



SUPPLEMENTARY TREE CONSERVATION REPORT

1050&1060 Bank Street

**Supplemental Report to Tree Conservation
Report submitted as Partial Requirements
for a Site Plan Control Application**

**Astrid Nielsen, Registered Professional
Forester, ISA Certified Arborist[®], ON-1976**



Supplementary Tree Conservation Report

Submitted as part of Site Plan Control Application

Address: 1050 & 1060 Bank Street

Date: November 20, 2020

Prepared by: Astrid Nielsen, RPF, ISA Certified Arborist ®

Prepared for: Domenic Santaguida, domenic.santaguida@vittoriatrattoria.com

Site Visit: November 18, 2020

Introduction

This report has been prepared to provide supplementary information to the Tree Conservation Report prepared by James B Lennox & Associates, dated May 19, 2020. This report refers only to the large red oak on neighbouring property at 9-11 Euclid Avenue and does not include an assessment of any other trees on the subject property. This report has been prepared as requested by the City of Ottawa to provide information around the protection of this large red oak during the construction at 1050 & 1060 Bank.

Tree Description

The red oak lies entirely on the 9-11 Euclid property; however, the roots most likely extend onto the adjacent city lane. The tree is currently in good health and has a diameter of 65 cm. The surrounding rooting area is made of hard surface asphalt. The trunk of the tree has outgrown its space and is currently being girdled by the asphalt at the base (see photo). This restriction in growth should be addressed to prevent further girdling of the trunk and roots that could lead to tree decline in the near future.

Right beside the tree to the northeast side, there is a sharp drop of approximately 80 cm in elevation and the retaining wall is made up of large rocks. Due to this significant elevation change, it is unlikely that there are roots growing under asphalt in the lower portion of the city lane. It is most likely that those roots that lie under the asphalt on the city lane are entirely in the upper portion that is at the same grade as the tree. Based on this assumption, the estimated rooting area has been drawn on the Tree Conservation Report map. The majority of the roots most likely exist on the property at 9-11 Euclid.

Proposed Development

In the portion of the city lane that is at a higher grade and most likely to contain some of the roots (as identified in red hatching on the enclosed map), the following measures are recommended:

- 1) Removing the asphalt by peeling it off with as little disruption to the roots as possible
- 2) Replacing the current soil within the tree roots with a structural soil as recommended in the Tree Conservation Report prepared by James B Lennox & Associates. Hydrovacating may not be required if the soil can be replaced manually. If a very low pressure is not used, hydrovacating can



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damage the roots by stripping off the bark. Furthermore, it can be costly. If the work can be completed manually, this would be the preferred method to maximize tree protection.

- 3) The remaining lane will be graded to match the existing grade. Care should be taken when removing the rocks not to damage any of the roots that may be growing underneath.

Note that demolition of the current building will involve excavating approximately a metre from the current footprint which may sever some of the roots. The following are some general guidelines around root protection for the laneway construction:

- Avoid tearing of the roots. If the roots do tear, they should be pruned with a clean cut to increase the likelihood of sealing properly and reduce the risk of pathogens from entering the tree.
- Roots should not be left exposed and be covered with soil as quickly as possible, or temporarily with a moist, organic material such as mulch and/or burlap
- The trees should be watered during dry summer months to reduce stress they will encounter from the laneway construction

Once the asphalt has been removed, the tree should be assessed to determine how many structural roots lie underneath. This will help to determine the impact the construction will have on the structural integrity of the tree. If the situation occurs where significant structural roots are damaged, the risk of failure should be assessed and addressed. If removal is required, the owners at 9-11 Euclid have provided permission, and this would be provided in writing.

The undersigned personally inspected the property and issues associated with this report on November 18, 2020. On Behalf of Dendron Forestry Services,



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Principal, Dendron Resource Surveys

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Figure 1: Photo of tree taken from the Euclid side



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Figure 2: Photo showing how the asphalt is girdling the base of the tree



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Figure 3: Photo taken from the Bank side demonstrating the 80 cm grade change right beside the tree



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Intended Use of the Report

This Information Report was carried out by Dendron Forestry Services (hereafter Dendron) at the request of the Client. The information, interpretation and analysis contained within this Report is to be used solely for the purposes outlined within this Report. This Report is for the exclusive use of the Client.

Limitations of this Report

This Report is based on the circumstances and observations as they existed at the time of the site inspection of the Client's Property and the trees situated thereon by Dendron and upon information provided by the Client to Dendron. The opinions in this Report are given based on observations made and using generally accepted professional judgment, however, because trees and plants are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this Report are valid only as at the date any such testing, observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by Dendron as to the length of the validity of the results, observations, recommendations and analysis contained within this Report. As a result the Client shall not rely upon this Report, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the trees discussed in this Report should be re-assessed periodically.

Further Services

Neither Dendron nor any assessor employed or retained by Dendron for the purpose of preparing or assisting in the preparation of this Report shall be required to provide any further consultation or services to the Client, save and except as already carried out in the preparation of this Report and including, without limitation, to act as an expert witness or witness in any court in any jurisdiction unless the Client has first made specific arrangements with respect to such further services, including, without limitation, providing the payment of the Report's regular hourly billing fees.

Dendron accepts no responsibility for the implementation of all or any part of the Report, unless specifically request to examine the implementation of such activities recommended herein. In the event that inspection or supervision of all or part of the implementation is request, that request shall be in writing and the details agreed to in writing by both parties.

Assumptions

The Client is hereby notified and does hereby acknowledge and agree that where any of the facts and information set out and referenced in this Report are based on assumptions, facts or information provided to Dendron by the Client and/or third parties and unless otherwise set out within this Report, Dendron will in no way be responsible for the veracity or accuracy of any such information. Further, the Client acknowledges and agrees that Dendron has, for the purposes of preparing their Report, assumed that the Property, which is the subject of this Report is in full compliance with all applicable federal, provincial, municipal and local statutes, regulations, by-laws, guidelines and other related laws. Dendron explicitly denies any legal liability for any and all issues with respect to non-compliance with any of the above-referenced statutes, regulations, bylaws, guidelines and laws as it may pertain to or affect the Property to which this Report applies.

Professional Responsibility

In carrying out this Report, Dendron and any Assessor appointed for and on behalf of Dendron to perform and carry out the Report has exercised a reasonable standard of care, skill and diligence as would be customarily and normally provided in carrying out this Report. While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or all parts of them will remain standing. It is professionally impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or all their component parts, in all given circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential to fall, lean, or otherwise pose a danger to property and persons in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Without limiting the foregoing, no liability is assumed by Dendron for:

- a) any legal description provided with respect to the Property;
- b) issues of title and or ownership respect to the Property;
- c) the accuracy of the Property line locations or boundaries with respect to the Property; and
- d) the accuracy of any other information provided to Dendron by the Client or third parties;
- e) any consequential loss, injury or damages suffered by the Client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and
- f) the unauthorized distribution of the Report.

Further, under no circumstance may any claims be initiated or commenced by the Client against Dendron or any of its directors, officers, employees, contractors, agents or Assessors, in contract or in tort, more than 12 months after the date of this Report.

General

Any plans and/or illustrations in this Report are included only to help the Client visualize the issues in this Report and shall not be relied upon for any other purpose. This report is best viewed in colour. Any copies printed in black and white may make some details difficult to properly understand. Dendron accepts no liability for misunderstandings due to a black and white copy of the report.

Drawing Frame: 700mm x 500mm (City of Ottawa 2008 (Rev. 1))
 Plot Date: October 1, 2020 11:02:19 AM
 Plot Scale: 1:1000
 Last Saved: September 21, 2020 3:16:48 PM
 File Path: P:\2019\1000\07-1050-1060-Bank Street-CAD\07-Site Servicing.dwg

PROPOSED MIXED-USE RETAIL & RENTAL APARTMENT BUILDING
 1050&1060 BANK STREET
 OTTAWA, ON

SITE SERVICING PLAN

Contract No. **C001**
 Sheet No. **1** of **5**
 Asset No.
 Asset Group

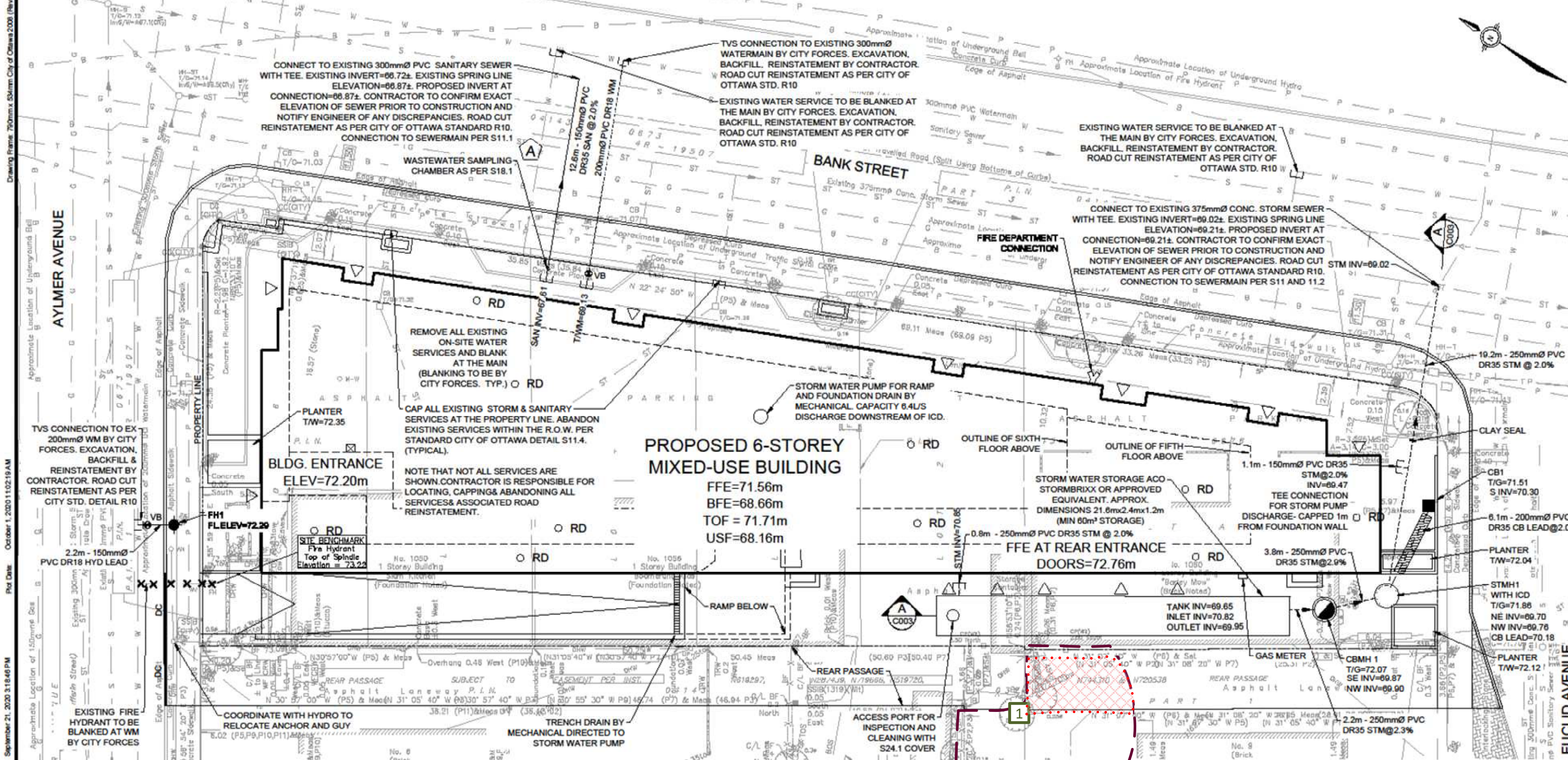
Des: DG
 Drawn: NI
 Utility Circulation No.:
 Construction Inspector:

Scale: 1:150
 HORIZONTAL
 0m 2.5m 5m

PROFESSIONAL ENGINEER
 J.G. FODDES
 2020/09/24
 PROVINCE OF ONTARIO

NOTE: The location of utilities is approximate only, the exact location should be determined by consulting the municipal authorities and utility companies concerned. The contractor shall prove the location of utilities and shall be responsible for adequate protection from damage.

MORRISON HERSCHELF
 200-2932 BASELINE RD.
 OTTAWA, ON K2H 1B1



REVISIONS

No.	Description	By	Date (dd/mm/yy)
0	ISSUED FOR SITE PLAN APPROVAL	J.F.	02/12/19
1	RE-ISSUED FOR SITE PLAN APPROVAL	J.F.	24/09/20



NOTES:
GENERAL

- COORDINATES ARE IN MTM ZONE 9 (78°30' WEST LONGITUDE) NAD-83 (ORIGINAL)
- OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA PRIOR TO STARTING CONSTRUCTION
- ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (OPSS & OPS)
- SERVICES ARE TO BE CONSTRUCTED TO 1.0m FROM FACE OF BUILDING.
- REFER TO "SITE SERVICING AND STORMWATER MANAGEMENT DESIGN BRIEF, 1050&1060 BANK STREET, MIXED-USE DEVELOPMENT" PREPARED BY MORRISON HERSHFIELD FOR SITE SERVICING REPORT
- REFER TO GEOTECHNICAL INVESTIGATION REPORT (NO. PG4506-1 DATED APRIL 8, 2020) PREPARED BY PATERSON GROUP FOR SUBSURFACE CONDITIONS, CONSTRUCTION RECOMMENDATIONS AND GEOTECHNICAL INSPECTION REQUIREMENTS. THE GEOTECHNICAL CONSULTANT SHALL REVIEW EXCAVATIONS PRIOR TO THE PLACEMENT OF GRANULAR MATERIAL.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY ELEVATIONS AT CONNECTION AND CROSSING LOCATIONS PRIOR TO CONSTRUCTION AND ADVISE THE ENGINEER OF ANY DISCREPANCIES.
- UNLESS DIRECTED OTHERWISE ANY DAMAGED ASPHALT OR CURB (REGARDLESS OF WHETHER WITHIN OR EXTERNAL TO THE SITE) SHALL BE REINSTITATED IN ACCORDANCE WITH CITY STD. DET. R10 AND S1.
- UNLESS DIRECTED OTHERWISE THE CONTRACTOR SHALL REINSTATE ALL SIGNS, LIGHTING AND OTHER STREET FURNITURE DISTURBED BY THE WORK.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT TRAFFIC MANAGEMENT PLANS FOR WORK IN RIGHT OF WAY IN ACCORDANCE WITH OTM BOOK 7.

- WATERMAINS**
- CLAY SEALS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD DETAIL S8 AND SHALL BE INSTALLED AT 50m INTERVALS IN ALL PIPE TRENCHES. CLAY SEAL TO EXTEND FULL TRENCH WIDTH AND FROM BOTTOM OF TRENCH EXCAVATION TO UNDERSIDE OF ROAD STRUCTURE, WITH A MINIMUM THICKNESS OF 1m ALONG PIPE.
 - REFER TO DETAIL 1 ON DRAWING C003 FOR WATERMAIN INSTALLATION.
 - ALL WATERMAIN MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE 2019 EDITION OF THE CITY OF OTTAWA STANDARD SPECIFICATIONS AND STANDARD DRAWINGS. PVC PIPE TO BE CLASS 150 DR18 TO LATEST EDITION OF A.W.W.A. SPECIFICATION C900 AND CSA B137.3 LATEST AMENDMENT WITH GASKETED BELL AND SPIGOT COUPLINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WATER PERMIT AS REQUIRED FROM THE CITY OF OTTAWA, AND COMPLYING WITH ALL CITY OF OTTAWA REQUIREMENTS. THE CITY MAY REQUIRE THAT CERTAIN ACTIVITIES (E.G. VALVE OPERATION, CONNECTION OF NEW WATER SERVICE TO EXISTING WATERMAIN, DISINFECTION) BE CARRIED OUT ONLY BY CITY FORCES.
 - ALL VALVES 300mm DIAMETER AND SMALLER SHALL INCLUDE A VALVE BOX AS PER W24.
 - THE NEW WATERMAIN IS TO BE INSTALLED WITH A MINIMUM OF 2.4m COVER (INCLUDING HYDRANT LEAD). WHERE 2.4m COVER IS NOT POSSIBLE, PROVIDE INSULATION IN ACCORDANCE WITH CITY OF OTTAWA STANDARD DETAILS W22 & W23.
 - THRUST RESTRAINT SHALL BE PROVIDED BY BOTH RESTRAINING/RETAINING RINGS AND THRUST BLOCKS AT ALL DEAD END CAPS, PLUGS, VALVES, BENDS AND REDUCERS AS PER CITY OF OTTAWA STANDARD DETAILS W25.3, W25.4, W25.5 AND W25.6. ALL TEMPORARY THRUST RESTRAINTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - TRACER WIRE SHALL BE PROVIDED FOR ALL NEW PVC WATERMAINS IN ACCORDANCE WITH THE SPECIFICATIONS AND CITY OF OTTAWA STANDARD DETAIL W36.
 - CATHODIC PROTECTION SHALL BE PROVIDED FOR ALL NEW WATERMAINS IN ACCORDANCE WITH THE SPECIFICATIONS AND CITY OF OTTAWA STANDARD DETAILS W36, W40, W41, W42 AND W47. CATHODIC PROTECTION OF EXISTING WATERMAINS SHALL ALSO BE PROVIDED AT CONNECTIONS BETWEEN EXISTING AND NEW WATERMAINS.
 - ADJUST ALL VALVE CHAMBERS, VALVE BOXES AND HYDRANTS TO FINISHED GRADE.
- UTILITY NOTE**
- THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWING, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUPPORTING AND PROTECTING ANY EXISTING UTILITIES, AS REQUIRED, IN ACCORDANCE WITH THE UTILITY OWNERS' REQUIREMENTS. CONTRACTOR IS REQUIRED TO OBTAIN LOCATES, IN ADVANCE OF EXCAVATION WORK, AND FORWARD COPIES OF THE LOCATES TO THE CONSULTANT AND THE OWNER PRIOR TO EXCAVATION.
 - ALL CROSSING OF EX. UTILITIES TO BE IN ACCORDANCE WITH CITY STD. DET. S10

NEW STORM STRUCTURE

STRUCTURE	STRUCTURE TYPE	COVER TYPE	TOP OF GRATE	INVERT	NORTHING	EASTING	NOTES
MHST1	701.010	S24.1	71.86	69.70 (NE) 69.76 (NW)	5028644.29	368887.58	WITH ICD
CBMH1	701.010	S19	72.07	69.90 (NW) 69.87 (SE)	5028647.12	368884.90	
CB1	705.010	S19	71.51	70.30 (SW)	5028644.91	368893.63	

INLET CONTROL DEVICE DATA TABLE - STMH1

DESIGN EVENT	ICD TYPE	DIAMETER OF OUTLET PIPE (mm)	DESIGN FLOW (L/s)	WATER ELEVATION (m)	REQUIRED VOLUME (m³)	TOTAL VOLUME PROVIDED
1:5 YR	IPEX Tempest LMF 50	250mm Ø PVC	2.0	70.73	31.9	60m³
1:100 YR	IPEX Tempest LMF 50	250mm Ø PVC	2.4	71.15	50.0	

PIPE CROSSING TABLE

CROSSING	LOWER PIPE	HIGHER PIPE	CLEARANCE	SURFACE ELEVATION
A	150mm Ø SAN OBV=66.94	375mm Ø STM INV=69.28	2.3m±	71.09m

PROPOSED HYDRANT LEAD TABLE

STATION	SURFACE ELEVATION	TWM ELEVATION	COMMENTS
0+000	72.04	69.64±	TVS CONNECTION TO EXISTING 200mm Ø WATERMAIN
0+001.5	72.18	69.78±	200mm Ø VALVE AND VALVE BOX
0+003.0	72.23	69.83±	HYDRANT

PROPOSED WATER SERVICE TABLE

STATION	SURFACE ELEVATION	TWM ELEVATION	COMMENTS
0+000	71.70	68.70±	TVS CONNECTION TO EXISTING 300mm Ø WATERMAIN
0+001.5	71.11	68.71±	CROSS ABOVE 300mm Ø SAN (1.7m± CLEARANCE)
0+005.9	71.10	68.70±	CROSS ABOVE 375mm Ø STM (0.6m± CLEARANCE)
0+013.0	71.48	69.08±	200mm Ø VALVE AND VALVE BOX
0+014.6	71.53	69.13±	CAP 1.0m FROM BUILDING FACE

* TVS CONNECTION TO EXISTING 300mm Ø WATERMAIN. EXACT ELEVATION TO BE FIELD DETERMINED.

NEW WATERMAIN

NEW SANITARY SEWER

NEW STORM SEWER

NEW MANHOLE

NEW VALVE AND VALVE BOX

NEW HYDRANT

NEW CAP

NEW CATCH BASIN

NEW STORM CB LEAD

NEW ENTRANCE

NEW FIRE DEPARTMENT CONNECTION

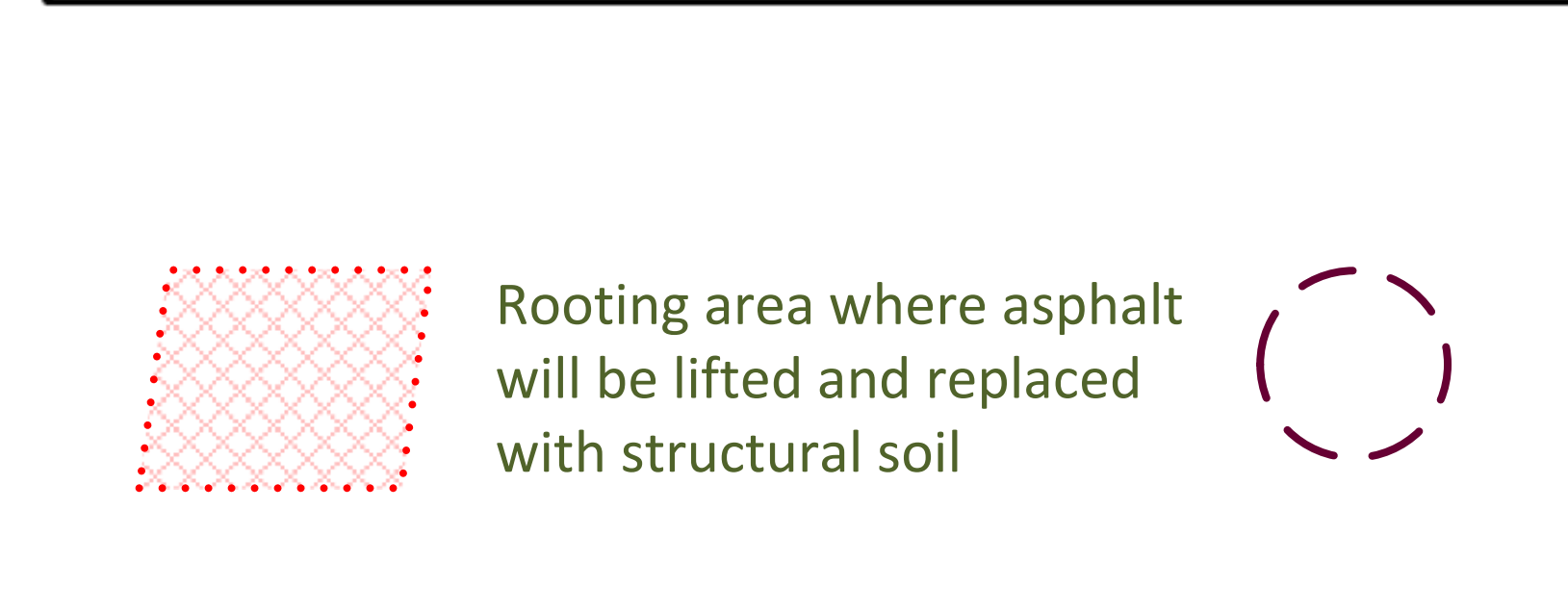
NEW ROOF DRAIN

NEW THERMAL INSULATION FOR SHALLOW SEWERS

EXISTING STORM SEWER

EXISTING SANITARY SEWER

EXISTING WATERMAIN



Note that the tree layer has been added to the original site servicing plan supplied by the client in pdf format. This layer refers to the trees only, and the original site servicing plan has not been altered in the process.



Tree Conservation Report Addendum – 1050/1060 Bank Street
 Tree layer prepared by Dendron Forestry Services
 Version 1.0, November 20, 2020
 For more information, please contact info@dendronforestry.ca