

1 LOCATION PLAN  
A010 SCALE N.T.S.

**PROJECT ZONING REVIEW/STATISTICS**

**Municipality:** City of Ottawa  
**Municipal Address:** 35-37 William Street  
**Registered Owner:** Vittoria Trattoria  
**Lot Area:** Site Area: 479 sq.m. (5.081 sq.ft (0.12 acres))  
**Zoning Analysis:** Ottawa  
**Zoning By-law:** 2008-250  
**Zone:** MD2 S73  
**Proposed Use:** Restaurant & Hotel

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Basement	457	4,919
Ground Floor	472	5,081
Second Floor	424	4,564
Third Floor	362	3,897
Fourth Floor	344	3,703
<b>Grand Total</b>	<b>2,059</b>	<b>22,163</b>

Development Standards	Required	Provided
Minimum Lot Area	No min.	479 sq.m.
Minimum Lot Frontage	No min.	11.685 m
Maximum Lot Coverage	No max.	100%
Minimum Required Yard		
Front Yard	No min.	0 m
Exterior Side Yard	No min.	0 m
Interior Side Yard	No min.	0 m
Rear Yard	No min.	0 m
Maximum Building Height	9.2 m	13.5 m
Minimum Width of Landscaping		
Abutting a Street	No min.	0 m
All other cases	No min.	0 m
Maximum Width of Any Permitted Uses on the Ground Floor	21 m	11.685 m

Parking, Loading, Queuing		
Parking Spaces	0	0*
Accessible Parking Spaces	0	0
Bicycle Parking		
Restaurant (1/250sqm @ 371sqm)	1	1
Hotel (1/1000sqm of hotel use @ 865sqm)	1	1
Loading Spaces (3.5m x 7m)	0	0***

\* No parking required as per Subsection 101(2) (Area Z on Schedule 1A)  
 \*\* No visitor parking required for first 12 units as per Subsection 102(2) (Table 113A)  
 \*\*\* (Table 113A)

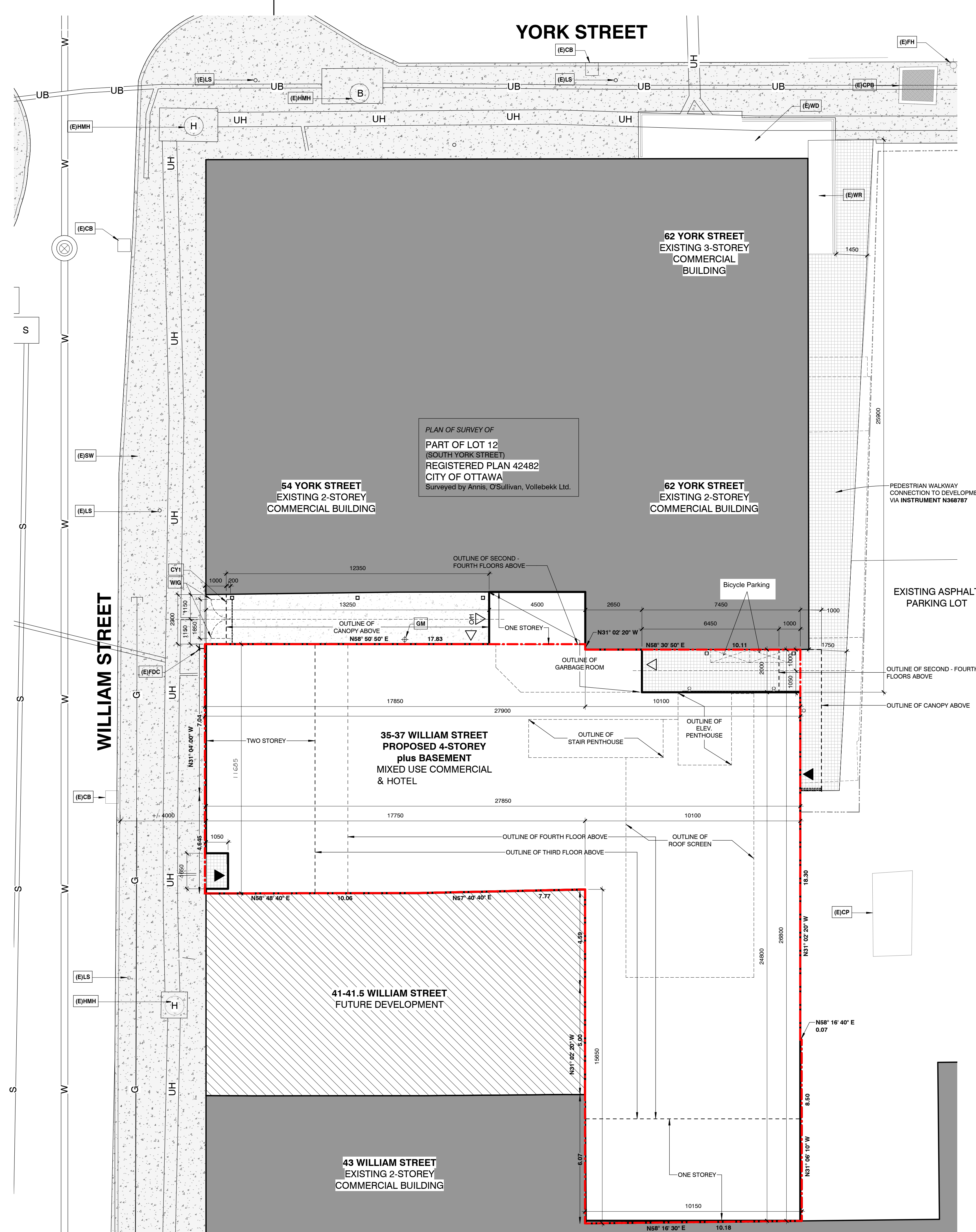
**SITE PLAN LEGEND**

ICON	DESCRIPTION
[Pattern]	Existing Concrete
[Pattern]	Proposed Concrete
[Pattern]	Existing Landscape Area
[Pattern]	Proposed Landscape Area
[Pattern]	Existing Paver Walkway
[Pattern]	Proposed Paver Walkway - See Landscape
[Pattern]	Existing Buildings
[Pattern]	Proposed Buildings
[Pattern]	Existing Concrete Curb
[Pattern]	Proposed Concrete Curb
[Pattern]	Overhead Wires
[Pattern]	Property Lines
[Pattern]	Road Lanes
[Pattern]	Existing Fence
[Pattern]	Proposed Fence
[Symbol]	Water Main
[Symbol]	Underground Hydro
[Symbol]	Underground Ball
[Symbol]	Gas Main
[Symbol]	Sanitary Sewer
[Symbol]	Lamp Post
[Symbol]	BF Parking Space
[Symbol]	6m Wide Fire Route (12m centreline radius on all turns, TYP.)
[Symbol]	Principal Entrance Door
[Symbol]	Exterior Door ("OH" indicates Overhead Door)

**SITE PLAN NOTES**

Note #	Note Text
(E)CB	Existing Catch Basin
(E)CP	Existing Light Standard
(E)CPB	Existing Concrete Planter Box
(E)FDC	Existing Fire Department Connection
(E)FH	Existing Fire Hydrant
(E)HMH	Existing Hydro Maintenance Hole
(E)LS	Existing Light Standard
(E)SW	Existing Sidewalk
(E)WD	Existing Wooden Deck
(E)WR	Existing Wooden Ramp
CY1	Canopy extends 1 m in depth from the William Street lot line.
GM	Gas Meter
WIG	Wrought Iron Gate

[Symbol] Bicycle Parking



2 SITE PLAN  
A010 SCALE 1:100

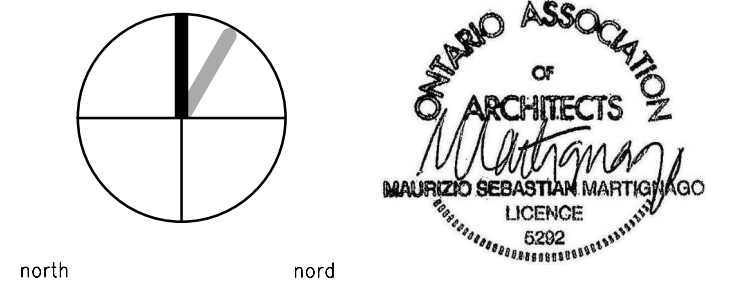
**NOTES:**

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

**GENERAL SITE PLAN NOTES:**

- Exterior site lighting shall be directed onto the site away from adjacent properties. See Electrical Drawings.
- Read this drawing in conjunction with the Civil Engineering Drawings and Electrical Drawings.

no.	revision	date
1	ISSUED FOR SITE PLAN APPROVAL	02 JUNE 2020



383 Parkdale Avenue, Suite 201  
Ottawa Ontario Canada K1Y 4R4

**KWC ARCHITECTS INC.**  
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detail no.	1	detail no.
sheet no.	A1	feuille no.

**PROPOSED MIXED-USE  
COMMERCIAL &  
HOTEL**  
 35-37 WILLIAM ST.  
 OTTAWA, ON.

designed by conçu par	AK/TC	approved by approuvé par	
drawn by dessiné par		project no. no. du projet	2002
date	2 DECEMBER 2019	scale	as noted
drawing / dessin			

**SITE PLAN**

1 SHEET NO. A010

#18099

plot scale 1:1



plot scale 1:1



1 WEST ELEVATION  
A012 SCALE 1:100



2 NORTH ELEVATION  
A012 SCALE 1:100



3 EAST ELEVATION  
A012 SCALE 1:100



4 SOUTH ELEVATION  
A012 SCALE 1:100

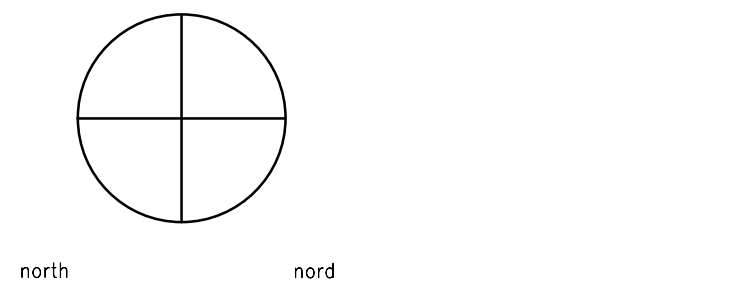
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**ELEVATION NOTES**

Note #	Note Text
(E)PBW	Existing Painted Brick Wall
(E)SW	Existing Stone Wall
AW	Aluminum Windows c/w Clear Glass
CB	Concrete Base
CX1	Sintered Ceramic Panel Facade System (Ceramitex or Similar), Colour TBD
CX2	Sintered Ceramic Panel Facade System (Ceramitex or Similar), Colour TBD
CX3	Sintered Ceramic Panel Facade System (Ceramitex or Similar), Colour TBD
CY1	Canopy over Feather's Lane c/w recessed Pot Lights. See Electrical
CY2	Canopy over Hotel Entrance, c/w recessed Pot Lights. See Electrical
CY3	Canopy extends 1 m in depth from the William Street lot line.
DWB	Painted Decorative Wood Base
FA	Fabric Awning c/w Business' Logo
GPD	Aluminum Curtain Wall System c/w Clear Glass, Sliding Patio Doors
GR	Clear Glass Railing
GS	Glass Spandrel
LF	Wall-mounted Light Fixture; See Electrical
MC	Prefinished Metal Cornice
MV	Masonry Veneer
PMS	Prefinished Metal Perforated Screen
PS	Privacy Screen
SF1	Aluminum Storefront c/w Clear Glass
SF2	Aluminum Storefront c/w Clear Glass, Operable Sliders
STRY1	One-storey portion of 35 & 37 William Street building that is located between 13.25 m from the lot line and extends 4.5 m back (to be waste room).
STRY2	Two-storey portion of existing 62 York Street building that abuts the 35 & 37 William Street building.
WC	Painted Wood Cornice
WIG	Wrought Iron Gate

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**BUILDING ELEVATIONS**

revision 1 sheet no. **A012**  
no. de la feuille