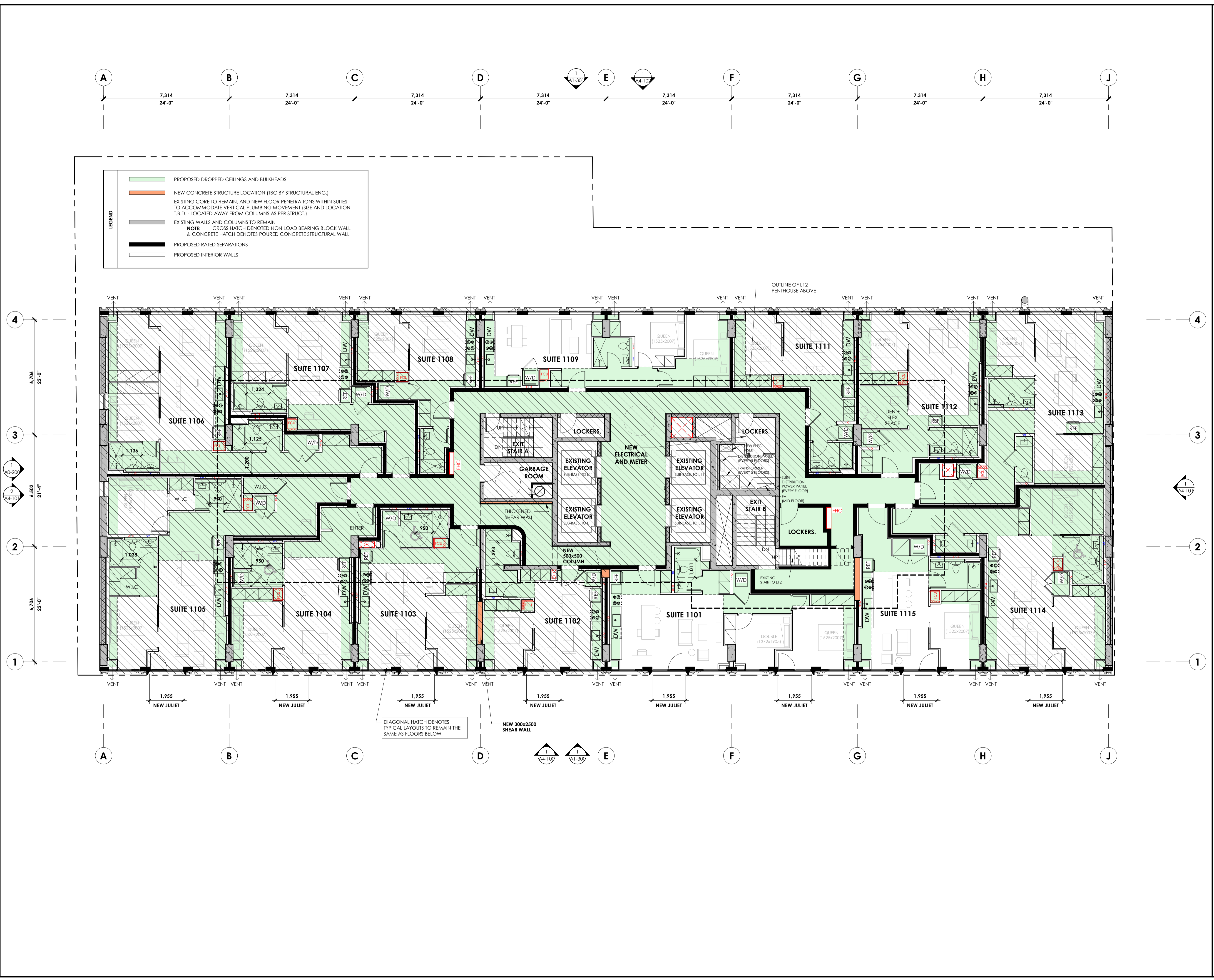
LEGEND

- PROPOSED DROPPED CEILINGS AND BULKHEADS
- NEW CONCRETE STRUCTURE LOCATION (TBC BY STRUCTURAL ENG.)
- EXISTING CORE TO REMAIN, AND NEW FLOOR PENETRATIONS WITHIN SUITES TO ACCOMMODATE VERTICAL PLUMBING MOVEMENT (SIZE AND LOCATION T.B.D. - LOCATED AWAY FROM COLUMNS AS PER STRUCT.)
- EXISTING WALLS AND COLUMNS TO REMAIN
- NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL
- PROPOSED RATED SEPARATIONS
- PROPOSED INTERIOR WALLS

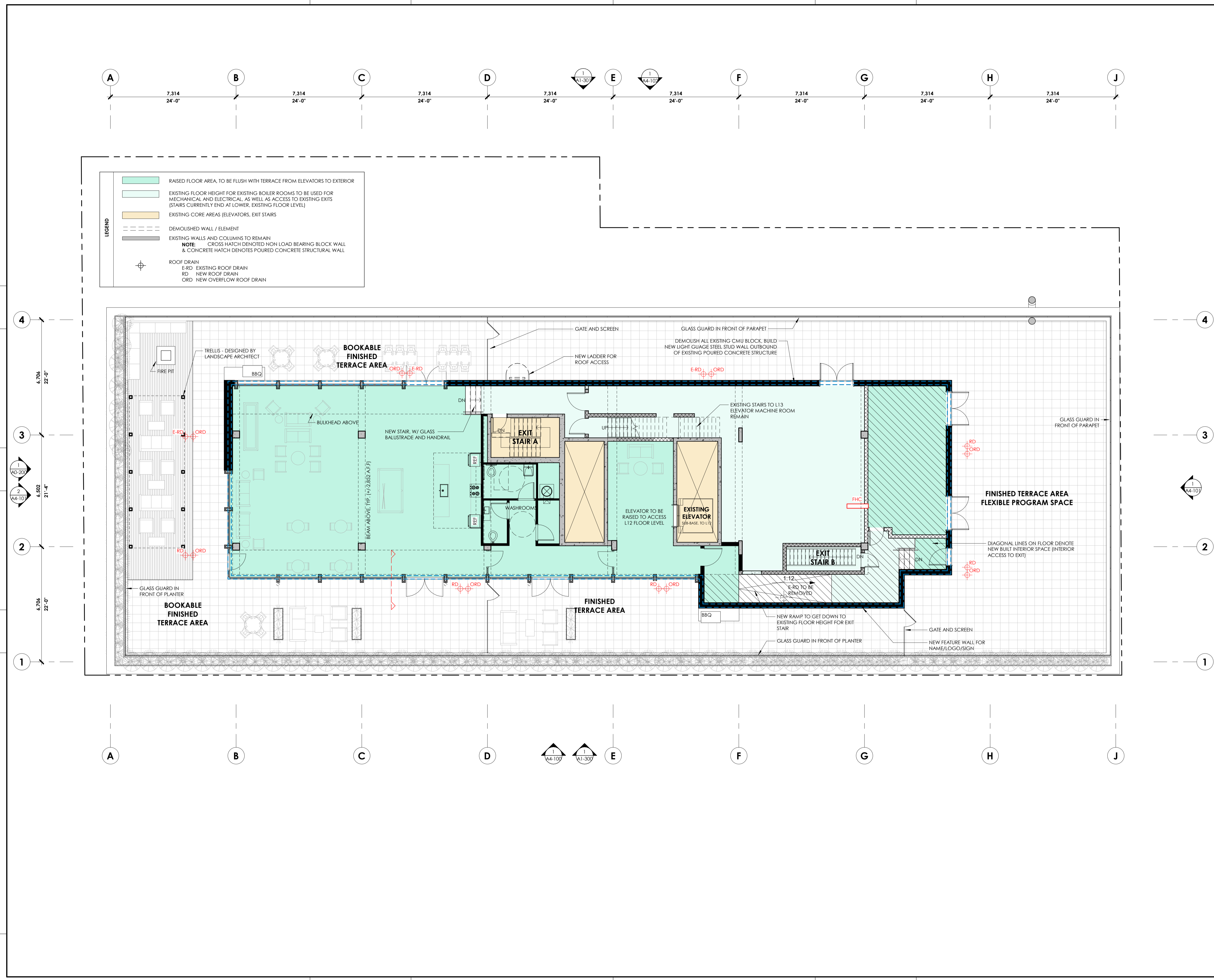


LEGEND

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- NEW CONCRETE STRUCTURE LOCATION (TBC BY STRUCTURAL ENG.)
- EXISTING CORE TO REMAIN, AND NEW FLOOR PENETRATIONS WITHIN SUITES TO ACCOMMODATE VERTICAL PLUMBING MOVEMENT (SIZE AND LOCATION T.B.D. - LOCATED AWAY FROM COLUMNS AS PER STRUCT.)
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- PROPOSED RATED SEPARATIONS
- PROPOSED INTERIOR WALLS

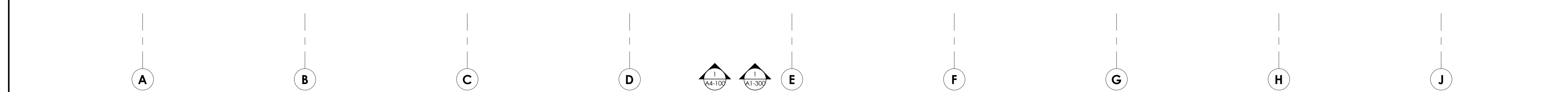
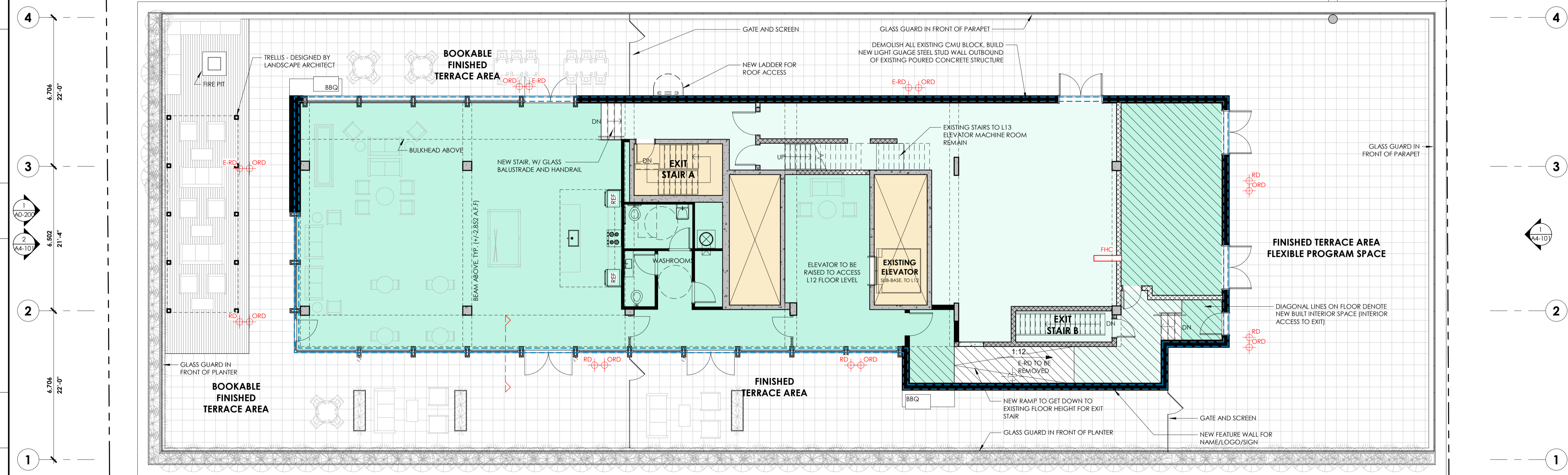
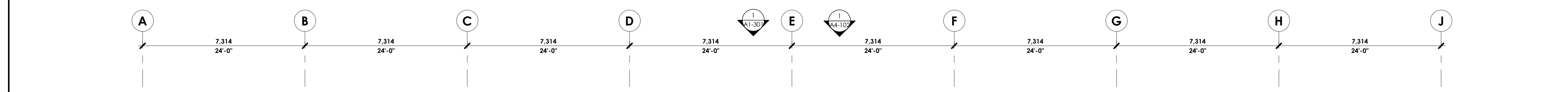


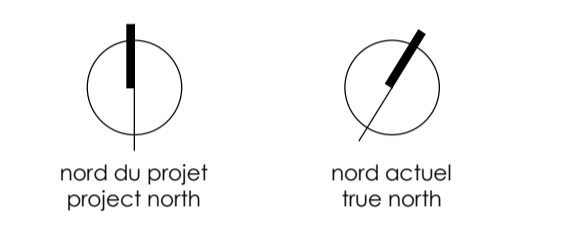
D07-12-19-0203



LEGEND

- RAISED FLOOR AREA, TO BE FLUSH WITH TERRACE FROM ELEVATORS TO EXTERIOR
- EXISTING FLOOR HEIGHT FOR EXISTING BOILER ROOMS TO BE USED FOR MECHANICAL AND ELECTRICAL, AS WELL AS ACCESS TO EXISTING EXITS (STAIRS CURRENTLY END AT LOWER, EXISTING FLOOR LEVEL)
- EXISTING CORE AREAS (ELEVATORS, EXIT STAIRS)
- DEMOLISHED WALL / ELEMENT
- EXISTING WALLS AND COLUMNS TO REMAIN
 NOTE: CROSS HATCH DENOTES NON LOAD BEARING BLOCK WALL & CONCRETE HATCH DENOTES POURED CONCRETE STRUCTURAL WALL
- ROOF DRAIN
 E-RD EXISTING ROOF DRAIN
 RD NEW ROOF DRAIN
 ORD NEW OVERFLOW ROOF DRAIN





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no revisions date

stamp | timbre



architect | architecte

linebox
STUDIO

general notes | note générale

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project title

473 ALBERT
PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

ROOF PLAN

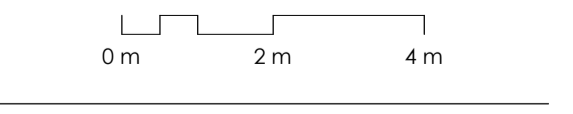
project number | numéro du projet **159**

drawn | dessiné **CK / LI / MP / JH**

checked | vérifié **JM / AR**

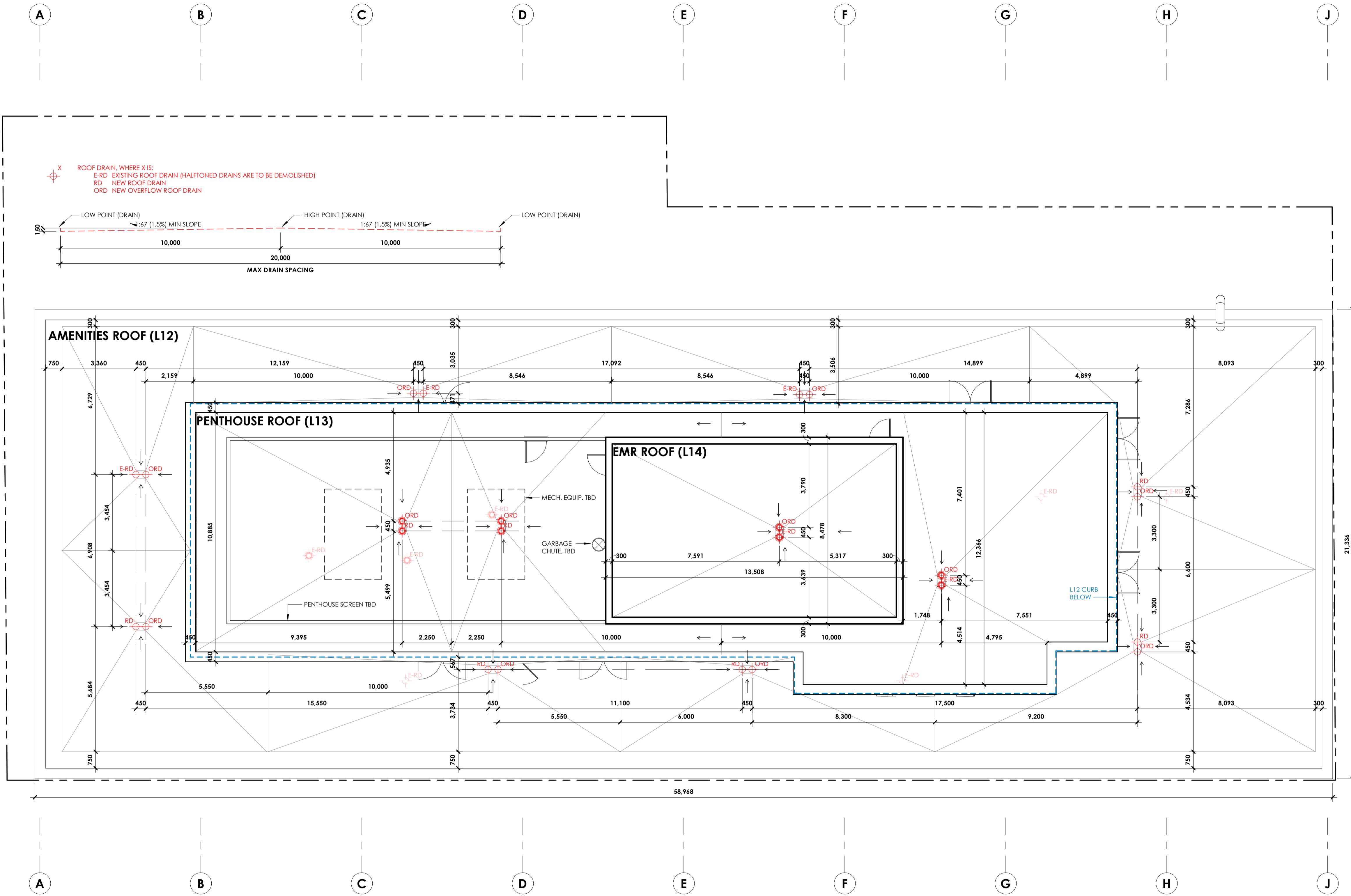
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scale | échelle **1 : 100**

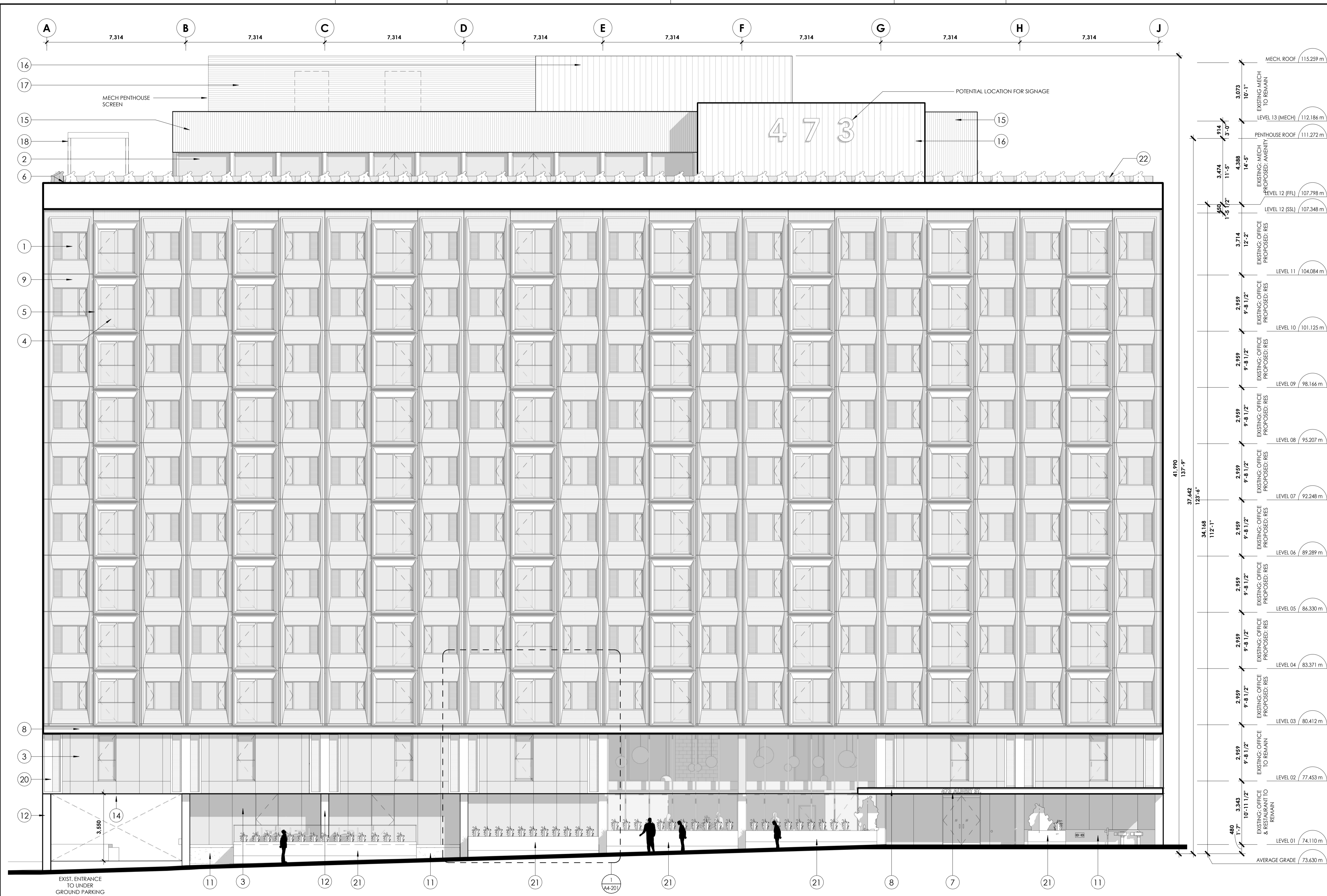


drawing number | numéro du dessin

A2-114



D07-12-19-0203



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no revisions date

stamp | timbre



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project title

473 ALBERT
 PROPOSED MIXED-USE RENOVATION

473 ALBERT STREET | OTTAWA | ONTARIO | CANADA

drawing title | titre du dessin

SOUTH (ALBERT STREET) ELEVATION

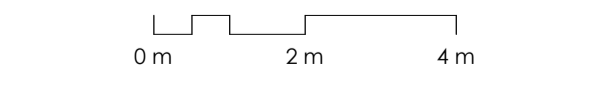
project number | numéro du projet **159**

drawn | dessiné **CK / LI / MP / JH**

checked | vérifié **JM / AR**

date | date **03/23/20**

scale | échelle **1 : 100**



drawing number | numéro du dessin

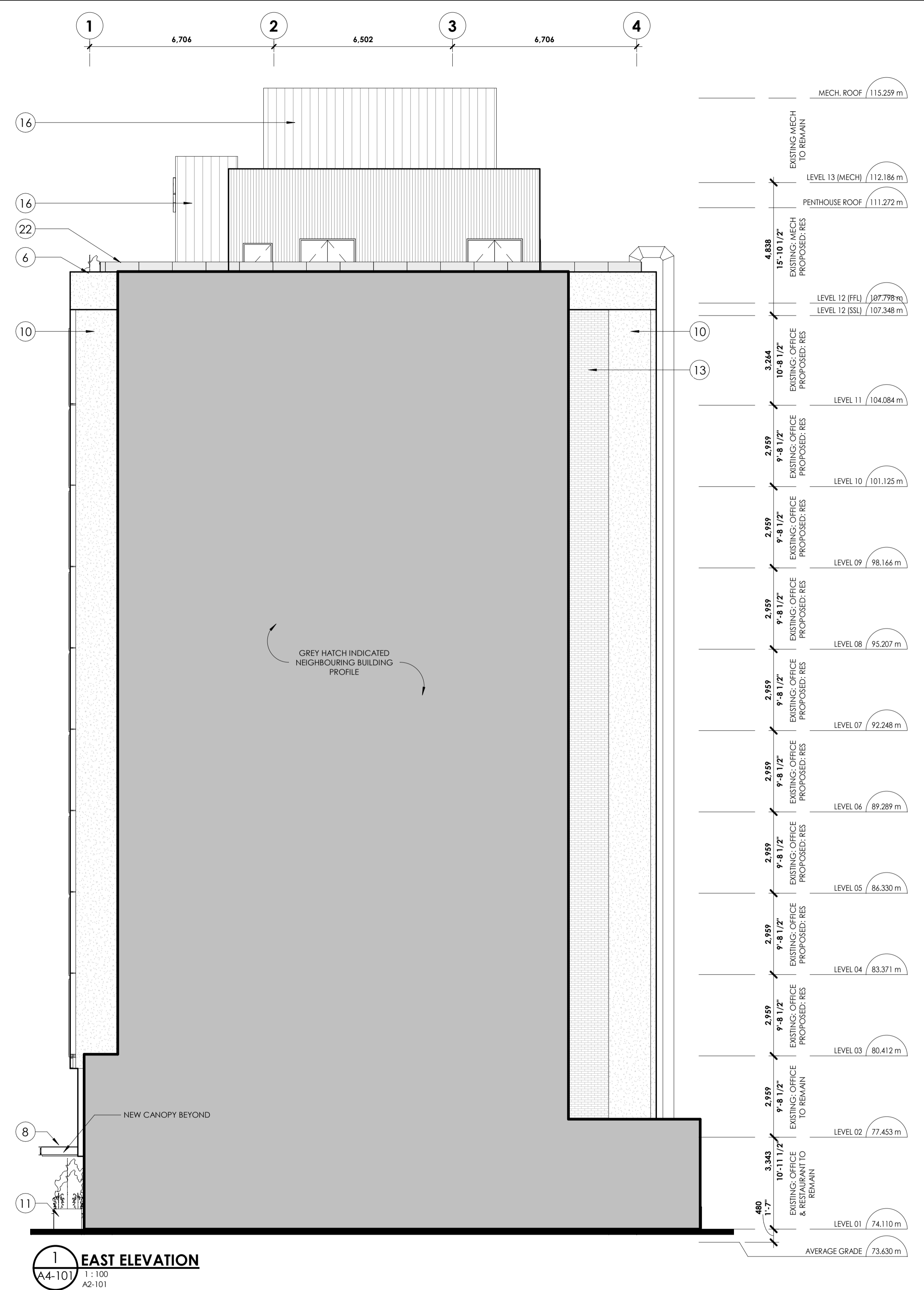
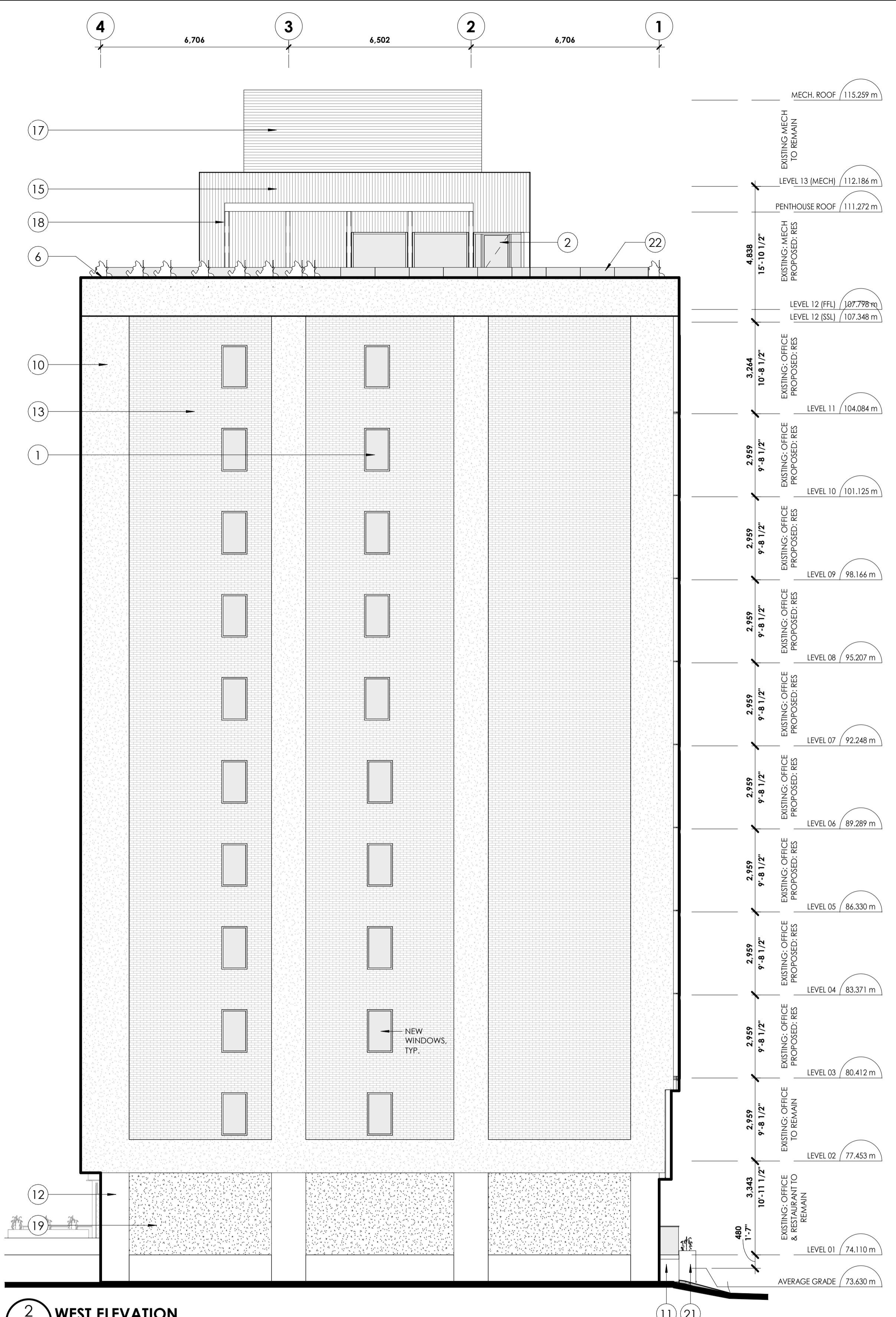
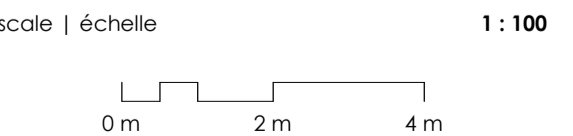
A4-100

MATERIAL LEGEND

TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
1	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH
2	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED, DIVIDED BY WOOD CLAD FINS. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6	BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10	EXISTING PAVING ON CIP CONCRETE STRUCTURE	14	EXTERIOR TREATED WOOD SOFFIT	18	BLACK METAL TRELIS
3	CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE
4	EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH

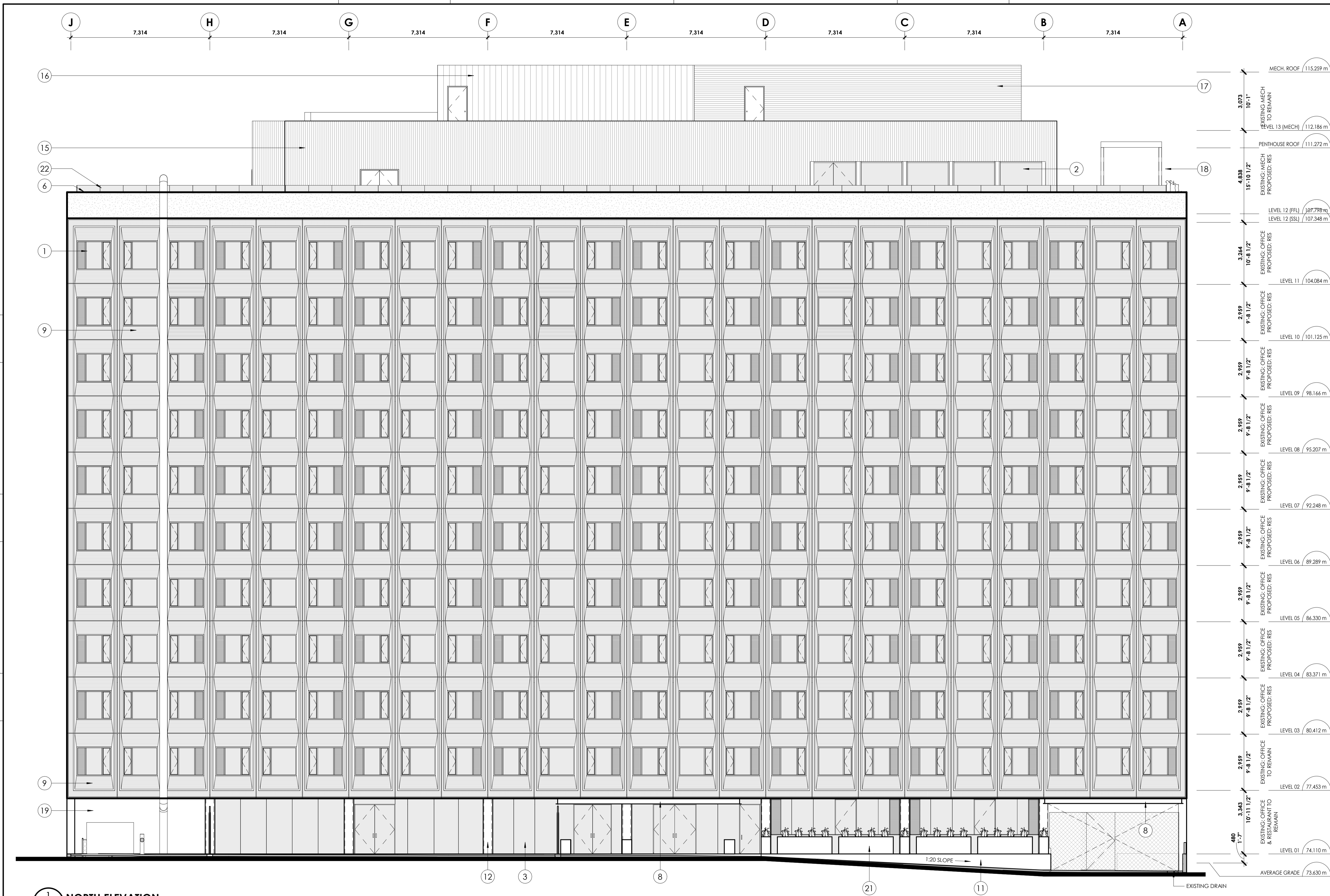


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MATERIAL LEGEND

TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
1	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH	21	WEATHERED STEEL PLANTER BOX ON TOP OF AGGREGATED CONCRETE BASE
2	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE. BRONZE COLOUR FRAMED, DOUBLE GLAZED. DIVIDED BY WOOD CLAD FINS. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	6	BRONZE COLOURED PROFILED METAL CAPPING AND FLASHING PARAPET	10	EXISTING PARGING ON CIP CONCRETE STRUCTURE	14	EXTERIOR TREATED WOOD SOFFIT	18	BLACK METAL TRELIS	22	GLAZED BALLUSTRADE SET BEHIND PLANTING AND EXISTING PARAPET. GREY METAL TOP RAIL AND FRAME
3	CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING. DOUBLE GLAZED. LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE		
4	EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE. BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH		



1 NORTH ELEVATION
A4-102 1:100 A2-101

MATERIAL LEGEND

TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
1	CLEAR GLASS (WINDOW) REFER TO WINDOW SCHEDULE, BRONZE COLOUR FRAMED, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	5	BRONZE COLOUR PROFILED CLADDING	9	EXISTING RIB PROFILED PRECAST PANEL	13	EXISTING CLAY BRICK MASONRY	17	METAL ACOUSTIC SCREEN WITH GREY FINISH	21	WEATHERED STEEL PLANTER BOX ON TOP OF AGGREGATED CONCRETE BASE
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3	CLEAR GLASS (FRAMELESS GLAZING) BRONZE COLOUR FRAMED GLAZING, DOUBLE GLAZED, LOW E COATING AS PER MANUFACTURER'S SPECIFICATIONS	7	BLACK METAL SIGNAGE ON STAND-OFFS OR SIMILAR	11	AGGREGATED CONCRETE FINISH TO WALL BASE	15	ZINC CLADDING, RIBBED	19	SMOOTH CONCRETE		
4	EXTERIOR GLASS JULIET GUARD RECTANGULAR PROFILE, BRONZE COLOUR HANDRAIL AND CAPPING	8	WEATHERING STEEL EXTRUSION TO FORM BASE OF L3 PANELS & BASE OF L2 AT UNDERGROUND PARKING	12	EXPOSED CONCRETE	16	ZINC CLADDING, STANDING SEAM	20	BRONZE COLOUR SOLID PANEL, WITH VENT PANEL TO MATCH		

ISSUED FOR SITE PLAN CONTROL MAR 05, 2021
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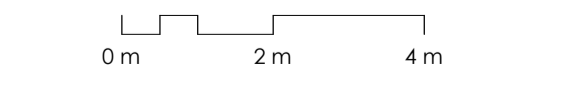


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project title
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PROPOSED MIXED-USE RENOVATION
473 ALBERT STREET | OTTAWA | ONTARIO | CANADA
drawing title | titre du dessin

NORTH ELEVATION

project number | numéro du projet **159**
drawn | dessiné **CK / LI / MP / JH**
checked | vérifié **JM / AR**
date | date **03/23/20**
scale | échelle **1:100**



drawing number | numéro du dessin
A4-102

