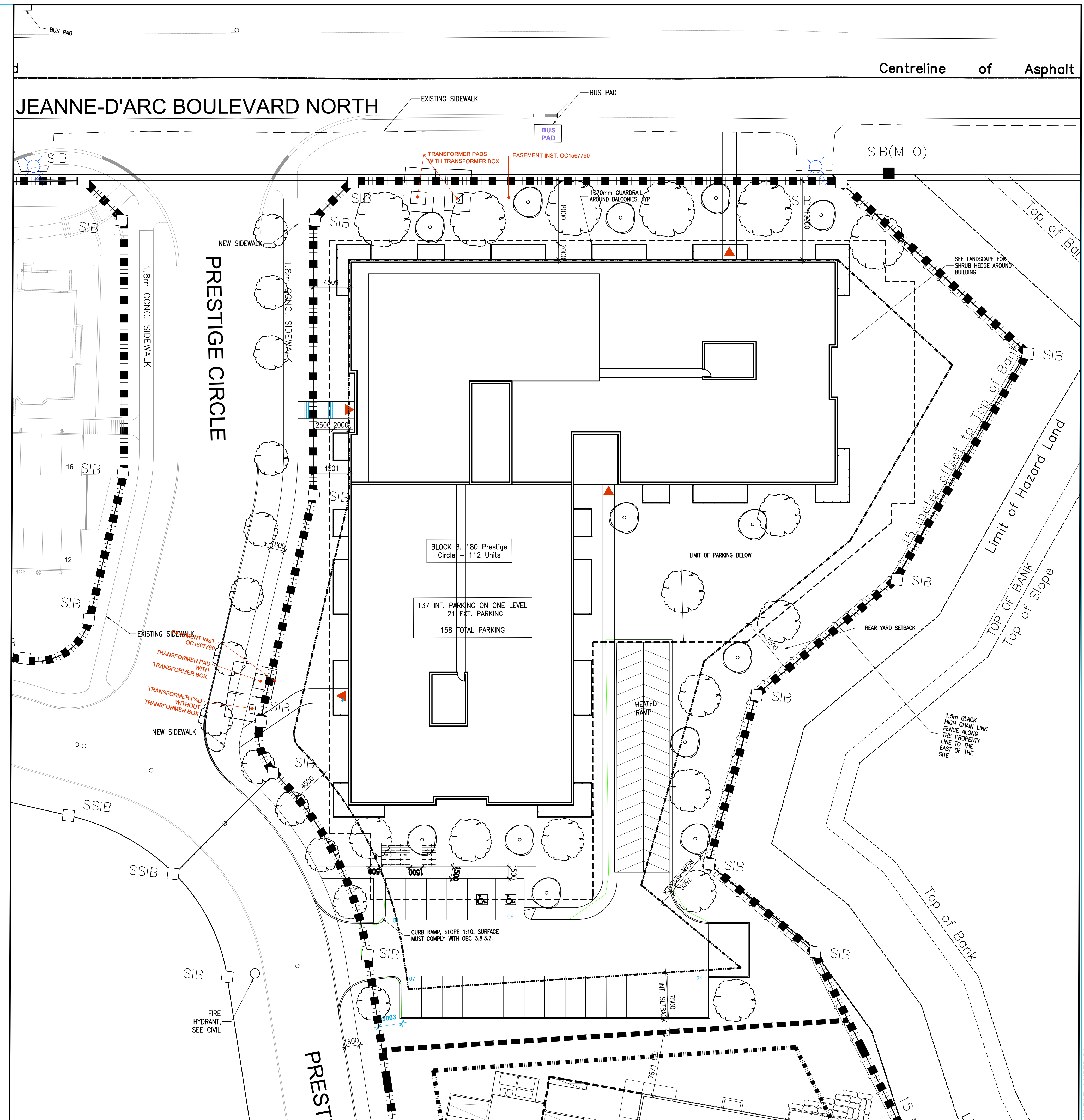


Appendix A		
PL2 Stage 2: RSA[1409] Zoning Compliance Chart		
Site Plan : 112 units - BLOCK 8, 180 Prestige Circle		
Applicable sections from Bylaw 2008-250	Requirement	Provided
Assumes that Prestige Circle is front lot line;		
Property area Phase 3		7,476.5 m ²
Property area Block 8		7,476.5 m ²
Table 164A - Apartment dwelling, low rise, Stacked		
Minimum Lot Width (m)	18.0	> 18.0 m
Minimum Lot Area (m ²)	540.0 m ²	> 540 m ²
Maximum Building Height (storeys) - exception RSA[1409]	10	4
Minimum Front Yard Setback (m)	6.0 m	> 6.0 m
Minimum Corner Yard Setback (m)	4.5 m	4.5 m
Minimum Interior Side Yard Setback (m)	6.0 m	> 6.0 m
Minimum Rear Yard Setback (m) - exception RSA[1409]	7.5 m	> 7.5 m
Minimum Setback from North Service Road (m) - exception RSA[1409]	10.0 m	> 10 m
Minimum distance between apartment dwellings under 7 storeys and OSI zone (m)	7.5 m	> 7.5 m
Minimum required building spacing - exception RSA[1409]	3.0	> 3.0 m
Table 164A - IV. Planned unit development		
Minimum Lot Width (m)	18.0	> 18.0 m
Minimum Lot Area (m ²)	1400.0 m ²	> 1400.0 m ²
Maximum Building Height (storeys) - exception RSA[1409]	10	4
Minimum Front Yard Setback (m)	6.0 m	> 6.0 m
Minimum Corner Yard Setback (m)	4.5 m	4.5 m
Minimum Interior or Side Yard Setback (m) *	6.0 m	> 6.0 m
Minimum Rear Yard Setback (m) - exception RSA[1409]	7.5 m	> 7.5 m
Minimum Setback from North Service Road (m) - exception RSA[1409]	10.0 m	> 10 m
Minimum distance between apartment dwellings under 7 storeys and OSI zone (m)	7.5 m	> 7.5 m
Minimum required building spacing - exception RSA[1409]	3.0	> 3.0 m
*For a yard abutting a lot, the yard setback is 3 m for the first 21 m back from a street lot line. In all other circumstances, the yard setback is 6 m. Notwithstanding the foregoing, for a yard adjacent to an apartment dwelling, mid-high rise and apartment dwelling, low rise or stacked dwelling within a planned unit development, the yard setback provisions for that use apply.		
Section 163(9)		
Minimum landscape area (% of site)	30.0%	43.2%
Section 101 and 102		
Minimum No. of parking spaces (total)	(ratio = 1.2) = 135	135
Minimum No. of visitor parking spaces (total)	(ratio = 0.2) = 22	23
Total Parking (visitor and residential)	157	158
Section 106		
Parking space width (m) per section 106 (3)(a)iii...applicable to 50% of resident spaces	2.4 min	2.4 min
Parking space width (m)	2.6 min 2.75 max	2.6
Minimum parking space depth (m)	5.2	5.2
Section 107		
Driveway access : min width (m) one way	3.0 m	n.a m
Driveway access : min width (m) two way	6.2 m	6.7 m
Section 110		
Minimum landscape area of parking lot (15%)	15 %	35.4%
Minimum landscape buffer width of parking lot not abutting street (m)	3.0 m	3.0 m
...1.5 if fewer than 100 spaces; 3 meters if more than 100 spaces	1.5/3 m	3.0 m
Minimum landscape buffer width of parking lot abutting street (m)	3.0 m	3.0 m
Section 111		
Bicycle Parking Space Requirement (Total)	(ratio = 0.5) = 56	56
Section 131 (PUD)		
Min. width of private way Table 131 (1)	6.0 m	6.0 m
Min. setback of res. building to private way Table 131 (2)	1.8 m	n.a m
Min. setback for any garage Table 131 (3)	5.2 m	n.a m
Min. sep distance between bldgs less than 7 stories in height Table 131 (4)	1.2 m	n.a m
Section 137		
Total amenity area in sq. m per unit (min 6m ² /unit) + 10% R _c	675.4	3029.0 m ²
**Communal amenity area: 50% of total required total amenity area in sq.m. (Total)	337.68	403.0 m ²
		**ground floor common areas
Section 55 (Accessory Buildings)		
Min. Required Setback from an Int. Side Lot Line or Rear Lot Line not abutting a street		
...rear yard (m)	0.6 m	> 0.6 m



NOTES GÉNÉRALES / General Notes

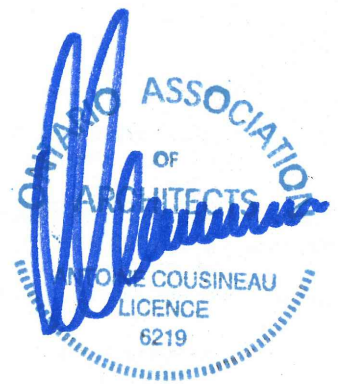
- Ces documents d'architecture sont la propriété exclusive de NEUF architectes. et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite au préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before starting the work.
- Veuillez aviser l'architecte de toute dimension erreur et/ou divergences entre ses documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of other professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTURE DE PAYSAGE / Landscape architect
Levstek Consultants
 6571 High Crestwood, Ottawa, ON K2A 2W0
 T 613 826 0518 larocquelevstek.com

CIVIL / Civil
Stantec
 400 - 1331 Clyde Avenue, Ottawa ON K2C 3G4
 T 613 724 4337 stantec.com

ARCHITECTES / Architect
NEUF architect(es)
 630, boulevard René-Lévesque O. 5^{ème} étage, Montréal QC H3B 1S6
 T 514 847 1117 NEUFarchitectes.com

SCÉAU / Seal



NEUF
 ARCHITECTE(S)



BRIGIL
 CLIENT / Client

OUVRAGE / Project
PETRIE'S LANDING
BLOCK 6, 7 & 8
 EMPLACEMENT / Location: ORLEANS, ON
 NO PROJET / No. 10498.03

NO	REVISION	DATE (aa.mm.jj)
A	City Block 8 SPA	2021-04-15
B	Issue to City	2021-06-10

DESSINÉ PAR / Drawn by: A.B.
 DATE (aa.mm.jj): 21.06.10
 TITRE DU DESSIN / Drawing Title: Site Plan Block 8

VERIFIÉ PAR / Checked by: ANT. C.
 ECHELLE / Scale: INDIQUÉE

REVISION / Revision: **B**
 NO. DESSIN / Dwg Number: **A100c**