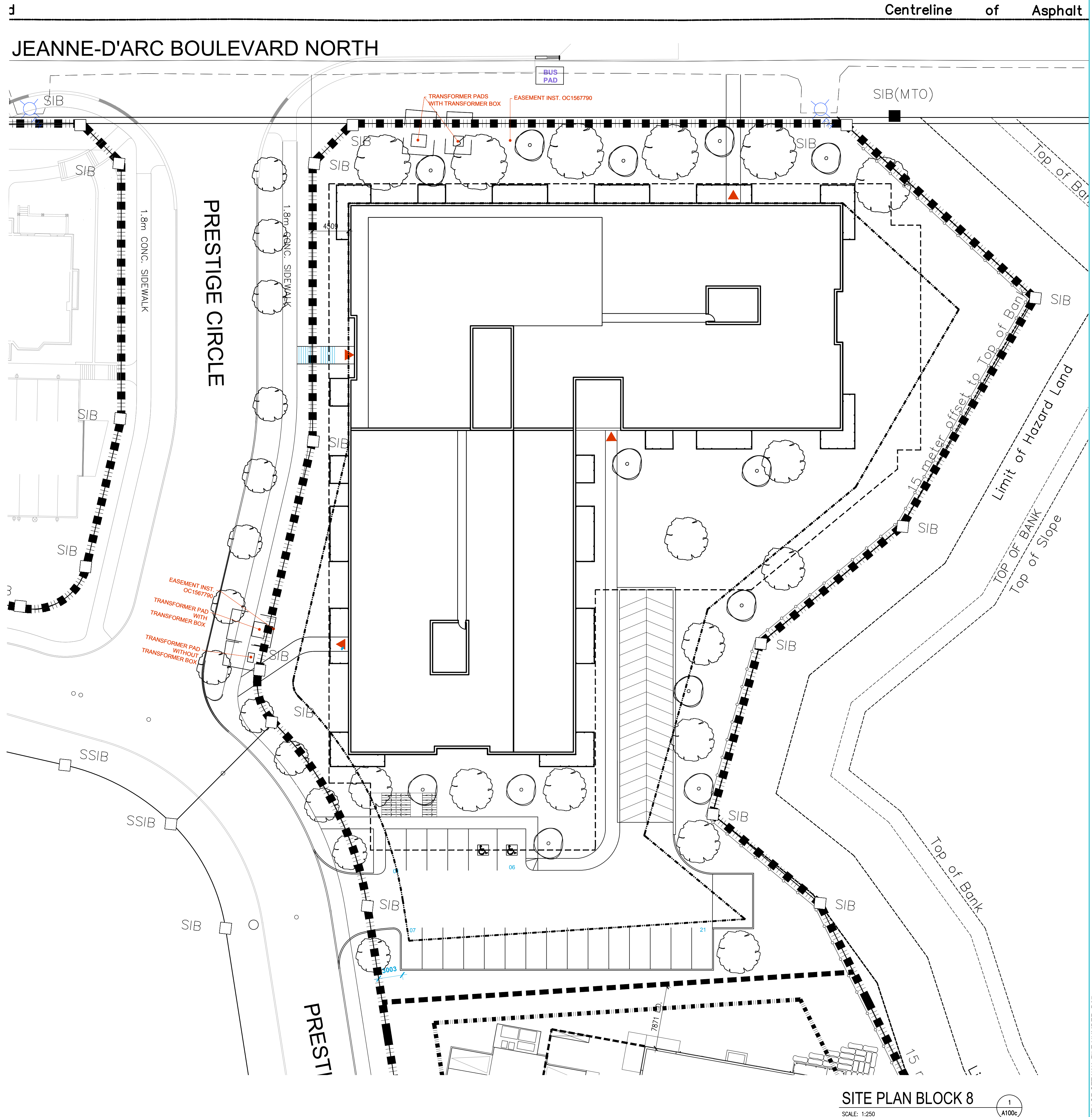


Appendix A: Zoning Compliance Chart

180 Prestige Circle (based on site plan dated April 14, 2021)

Applicable sections from 2008-250	Zoning Requirement	Proposal	Amendment Required	Comment
Property is zoned PS4 (100)				
Assuming the following yard locations per May 10 2019 email from City Staff				
— Jeanne d'Arc as front yard				
— Prestige Circle as corner yard				
— Reserve to the east as interior yard				
— Property line between subject property and building to the south as rear yard				
Exception 1409				
no building permitted within 10 m of lot line adjacent to North Service Road	10	10		
minimum required front yard for the end wall of a row dwelling is 4.0 m	N/A	-		
minimum required front yard where garages face a public street is 6.0 m	6	10		
minimum required front yard for all other buildings is 6.0 m	6	10		
minimum required rear yard is 7.5 m	7.5	7.5+		
minimum required building spacing is 3.0 m	N/A	-		
maximum permitted building height is 10 storeys	10	4		
minimum required density is 75 units per hectare	75			
maximum permitted density is 100 units per hectare	100	103	yes	rounded from 102.47; see Note 1
minimum distance between the rear wall of a row dwelling and a O1 zone is 7.5 m	N/A	-		
minimum distance between the end wall of a row dwelling and a O1 zone is 2.0 m	N/A	-		
minimum distance between apartment dwellings under 7 stories in height and a O1 zone is 7.5 m	N/A	-		
minimum distance between apartment dwellings 7 to 10 stories in height and a O1 zone is 10 m	N/A	-		
minimum required western side yard abutting retaining wall for all buildings is 6.0 m	N/A	-		
minimum required western side yard south of retaining wall for all buildings is 8.0 m	N/A	-		
the dwelling units and land in a row dwelling development may be divided or severed... subsection 109(3) does not apply	N/A	-		
	parking permitted	0		
Table 164A (Apartment Dwelling, Mid-High Rise)				
Minimum Lot Width (m)	25	28.5		
Minimum Lot Area (sq. m)	3000	0.7436		
Maximum Building Height (m)	10	4		
Minimum Front Yard Setback (m)	6	10		balconies project 2.3 m into required yard
Minimum Corner Yard Setback (m)	4.5	4.5		balconies project 2.3 m into required yard
Minimum Rear Yard Setback (m); see endnote 4 from Table 162B	7.5	28.309		
Minimum Int. Side Yard Setback (m)	7.5	15.423		
Section 163(9)				
Minimum landscape area (% of site)	30	43.2		
Sections 101 and 102				
Minimum No. of parking spaces per Apartment Dwelling, Mid-High Rise	1.2	1.205		135 spaces/112.7 are accessible
Minimum No. of visitor parking spaces per Apartment Dwelling, Mid-High Rise	0.2	0.205		23 spaces/112
Section 106				
Parking space width (m)	2.6 min 2.75 max	2.6		
Minimum parking space depth (m)	5.2	5.2		
Section 107				
Driveway access - min width (m) two way	6.2	6.7		
Section 109				
Parking in required front and corner yard	not permitted	0		
Section 110				
Minimum landscape area of parking lot (%)	15	35.4		
Minimum landscape buffer width of parking lot not abutting street (m)	1.5	3		
Minimum landscape buffer width of parking lot abutting street (m)	3	3		
Minimum distance between refuse collection area within a parking lot and: ...street (m)	9	47		
...any other lot line	3	3		
Section 111				
Bicycle Parking Space Provisions (per unit)	0.5	0.5		56/112
Section 137				
Total amenity area (6 sq. m per unit)	672	3029		
Communal amenity area: 30% of total required 'total amenity area' sq. m.	336	2072		
Note 1				
	Area	Units		
Block 1		0.6101		
Block 1 and 2			40	40
...subtotal				
Block 2		3.6729		
Block 3-5			116	
Block 6			79	
Block 7			92	
Block 8			112	
...subtotal				399
Total		4.284		439
Density u/ha		102.4743231		



NOTES GÉNÉRALES / General Notes

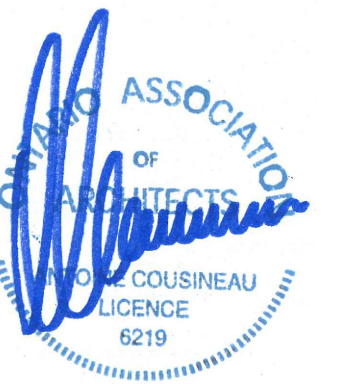
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ARCHITECTURE DE PAYSAGE / Landscape architect
Levstek Consultants
 6571 High Crescent, Ottawa, ON K2A 2W0
 T 613 826 0518 larocquelevstek.com

CIVIL / Civil
Stantec
 400 - 1331 Clyde Avenue, Ottawa ON K2C 3G4
 T 613 724 4337 stantec.com

ARCHITECTES / Architect
NEUF architectes(e)s
 6571 High Crescent, Ottawa, ON K2A 2W0
 T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



NEUF
 ARCHITECTE(S)



BRIGIL

CLIENT / Client

OUVRAGE / Project

**PETRIE'S LANDING
 BLOCK 6, 7 & 8**

EMPLACEMENT / Location: ORLEANS, ON NO PROJET / No. 10498.03

NO / REVISION: A DATE (aa.mm.jj): 2021-04-15

DESSINÉ PAR / Drawn by: A.B. DATE (aa.mm.jj): 21.04.15

VERIFIÉ PAR / Checked by: ANT. C. ECHELLE / Scale: INDIQUÉE

TITRE DU DESSIN / Drawing Title: **Site Plan Block 8**

REVISION / Revision: **A** NO. DESSIN / Dwg Number: **A100c**