

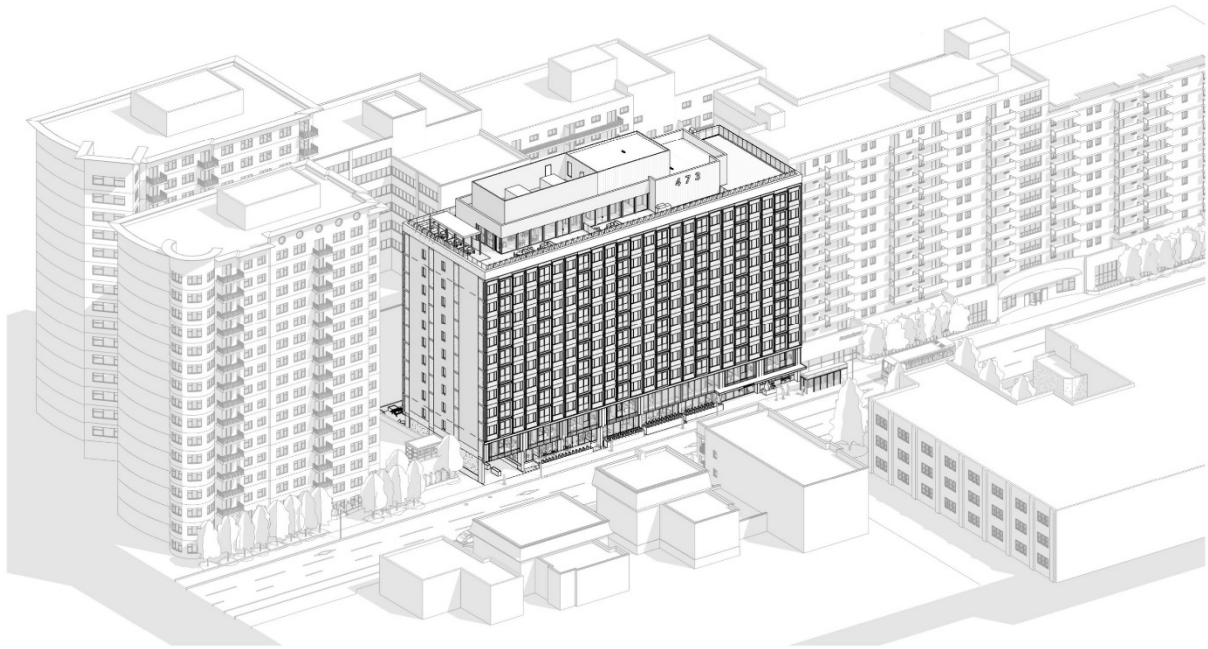


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473 Albert Street Site Plan Control Application



Addendum - Planning Rationale and Urban Design Brief

Contents

Introduction	3
Original Proposal	3
The Revised Proposal	3
Updated Site Plan	4
City of Ottawa Comprehensive Zoning By-law (2008-250)	5
Urban Design Brief	6
Building Transition and Massing	6
Materials	7
Streetscape and Public Realm	8
Landscaping	8
Conclusion	9

Introduction

This addendum is intended to update the original Planning Rationale and Urban Design Brief dated December 2019, which was prepared in support of the Site Plan application for the property municipally known as 473 Albert Street (D02-02-17-0099). Following the submission of the application, formal comments have now been received from the various City departments and external agencies.

As a result of the comments and feedback received to date, the proposal for the subject site has been revised. The purpose of this addendum is to provide an overview of the changes that have occurred.

Original Proposal

The original proposal was for the adaptive reuse of the existing 11-storey commercial building located at 473 Albert Street for residential and commercial mixed-use. The 11-storey building would remain on site, improvements to the façade, streetscape and interior of the building were proposed to give the building a more residential feel.

The conversion consisted of 153 residential units, 1,264 square metres of office space (13,606 square feet), and 359 square metres of commercial space in the form of a restaurant (3,864 square feet). The existing underground parking structure was to be maintained containing 47 parking spaces of which 7 were allotted to visitor. The development contemplated a total of 63 bicycle parking spaces.

The Revised Proposal

The revised proposal is still for the adaptive re-use of the existing 11-storey building. The conversion now consists of a slight increase in residential units, the removal of the commercial and office space and modifications to the amenity and landscaped areas. The changes made are a result of City comments and market research of the neighbourhood. The key revisions to the proposal are:

- 158 residential units (5 additional units),
- On average larger units and work from home station included where possible,
- 52 parking spaces of which 10 will be allotted to visitor parking,
- 86 total bicycle parking spaces (68 horizontal and 18 vertical spaces),
- The removal of all commercial and office space,
- The rooftop will house both the amenity and the mechanical penthouse on the same level,
- Increased amenity space and relocating some of it internally (creating a business centre, larger gym space on ground floor),
- Retaining the original core of the existing building,
- Relocation of front entrance to the right side of the building.

The application still meets intent of the Provincial Policy Statement, Official Plan (Central Area designation) and Secondary Plan (Central Area Secondary Plan – Upper Town designation).

The increase in units is a direct result of removing both the commercial and office space from the proposal. This space was reallocated to include 5 residential units and to increase the internal amenity offering. Post COVID-19 market research has shown greater physical distancing is suggested and re-thinking office uses is needed. To accommodate more people working from home, where possible, the design provides workstations within the larger residential units.

The proposal will also include a business centre amenity concept. This will offer residents alternative work from home options such as, individual workstations, quiet spaces, rooms for meetings etc.

The gym space has moved to the ground floor and will now encompass a larger space to spread out equipment appropriately. In addition, there were several complications with the commercial patio as previously proposed (not permitted under the zoning) and has since been removed with the removal of commercial uses.



Figure 1: Proposed Front Entrance

Updated Site Plan

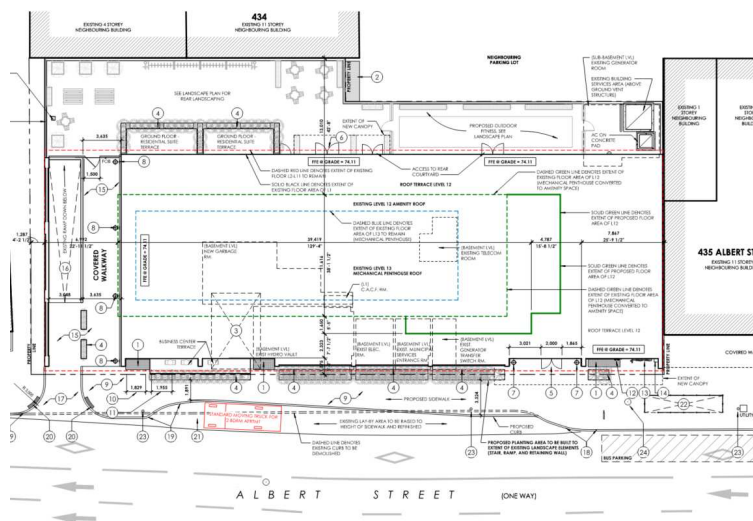


Figure 2: Site Plan of 473 Albert Street

City of Ottawa Comprehensive Zoning By-law (2008-250)

The zoning for the property is R5P [2469] H37. Variances will still be required to legalize the existing conditions of the building.

See below for an updated zoning matrix compliance chart.

Item	Required	Proposed	Compliance
Lot Area	Minimum 540 m ²	1979.01 m ² (existing)	Yes
Lot Frontage	18m (lot width)	60.35 m ² (existing)	Yes
Setbacks			
Front	3m	0m (existing)	No
Rear	7.5m	4.7m (existing)	No
Interior Side	1.5m for first 21m, then 6m	0m (East), 1.5m (West) (existing)	No
Building Height	37m	Heights unchanged; proposed change to use as follows: 34.2m to top of main roof (unchanged) 37.6m to top of amenity penthouse (L12) (currently mech penthouse) 41.99m to top of mechanical/elevator penthouse (unchanged)	No
Amenity space	6m ² / dwelling unit =948m²	Ground Floor, Exterior: 162.81m ² Ground Floor, Interior: 382.53m ² L12, interior: 187.15 m ² L12, exterior: 585.39 m ² Total: 1,317.88 m²	Yes
Parking	<u>Residential:</u> Maximum: 1.5 per unit = 1 spots <u>Visitor:</u> 0 for 1st 12 units, then 0.1 per dwelling unit = 16 spots	52 Residential , of which 10 are visitor spaces	No
Bicycle Parking	Residential: 0.5/ unit = 79 spaces	86 spaces	Yes
Loading Space	Residential: 0 spaces (min)	1 Loading Zone	Yes
Drive Aisles	Double Traffic Lane: Minimum: 6m; Maximum: 3.6m for less than 20 parking spaces, 6.7m for 20 or more parking spaces	3m	No
Landscaped Area	30% of Lot Area = 593.7m ²	Ground Level: 162m ² L12 Roof Terrace: 585m ² Total: 747m ²	No

Figure 3: Zoning Matrix

Urban Design Brief

An addendum to the Urban Design Brief has been prepared to highlight key design changes to the existing building and to demonstrate how they improve or address the following items highlighted by City staff.

Building Transition and Massing

Since the proposal is utilizing the existing building, no changes to the building transition or massing are proposed. The building envelope will remain largely untouched, except for the redistribution of juliet balconies on the south and west elevations to create more symmetry. All windows throughout the building will be replaced.

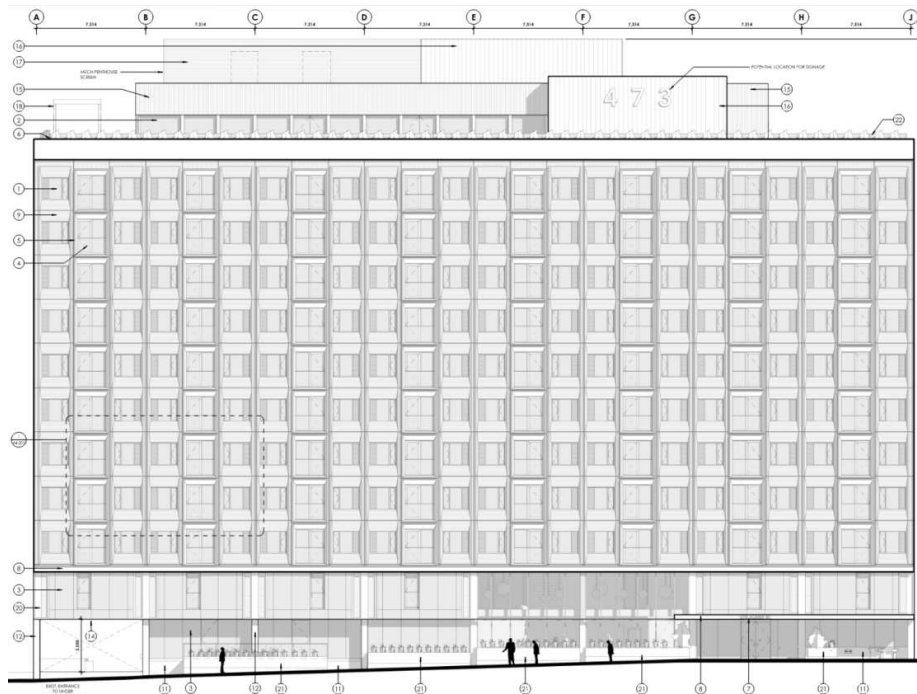


Figure 4: South Elevation fronting onto Albert Street

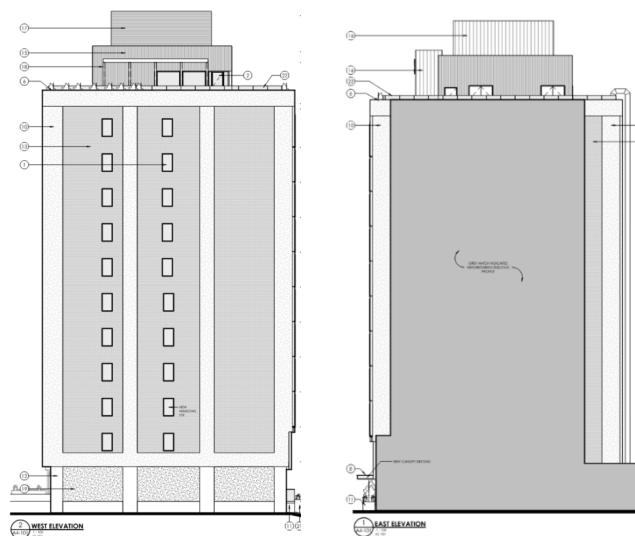


Figure 5: West and East Elevations



Figure 6: North Elevation

Materials



Figure 7: Concept of 473 Albert Street Exterior (showing the new bronze transition piece)

Materials proposed in the first submission will remain the same. Glazing will wrap the first and second floors. A double height entrance to the building will be created incorporating a canopy over top using weathering steel. Bronze colouring will be incorporated in to complement the concrete. The only change to be noted is annotated in red on Figure 6. A change from the previously proposed pre-cast transition piece between the second and third floor, will now be the same weathered steel bronze colour.

Streetscape and Public Realm

It should be noted that the applicant is working with the City (Lee-Anne Truong, Project Senior Engineer) on the future Albert Slater Renewal Project to ensure compatibility between projects. This City initiated project/study aims to identify any opportunities to implement elements of complete streets.

Most components discussed in the original Urban Design Brief dated December 2019 have remained the same, the key changes to the streetscape and public realm include.

- Moving the gym to the ground level, which will help activate the street presence and pedestrian experience. The proposed glazing will allow residents to engage with the space when walking into the building, as well as the public walking or driving by.
- Shifting the entrance to the left side of the building.
- Combining the amenity and mechanical penthouse to the roof top level. Planting will flank the west & south (Albert Street) facing the rooftop level to hide some of the activity from the street.
- Amending the programming at the rear of the building to include the space previously occupied by the commercial patio. Private terraces for 2 individual units will now occupy that space. All amenity spaces are exclusive for resident use only.



Figure 8: Rooftop amenity concept showing planting flanking west & south

The amenity offering remains the same as the first submission. The rooftop level will offer a wide range of activities that will allow residents to interact with each other, relax and lounge both indoors and outdoors.

Landscaping

The landscaping plans have been modified to reflect changes to building uses (reallocation of commercial space to amenity area). Key changes include amendments the ground floor programming at the rear of the building, offering an outdoor fitness area and landscaped seating area. The additional landscaped areas at the back of the building will provide for a livelier experience with interactions between the interior and exterior spaces.

Much of the landscaping plan maintains the same intent as the initial submission which includes elements such as, barbecues, exterior gather spaces, outdoor lounge, and dining areas.

Conclusion

This addendum has highlighted the major changes that have occurred to the proposal. Some of these changes have occurred due to City comments received to date, projected market trends (post COVID-19) and tweaks during detailed design.

The overall project intent as originally submitted remains. It is our professional opinion that the proposed site plan application for an adaptive re-use of 473 Albert Street still represents good planning.

Sincerely,



Josie Tavares
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Jenn Morrison, RPP, MCIP
Development Manager