

1 LOCATION PLAN
A010 SCALE: N.T.S.

PROJECT ZONING REVIEW/STATISTICS

Municipality: City of Ottawa
 Municipal Address: 35-37 William Street
 Registered Owner: Vittoria Trattoria
 Lot Area: Site Area: 479 sq.m. (5.081 sq.ft. (0.12 acres))
 Zoning Analysis: Ottawa
 Zoning By-law: 2008-250
 Zone: MD2 S73
 Proposed Use: Restaurant & Hotel

Building Areas	Sq.m.	Gross Floor Area Sq.ft.
Basement	133	1,432
Ground Floor	303	3,261
Second Floor	309	3,326
Third Floor	264	2,841
Fourth Floor	247	2,659
Grand Total	1,256	13,518
Mechanical Penthouse	35	377

Private Amenity Space	Sq.m.	Sq.ft.
Second Floor	44	474
Third Floor	48	517
Fourth Floor	12	129

Development Standards	Required	Provided
Minimum Lot Area	No min.	479 sq.m.
Minimum Lot Frontage	No min.	11.685 m
Maximum Lot Coverage	No max.	100%
Minimum Required Yard		
Front Yard	No min.	0 m
Exterior Side Yard	No min.	0 m
Interior Side Yard	No min.	0 m
Rear Yard	No min.	0 m
Maximum Building Height	9.2 m	13.8 m
Minimum Width of Landscaping		
Abutting a Street	No min.	0 m
All other cases	No min.	0 m
Maximum Width of Any Permitted Ground Floor	Uses on the 6m	11.685 m

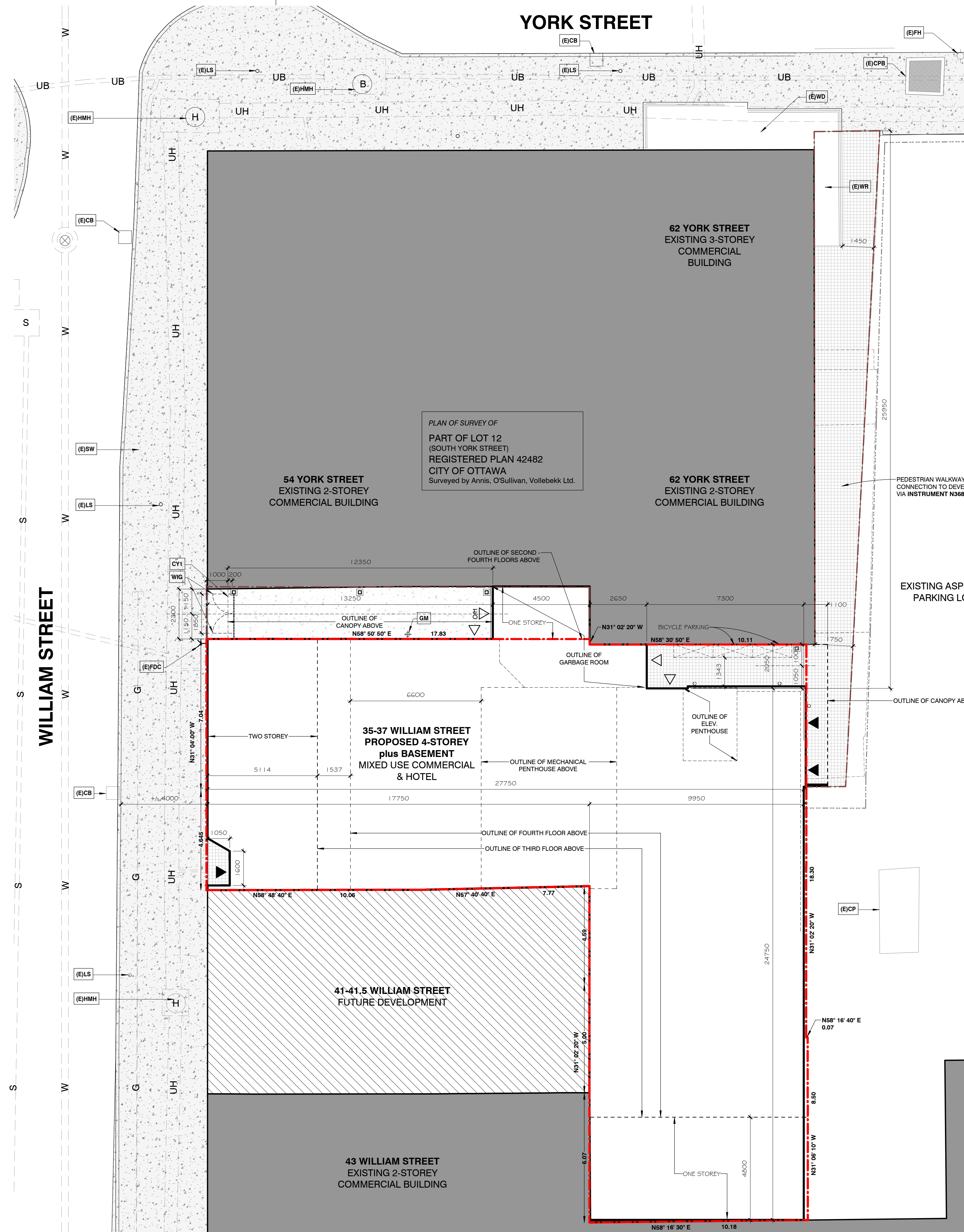
Parking, Loading, Queueing		
Parking Spaces	0	0*
Accessible Parking Spaces	0	0
Bicycle Parking		
Restaurant (1/250sq.m. @ 436 sq.m.)	1	2
Hotel (1/1000sq.m. of hotel use @ 820 sq.m.)	1	1
Loading Spaces (3.5m x 7m)	0	0***

ICON	DESCRIPTION
[Symbol]	Existing Concrete
[Symbol]	Proposed Concrete
[Symbol]	Existing Landscape Area
[Symbol]	Proposed Landscape Area
[Symbol]	Existing Paver Walkway
[Symbol]	Proposed Paver Walkway - See Landscape
[Symbol]	Existing Buildings
[Symbol]	Proposed Buildings
[Symbol]	Existing Concrete Curb
[Symbol]	Proposed Concrete Curb
[Symbol]	Overhead Wires
[Symbol]	Property Lines
[Symbol]	Road Lanes
[Symbol]	Existing Fence
[Symbol]	Proposed Fence
[Symbol]	Water Main
[Symbol]	Underground Hydro
[Symbol]	Underground Bell
[Symbol]	Gas Main
[Symbol]	Sanitary Sewer
[Symbol]	Lamp Post
[Symbol]	BF Parking Space
[Symbol]	6m Wide Fire Route (12m centerline radius on all turns, TYP.)
[Symbol]	Principal Entrance Door
[Symbol]	Exterior Door ('O/H' indicates Overhead Door)
[Symbol]	Bicycle Parking

NOTE #	NOTE TEXT
(E)CB	Existing Catch Basin
(E)CP	Existing Light Standard
(E)CPB	Existing Concrete Planter Box
(E)FDC	Existing Fire Department Connection
(E)FH	Existing Fire Hydrant
(E)HMH	Existing Hydro Maintenance Hole
(E)LS	Existing Light Standard
(E)SW	Existing Sidewalk
(E)WD	Existing Wooden Deck
(E)WR	Existing Wooden Ramp
CY1	Canopy extends 1 m in depth from the William Street lot line.
GM	Gas Meter
WIG	Wrought Iron Gate

Douglas James
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 MANAGER, DEVELOPMENT REVIEW - CENTRAL
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

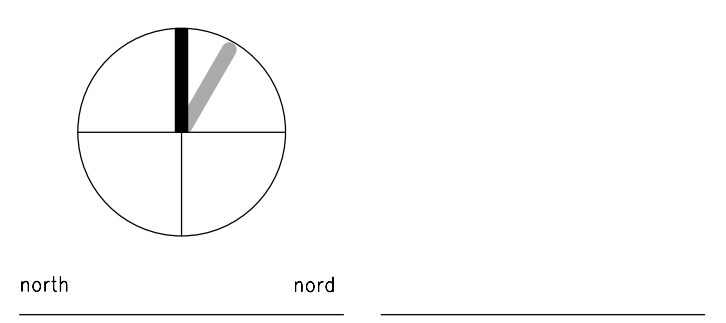
APPROVED
 By Douglas James at 1:12 pm, Apr 06, 2021



2 SITE PLAN
A010 SCALE: 1 : 100

NOTES:
 Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.
GENERAL SITE PLAN NOTES:
 1. Exterior site lighting shall be directed onto the site away from adjacent properties. See Electrical Drawings.
 2. Read this drawing in conjunction with the Civil Engineering Drawings and Electrical Drawings.

1 Issued for Site Plan Approval 24 Nov 2020
 no. revision date



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detail no. 1 detail no.
 sheet no. A010 feuille no.

**PROPOSED MIXED-USE
 COMMERCIAL & HOTEL**

35-37 William Street
 Ottawa, ON.

designed by MM / SK approved by
 conçu par approuvé par

drawn by TC project no. 2002
 dessiné par no. du projet

date 26 OCTOBER 2020 scale as noted

drawing / dessin

SITE PLAN

revision 1 sheet no. A010
 no. de la feuille

plot scale 1:1



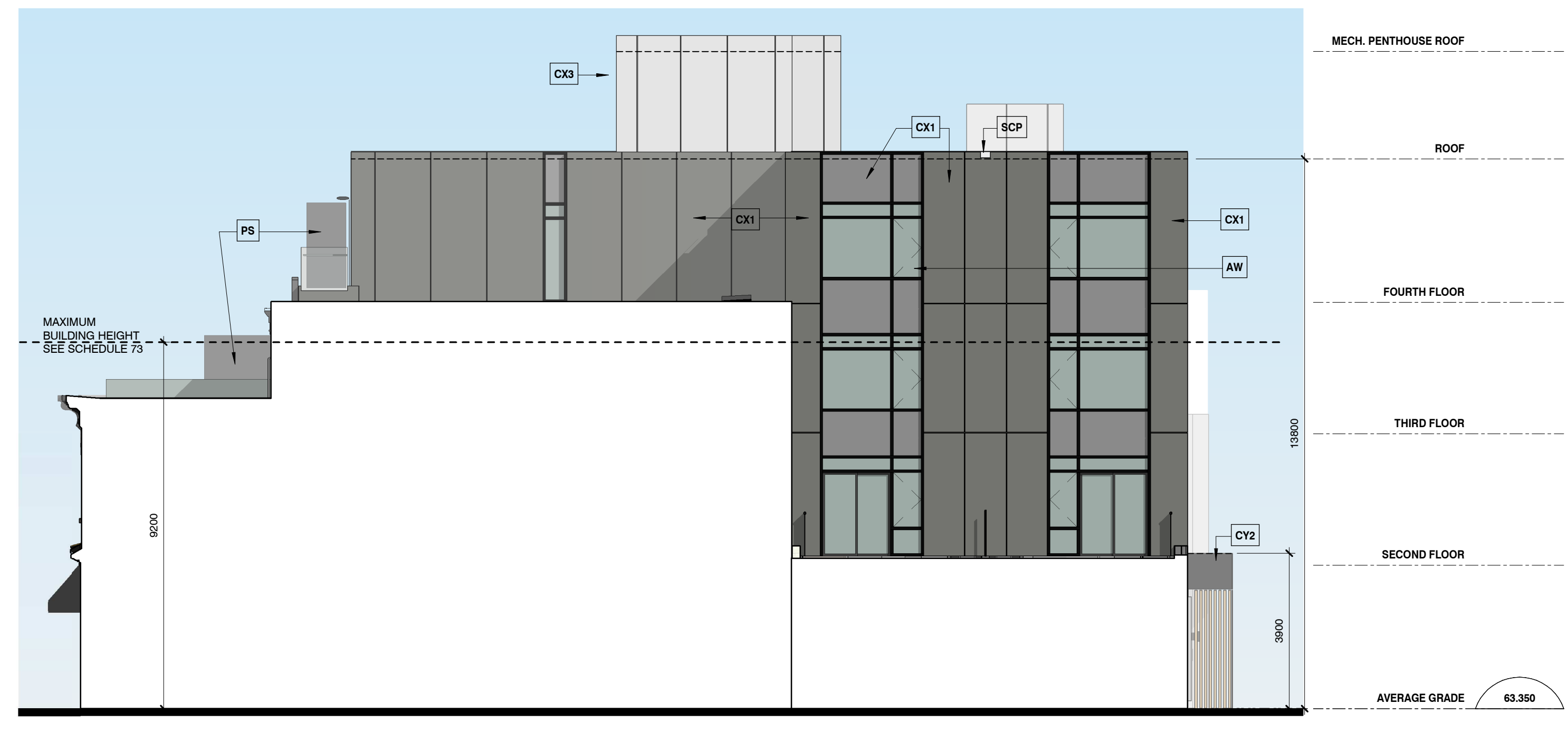
1 WEST ELEVATION
SCALE: 1 : 100



2 NORTH ELEVATION
SCALE: 1 : 100



3 EAST ELEVATION
SCALE: 1 : 100



4 SOUTH ELEVATION
SCALE: 1 : 100

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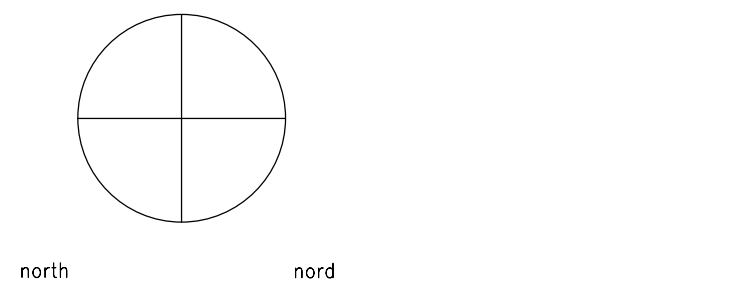
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ELEVATION NOTES

Note #	Note Text
(E)PBW	Existing Painted Brick Wall
(E)SW	Existing Stone Wall
AW	Aluminum Windows c/w Clear Glass
CB	Concrete Base
CX1	Sintered Ceramic Panel Facade System (Ceramitex or Similar); Colour TBD
CX2	Sintered Ceramic Panel Facade System (Ceramitex or Similar); Colour TBD
CX3	Sintered Ceramic Panel Facade System (Ceramitex or Similar); Colour TBD
CY1	Canopy over Feather's Lane C/W recessed Pot Lights. See Electrical
CY2	Canopy over Residential Entrance, c/w recessed Pot Lights. See Electrical
CY3	Canopy extends 1 m in depth from the William Street lot line.
DWB	Painted Decorative Wood Base
FA	Fabric Awning c/w Business' Logo
GPD	Aluminum Curtain Wall System c/w Clear Glass, Sliding Patio Doors
GR	Clear Glass Railing
GS	Glass Spandrel
LF	Wall-mounted Light Fixture; See Electrical
MC	Prefinished Metal Cornice
MV	Masonry Veneer
PMS	Prefinished Metal Perforated Screen
PS	Privacy Screen
SCP	Scupper Drain
SF1	Aluminum Storefront c/w Clear Glass
SF2	Aluminum Storefront c/w Clear Glass, Operable Sliders
STRY1	One-storey portion of 35 & 37 William Street building that is located between 13.25 m from the lot line and extends 4.5 m back (to be waste room).
STRY2	Two-storey portion of existing 62 York Street building that abuts the 35 & 37 William Street building.
WC	Painted Wood Cornice
WIG	Wrought Iron Gate

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sheet no.	A101	feuille no.

project / projet

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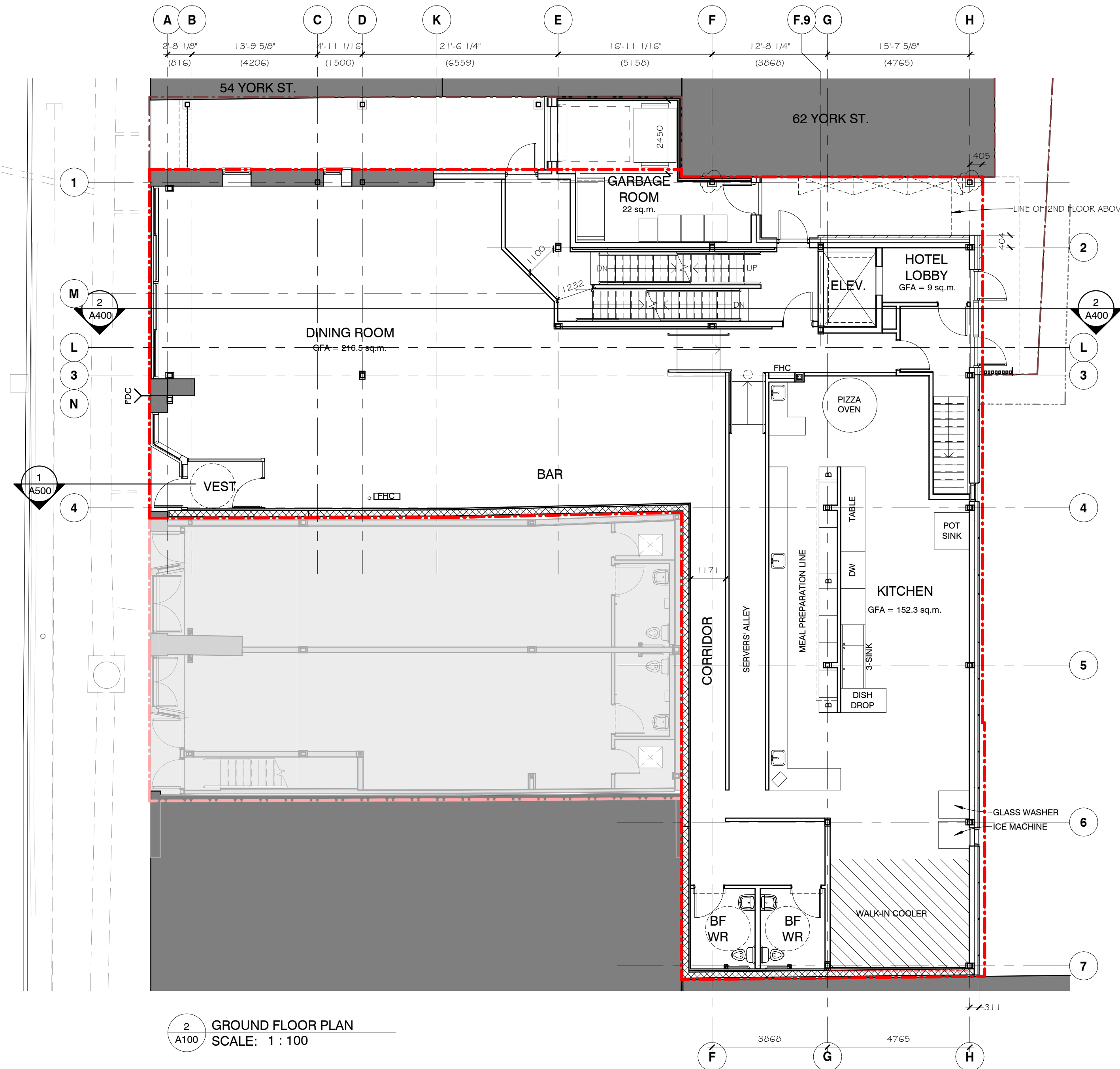
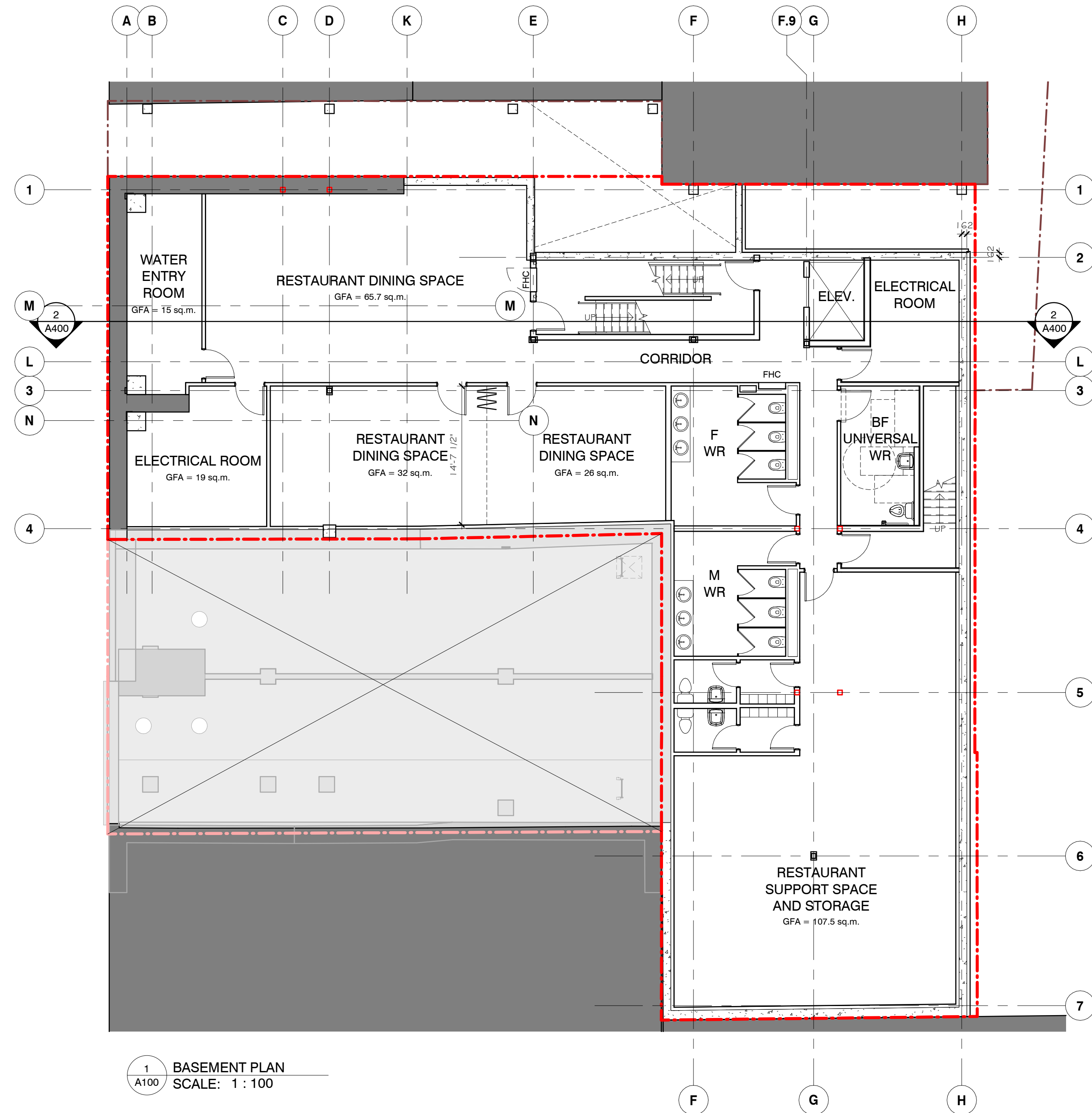
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BUILDING ELEVATIONS

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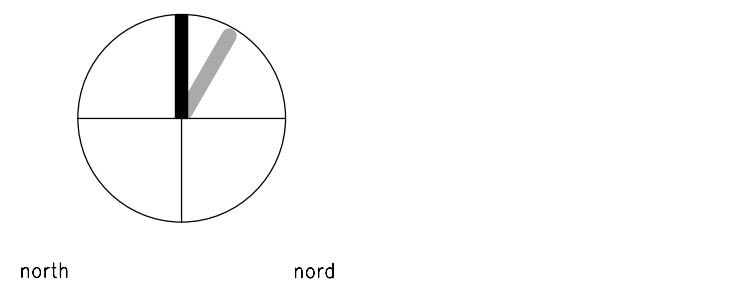
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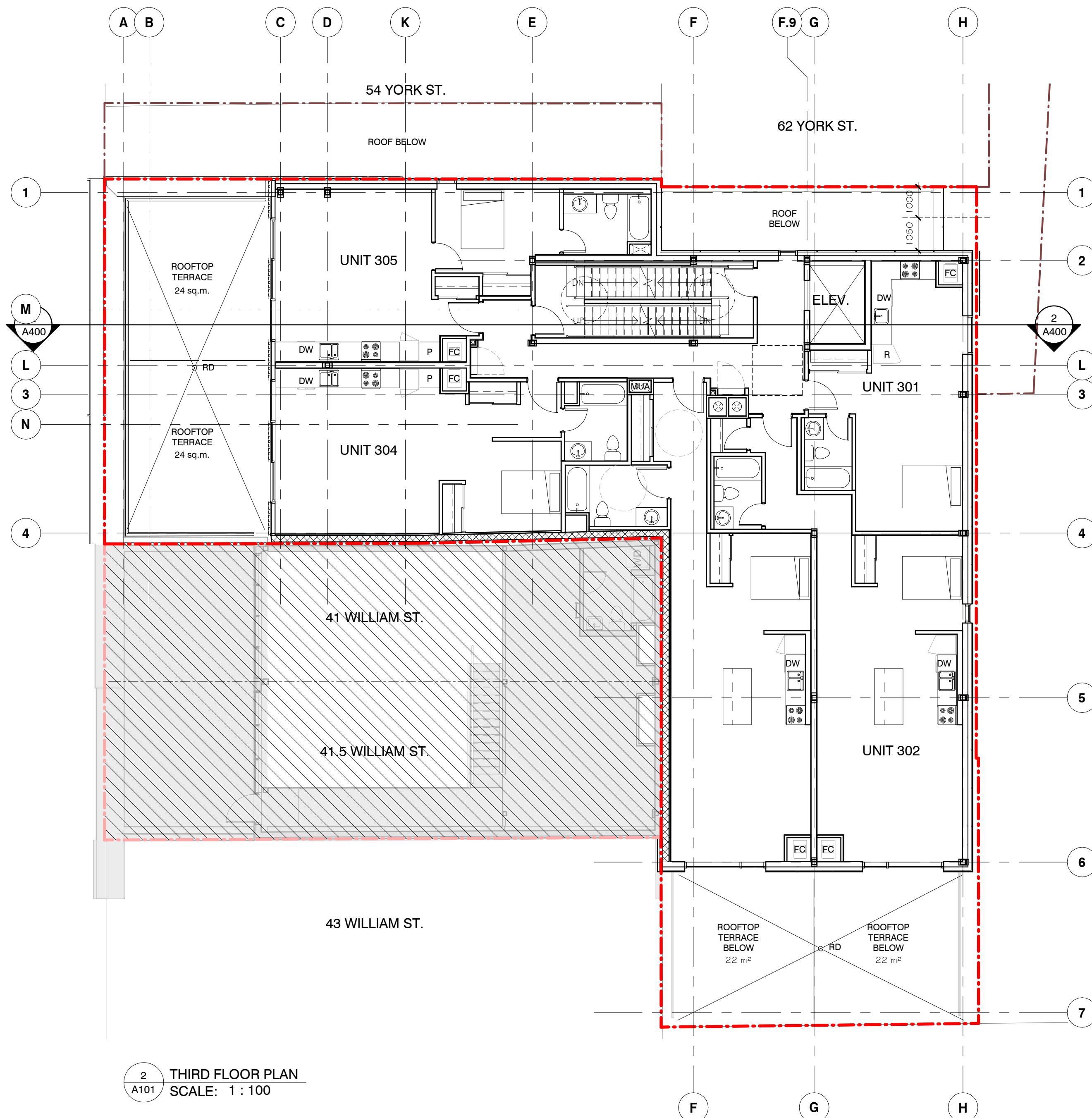
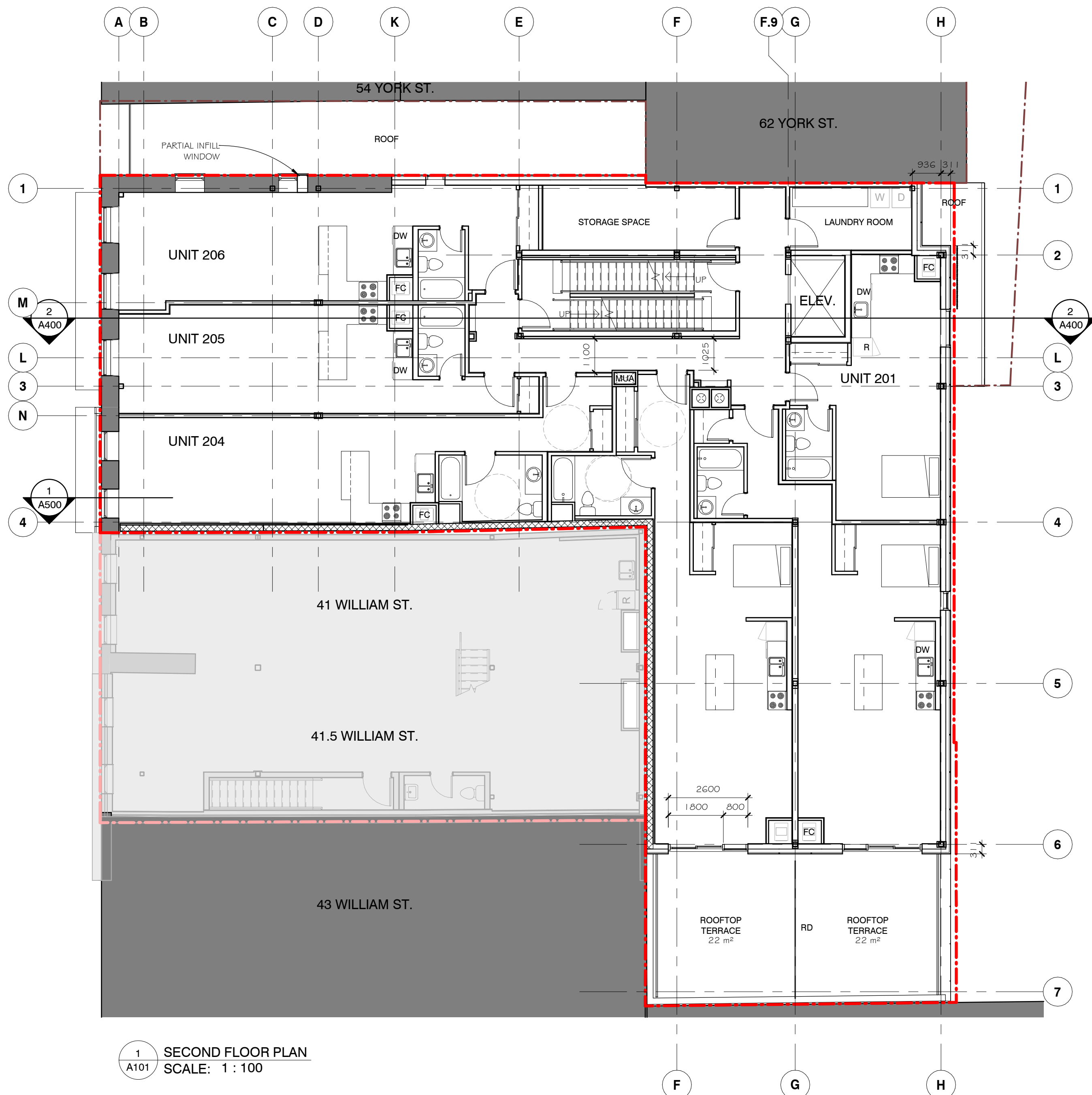
**BASEMENT PLAN,
 GROUND FLOOR PLAN**

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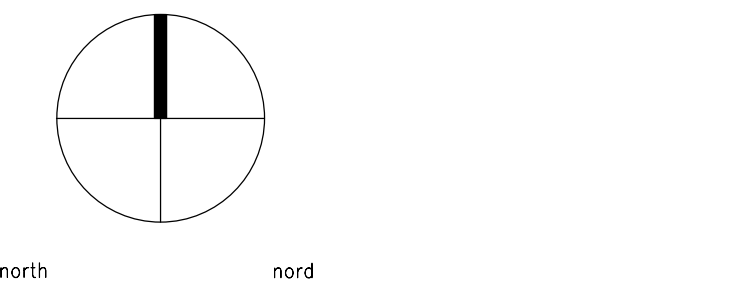
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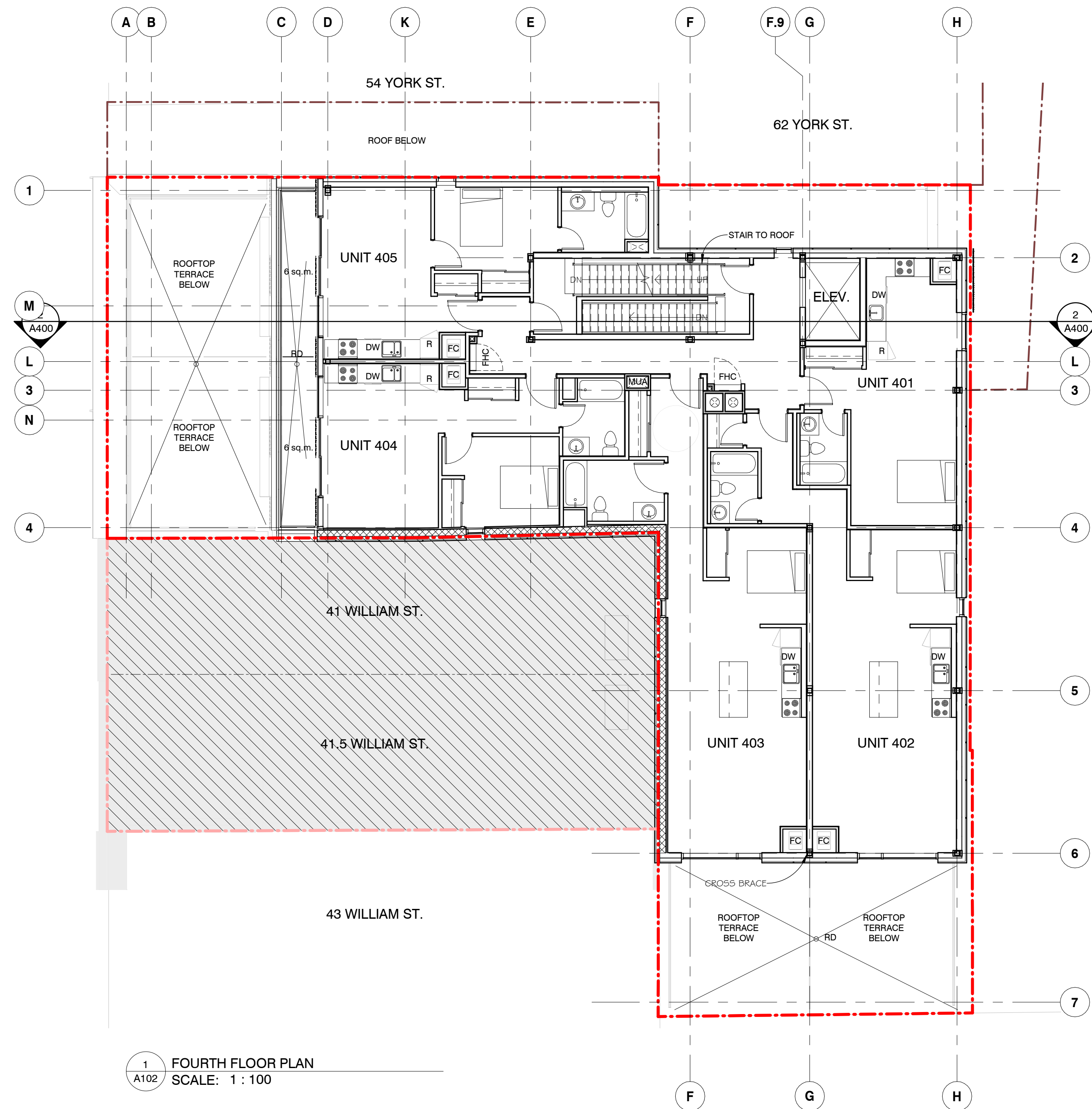
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**SECOND FLOOR PLAN,
 THIRD FLOOR PLAN**

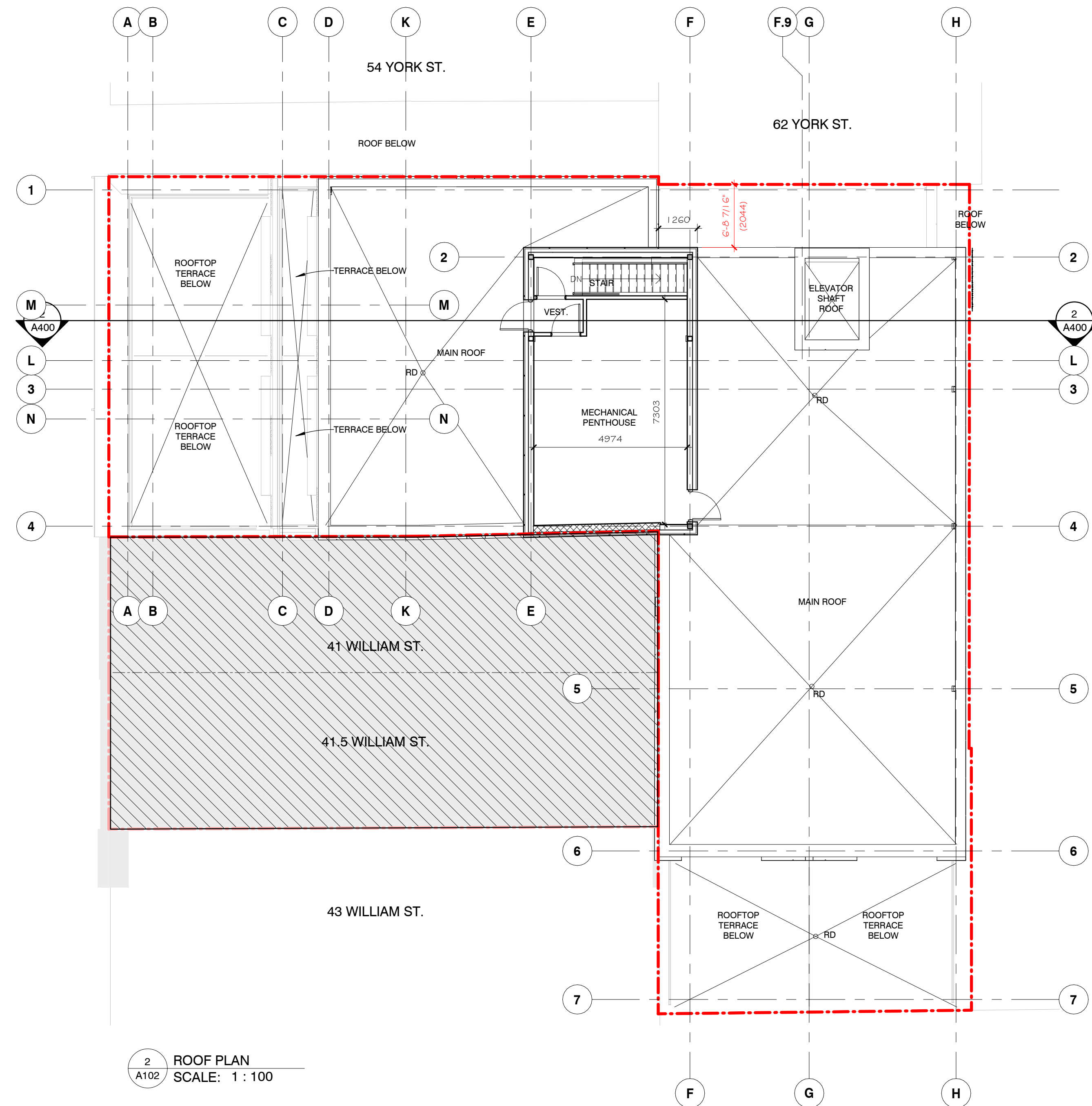
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1
A102 FOURTH FLOOR PLAN
SCALE: 1 : 100

DJ
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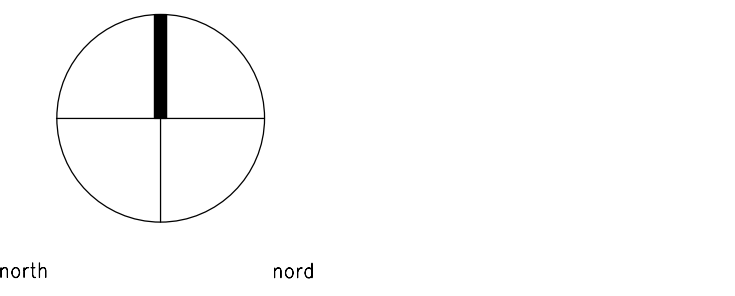


2
A102 ROOF PLAN
SCALE: 1 : 100

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**FOURTH FLOOR PLAN,
ROOF PLAN**