

Cultural Heritage Impact Statement

35-37 William Street, Ottawa



Image courtesy of KWC Architects

Report Prepared for: Mr. Domenic Santaguida

RMA Project No.: 19136

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Report Prepared by:



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A. Introduction

Robertson Martin Architects (The Consultant) was retained in August 2019 by Domenic Santaguida (the Client) to provide a *Cultural Heritage Impact Statement (CHIS)* for a proposed development at 35-37 William Street (the Site) by KWC Architects (the Architect).

Section 4.6.1 of the City of Ottawa Official Plan has policies that outline when a *Cultural Heritage Impact Statement (CHIS)* is required and provides the evaluation requirements for reviewing the impact of a proposed development on cultural heritage resources when development is proposed that has the potential to:

- Adversely impact the cultural heritage value of properties designated under *Part IV* of the Ontario Heritage Act (OHA); and
- Adversely impact the cultural heritage value of districts designated under *Part V* of the OHA.

In addition:

- A *CHIS* may also be required for development applications adjacent to or within 35 meters of designated buildings and areas; and
- A *CHIS* is required when demolition is proposed.

The currently proposed development involves the partial demolition and reconstruction of existing buildings on the site, which lies within the confines of the *Byward Market Heritage Conservation District* that has been designated by the City of Ottawa under Part V of the Ontario Heritage Act (Bylaw 60-91). The consultant was tasked to evaluate the impact of the proposed development on the heritage character of the site and surrounding area in a manner that is consistent with the City of Ottawa Official Plan Section 4.6.1.

B. General Information

The proposed development is located in the Byward Market Heritage Conservation District close to the corner of William and York Streets, involving two existing lots at 35 and 37 William Street (see Figure 1). The Architect has been engaged by the owner of 35-37 William St for the reconstruction of this property following the fire of April 12, 2019. (See Figure 1).

The proposed redevelopment will include the conservation and restoration of the William Street masonry facades "in situ". It is also proposed that the reconstructed building will expand beyond its existing footprint to include the unused rear yard of 62 York Street. The former restaurant Vittoria Trattoria will re-occupy the ground floor with residential apartments above.



Figure 1: Location of the properties proposed for incorporation within the new development. (Google)

C. Current Conditions/ Introduction to Development Site

According to the Fire Insurance map from 1878 city (Figure 2) the buildings at 33-35 William Street formed initially a single entity representing the Feathers Hotel from the date of its construction around 1878 to the date of its closure in 1901 (see Figure 2). The former 2 ½ storey building at 35 William Street (currently 37 William Street) was demolished and rebuilt in 1913.

Archivist Paul Henry stated that the building at 33 William Street (actually 35 William Street) underwent renovations to house different businesses (e.g. second-hand shop then a clothing shop) at the time where shopkeepers and their families often lived above their businesses. From 1975 to 1980, 35 William Street was occupied by Iberica Meats (butcher). Following seven years of vacancy, the building was used as restaurants by Sunset Seafood and Pasta, followed by L.A. Wings in 1992, Willy's in 1993, and Vittoria Trattoria in 1995.

Throughout decades, the use of the buildings at 35-37 William Street have been adapted to the changing market orientation and have been part of the dynamic change of the Byward Market.

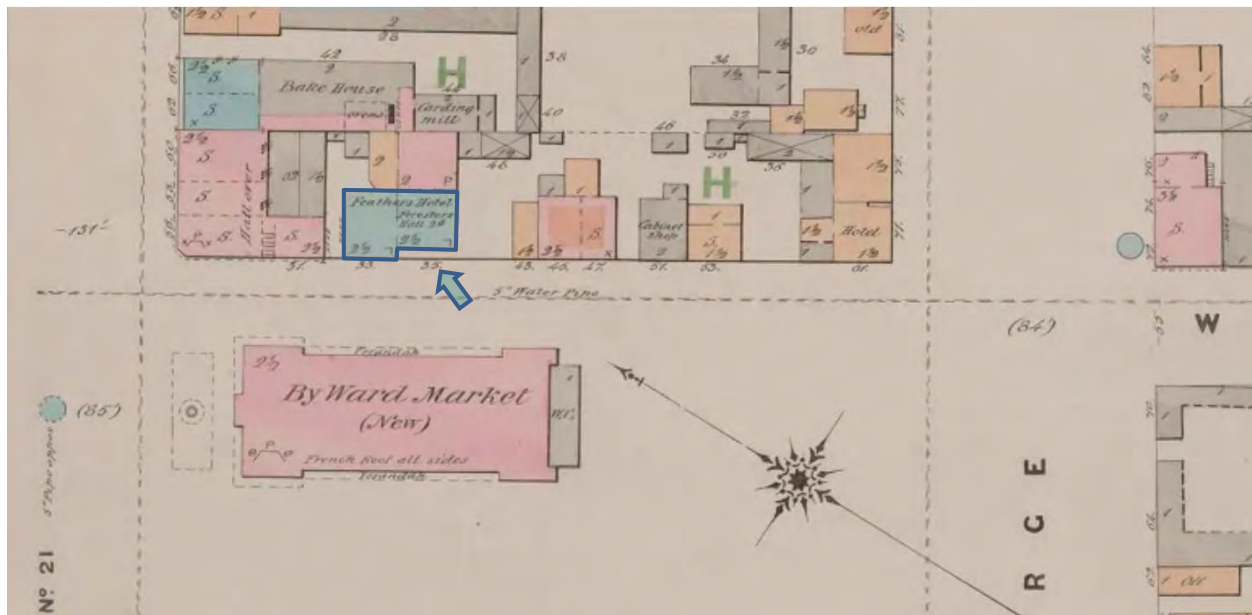


Figure 2: Fire insurance map from 1878, the Feathers Hotel occupied 33 and 35 William St.

<https://www.cbc.ca/news/canada/ottawa/history-of-35-william-street-1.5099054>

The existing early 19th century buildings, within the proposed development site, have maintained their overall integrity, despite interior alterations and changes through time.

The most prominent of these structures is the Italianate commercial vernacular 2 1/2 storey stone building at 35 William Street, which is associated historically to the Feathers Hotel and the construction of a new market building on William Street in 1960.

According to the City of Ottawa's *Heritage Survey and Evaluation Form*, which was prepared in 1989, the ground floor opening of the building is original, but its wooden storefront was modified from two-bay to one bay. The second floor has preserved its original segmental arched window openings; however, the decorative wooden cornice is not original. The commercial vernacular brick building at 37 William Street was constructed following the destruction of its predecessor by fire. It is a 2 storey structure, with a slightly modified traditional commercial storefront at the ground floor and a second-floor brick veneer with regular window openings.

Both buildings of the proposed development site are located within the *Byward Market Heritage Conservation District*. The conducted *Heritage Conservation District Study* includes a *Heritage Character Statement* for the district and *Street Guidelines* which are applicable in the assessment of this development proposal. (See *Annex C* for full *Byward Market Statement of Significance*).

The development site is located in the *Byward Market Heritage Conservation District* which was designated under Part V of the OHA by the City of Ottawa *By-Law 60-91*. (see Figure 3). The development site is subject to *Heritage Overlay* provision contained in the City of Ottawa *Comprehensive Zoning By-Law 2008-250 Consolidation Section 60 Additions (3) and (4)*, which requires that the proposed development "maintain the same character, scale, massing, volume, floor area, and footprint of the existing building".

The development site falls also along the boundary line of the *MD 2 – S73 (Mixed-Use Downtown Zone, Schedule 73)*. The *MD* zone category permits a wide range of mixed uses aiming at supporting the *Central Area*, as a place for employment, shopping, residence, cultural and entertainment uses, as well as *maintaining the distinct character of the Central Area by continuing to serve as a primary business or shopping area.* (see Figure 4 and Figure 5).

According to the City of Ottawa *Zoning By-law*, the purpose of the *MD – Mixed-Use Downtown Zone* is to:

1. support the **Central Area**, as designated in the *Official Plan*, as the central place in the region for employment and shopping while also allowing residential, cultural and entertainment uses;
2. ensure that the *Character Areas in the Central Area*, namely the *Core Area*, the *Parliamentary Precinct*, the *ByWard Market*, the *Rideau/Congress Centre*, the *Canal Area*, *Lowertown*, *Upper Town*, *Sandy Hill West*, *LeBreton Flats* and the four *Business Improvement Areas*, *Rideau*, *Sparks*, *ByWard Market* and *Bank Streets*, continue to serve as primary business or shopping areas and maintain their distinct character;
3. facilitate more intense, compatible and complementary development to ensure that the active, pedestrian oriented environment at street level, particularly along *Bank Street*, *Sparks Street* and *Rideau Street* is sustained; and
4. impose development standards that will protect the visual integrity and symbolic primacy of the *Parliament Buildings* and be in keeping with the existing scale, character and function of the various *Character Areas* and *Business Improvement Areas in the Central Area* while having regard to the heritage structures of the *Central Area*.

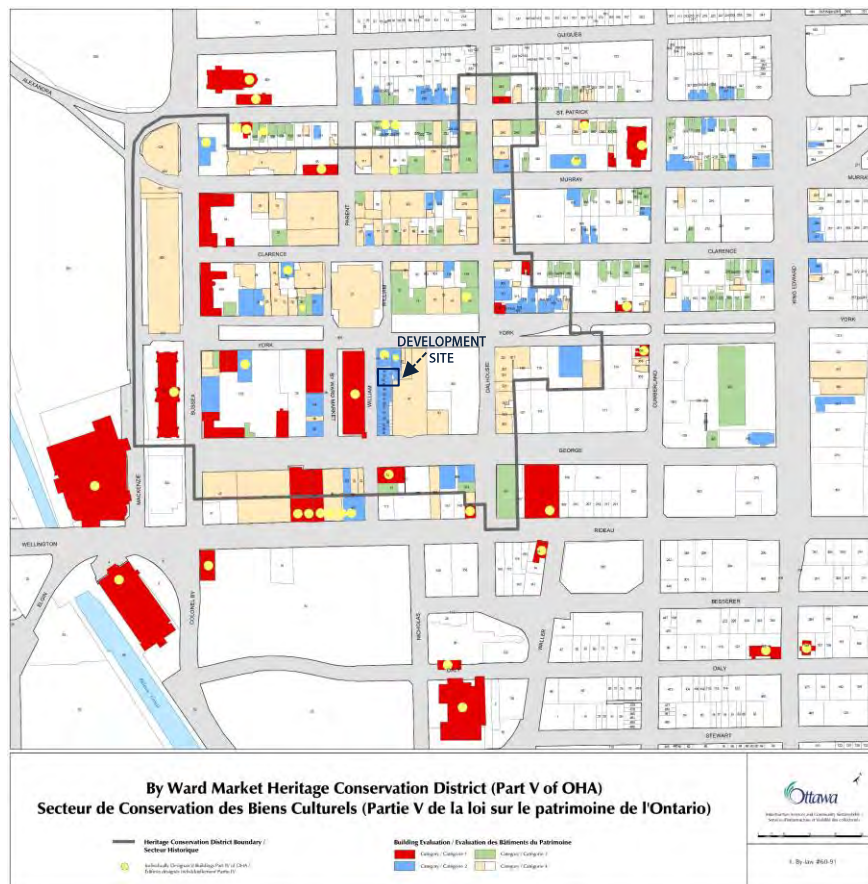


Figure 3: Centretown Heritage Conservation District, City of Ottawa. 35-37 William Street By law 60-91. (Red = category 1, light blue = category 2, light green = category 3, Beige/white = category 4)

Nevertheless, the proposed new building will have a larger footprint than the existing, extended to the northeast to include the unused rear yard of 62 York Street (10.208m), which will double its floor area. Two set back floors will be added to the building extending its height to 13.400m, which is 4.250m higher than the permitted height. This will result in a building of similar scale at the street level but with slightly greater volume.

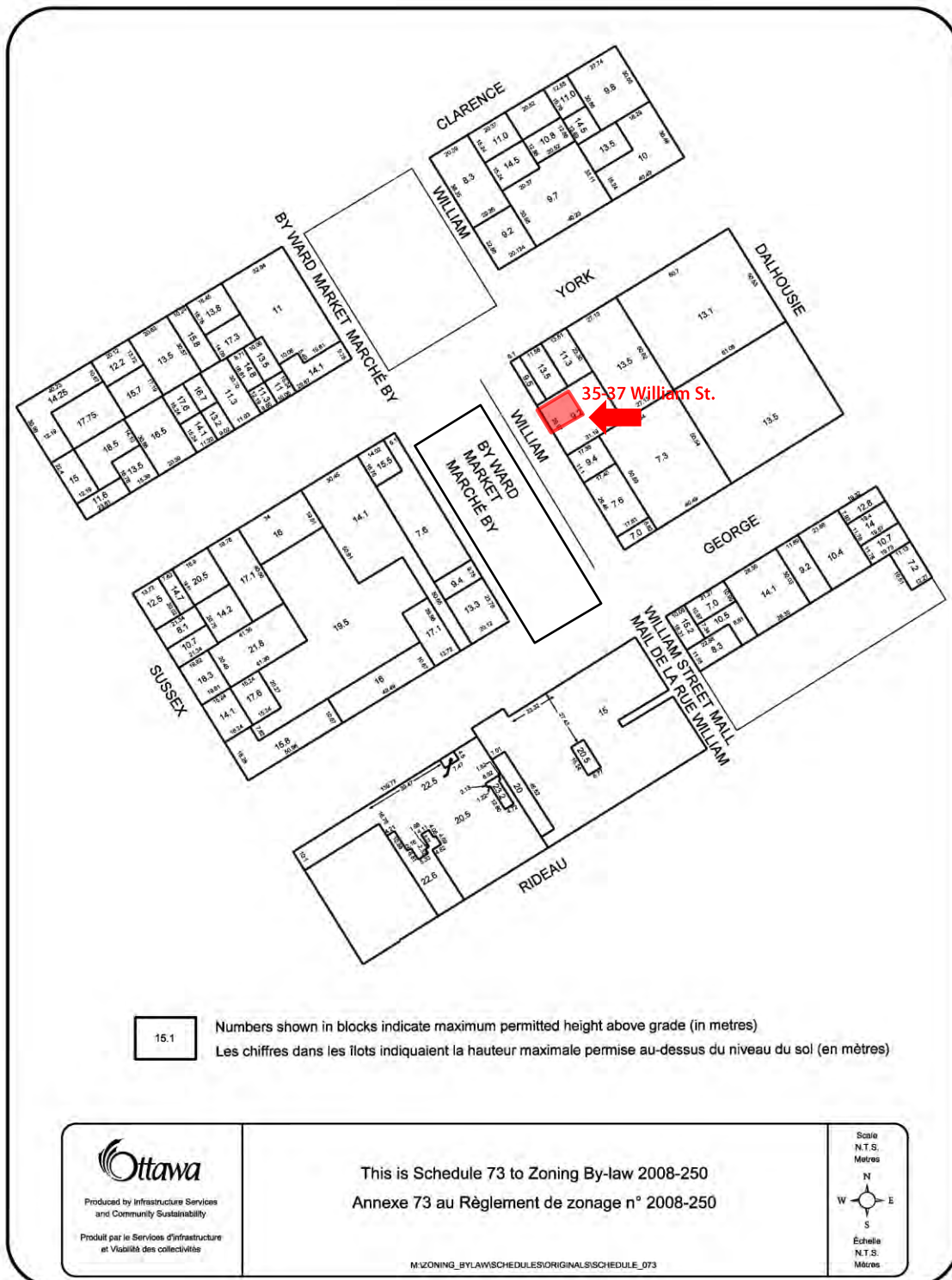


Figure 4: Schedule to zoning By-Law 2008-250 showing permitted heights

- Variety of architectural styles which date from the nineteenth and early twentieth centuries reflecting the continuous evolution of the area;
- Flat roofed Italianate residential and commercial buildings from the turn of the century, featuring decorative brick veneer and elaborate cornices;
- Development and importance as economic hub of historic Bytown, and later Ottawa, acting as a pivot and base for the city's and region's commercial activities.

The wide range of architectural styles and mixed building uses provides an opportunity for development that is not required to adhere to a strict set of aesthetic guidelines. Accordingly, developers and designers must remain mindful of the impact of any new developments and strive for minimal impact on the overall urban fabric or sense of place in the established *Byward Market Heritage Conservation District*.

The site of the proposed development is situated on William Street at the proximity of York Street and facing the market building; a central and lively area of the market. Most buildings of this block are composed of two-storey buildings with continuous commercial activities on the ground floor and housing on the second floor. (See Figures 4 and 5).

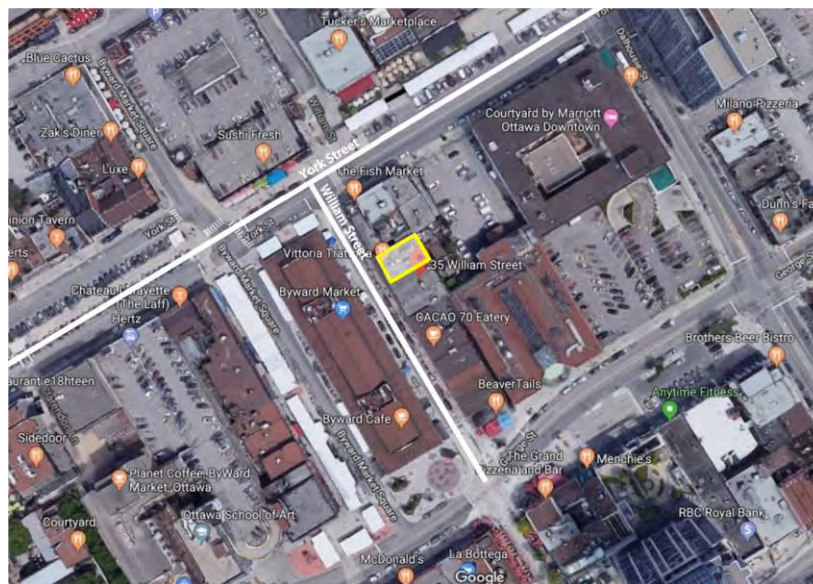


Figure 4: Location of the development project. (Google)



Figure 5: Location of the development project. (Google)

Despite the replacement of few structures following some fire incidents, and regardless of the change of use, most of William Street's buildings have maintained their architectural integrity with minor modifications and densification through time.

Within this context of development as outlined in the *City of Ottawa Byward Market Heritage Conservation District Study*, which includes guidelines for the conservation, the rehabilitation and adaptive reuse, and infill, this development has the opportunity to preserve/incorporate two heritage assets on the existing site while satisfying densification aims. Following good conservation practice, the new construction should be "of its own time" and compatible with the identifiable heritage character of the surrounding neighbourhood. (See Annex A)

E. Statement of Significance

Architectural Value:

The two properties on the proposed development site are recognized as *Category 2* buildings listed under *Part V* of the *OHA* as part of the *Byward Market Heritage Conservation District*. This category is comprised of "buildings of heritage significance" (See Figures 6).



Figure 6: 35-37 William Street. (Google 2016)

The following is extracted from the *Heritage Survey and Evaluation Form* produced by Julian S. Smith during his review in January 1990 (with a few updated notes):

- **35 William Street (constructed before 1872):** *Italianate commercial Vernacular style, 2 ½ storey stone building with flat roof and decorated wood cornice (original cornice was metal). Example of creative recycling of buildings that characterized the densely developed area of the market. Alterations to the building include significant reworking of ground floor façade and the replacement of the cornice; however, the façade is still preserving its integrity. The building is very compatible with heritage commercial environment in terms of scale, materials detailing, and function. It is a significant heritage component of one of the most important commercial rows in the city.*

- **37 William Street (constructed 1913):** Late 19th century commercial Vernacular style, 2 storey brick building with flat roof and decorated metal cornice. Reflects the transition of the street from a service area to a secondhand store center to a general retail area. The façade is simple but representing traditional composition of two-story commercial block. The scale, materials detailing, and function of the building are very compatible with heritage commercial environment. It is not an considered as a significant element individually, but it is an essential component of a very important commercial row defining the market core.

Historical and Contextual Value

The history of the building at 35 William street, which was built in conjunction with a another 2 1/2 storey building on York Street (now demolished), is associated with the Feathers Hotel 1878-1901. It is an excellent example of mixed commercial buildings, which was adapted to the development changes of Byward Market. It is a significant heritage component of one of the most important commercial rows in the city.

The building at 35 William Street is not considered as a significant element individually, but it is an essential component of a very important commercial row defining the market core.

Aside from some slight alterations, the existing buildings at 35-37 William Street have retained their architectural integrity.



Figure 7: 35-37 William Street. (Google 2018)

F. Description of the Proposed Development

On April 12, 2019, the Vittoria Trattoria restaurant witnessed a massive fire, which resulted in the loss of both buildings at 35-37 William Street. (See Figures 8-11).

Following that incident, the owner decided to reconstruct these buildings. The development project foresees the conservation and restoration of the William Street masonry facades "in situ". It is also proposed that the reconstructed building will expand beyond its existing footprint to include the unused rear yard of 62 York Street. The former restaurant Vittoria Trattoria will re-occupy the ground floor with residential apartments above.



Figure 8: Fire at 35 William Street, April 12, 2019. Scott Stilborn/ Ottawa Fire Service



Figure 9: 35-37 William Street following the fire of April 12, 2019. (Barry Padolsky Associates Inc. Architects)



Figure 10: 35-37 William Street (inner structure) following the fire of April 12, 2019. (Barry Padolsky Associates Inc. Architects)



Figure 11: 35-37 William Street. RMA October 7, 2019.

The development project foresees the extension of the existing footprint of the buildings on 35 and 37 William Street to include the backyard of 62 York Street, as well as the addition of two storeys in setback. Accordingly, the project includes the development of a new basement beneath the entire extended footprint of the buildings to serve as restaurant dining space, support space and storage. The proposal foresees also the redevelopment of the former restaurant space (two floors) to occupy only the first floor (street level), the re-planning of the second floor into six apartments and the addition of two storeys set back to accommodate five new apartments on each level. The ground floor of the new development will not occupy the full footprint of the 35-37 William street to provide

access to the entrance to the upper residential floors from York Street through 87 York Lane alleys and from William Street through Feathers Lane passage. (See drawings in *Annex A*).

The interior spaces of the new development will be reconfigured to provide sixteen residential units into the second, third and fourth floors, The third and fourth levels are setbacks from the property line; the distance between the main façade line and the first setback is 5200 mm, and between the first and the second setback is 1500 mm. The new upper floors will have a dark grey stucco finish and they will be visually separated by concrete bands at the second, third and fourth levels.

The third and fourth floors of the main façade will have a prefinished perforated metal screen on top of new exterior wall assembly/curtain wall glazing. The new façade at Feathers Lane will have sintered ceramic façade panel cladding and corrugated metal cladding. The south façade is setback and has similar cladding to the main façade. The enclosure of the new north, south, east and west facades of the third and fourth floors of the building is proposed as sintered ceramic facade panel (dark grey, white above roof). The apartment entrance from the York Street Lane will be clad with the reclaimed stone from 35 William Street.

The new one-over-one metal clad wood windows at the second-floor level of 37 William Street, the metal window and patio door systems within curtain wall glazing system at the second (east and south façades), third and fourth floors (dark grey frames) with horizontal metal fin on curtain wall mullion and clear glass balcony railings around the outdoor terraces and "Juliet" balconettes, and the new glazed metal framed store fronts and metal panel at the ground floor level of 35 and 37 William Street will be installed to match the heritage character of these buildings. It is of note that neither the colour of Feathers Lane's façade's windows, nor the colour of William Street façade's windows are specified on the drawings submitted for construction permit; RMA presumes that dark grey metal clad wood windows are installed on the entire development structure.

The new wood cornice at the top of the second-floor of 35 and 37 William Street will match the details of the former cornices destroyed by the fire. In addition, a new wood panel aligned with the wood cornice at front of 35 William street will be added. The exterior Feathers Lane passage will be covered by a steel light-structure roof supported by freestanding steel posts along the exterior back wall of 54 York Street. Both ends of this structure will have metal dark grey fascia.

Based on the comments received from the City of Ottawa Senior Heritage Planner Sally Coutts the *Architect* produced new Schematic Architectural sketches dated December 12, 2019 (received December 20, 2019) responding to the City of Ottawa's requests. As such, the *Architect* has produced a design more in keeping with the character of the overall neighbourhood making the additional floors lighter in appearance and impact to the original buildings. From the public street realm, the additions have low visual impact. (See Figures 12-25)



Figure 12: Model showing the development site within its urban context (KWC Architects)



Figure 13: Model showing the development site within its urban context (KWC Architects)



Figure 14: Model showing the eastern façade within its surroundings (KWC Architects)



Figure 15: Model showing the entrance of the residential units (KWC Architects)

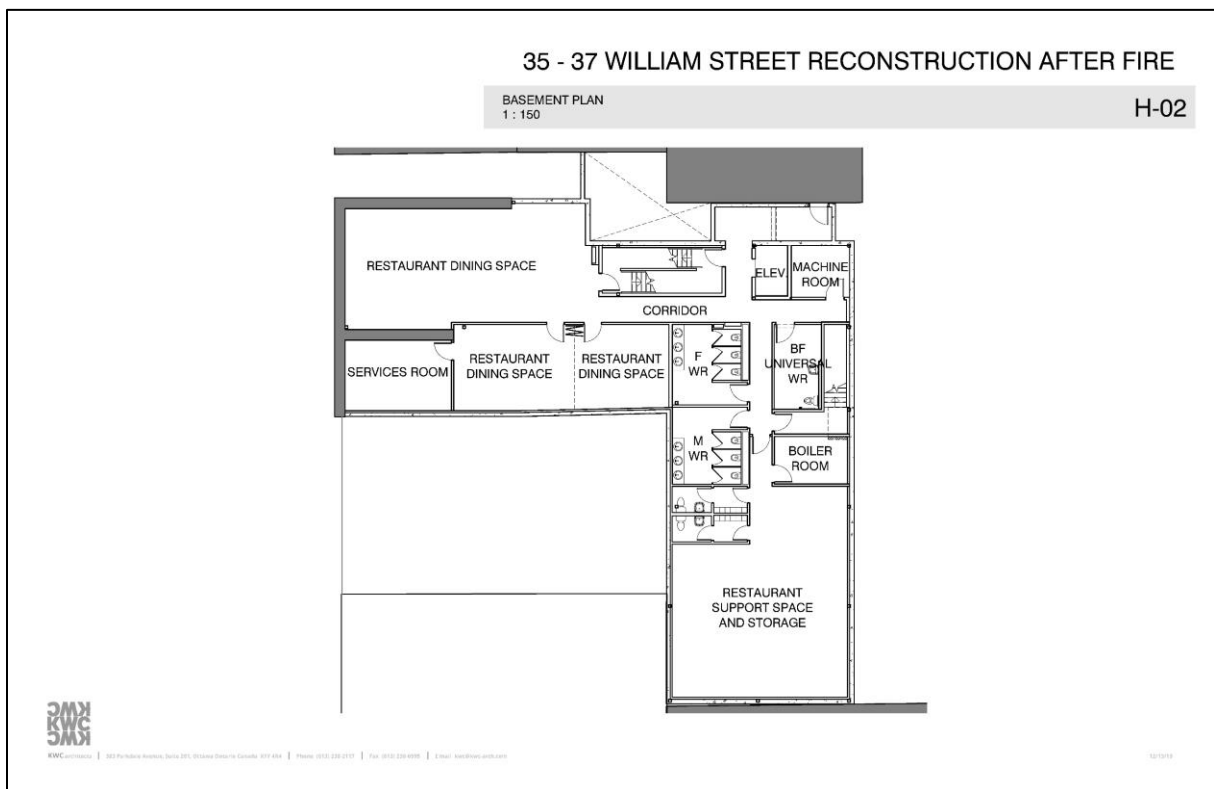


Figure 16: Plan of Basement (KWC Architects)

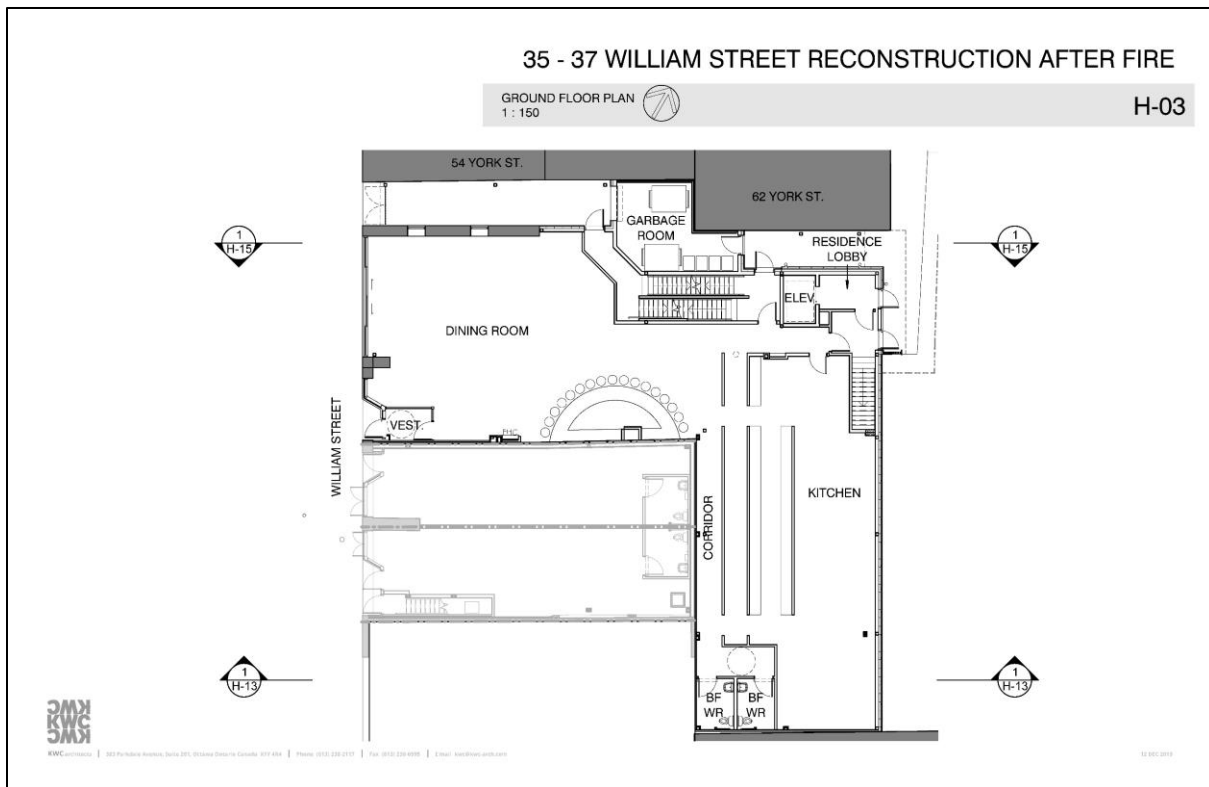


Figure 17: Plan of ground/first floor (KWC Architects)

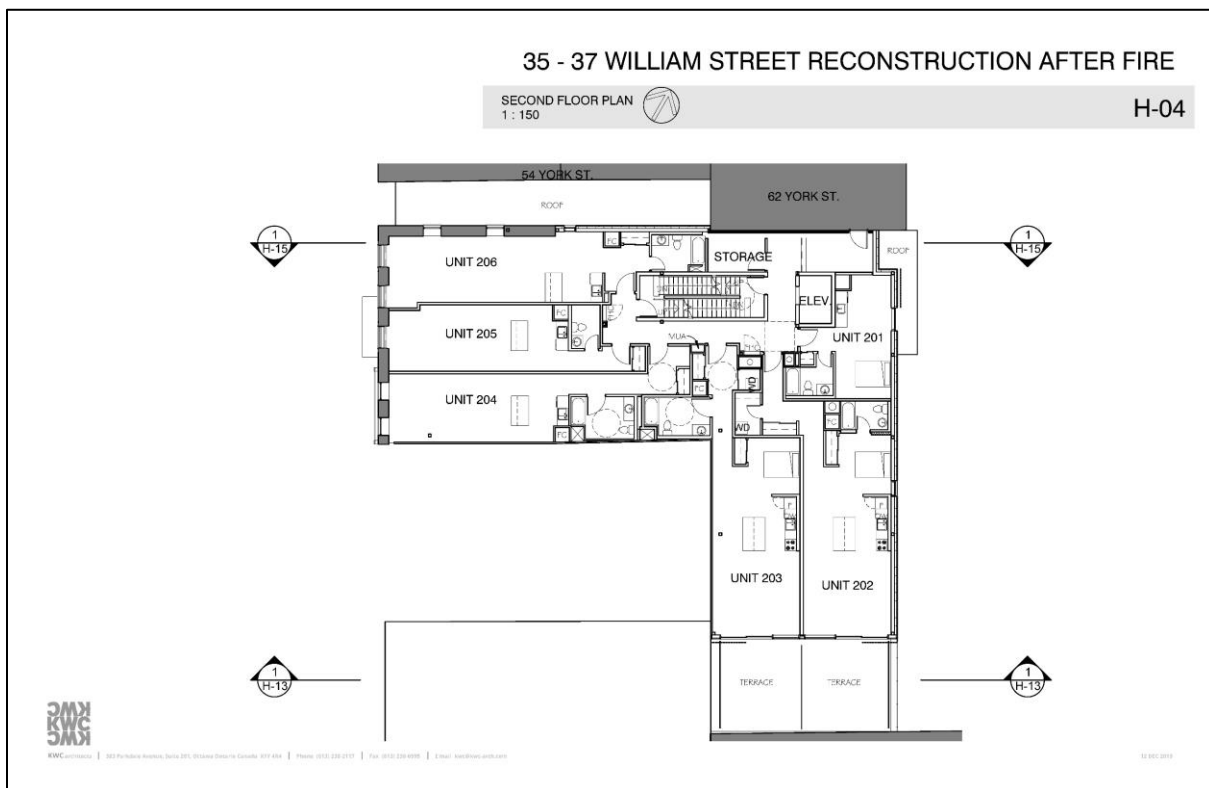


Figure 18: Plan of second floor (KWC Architects)

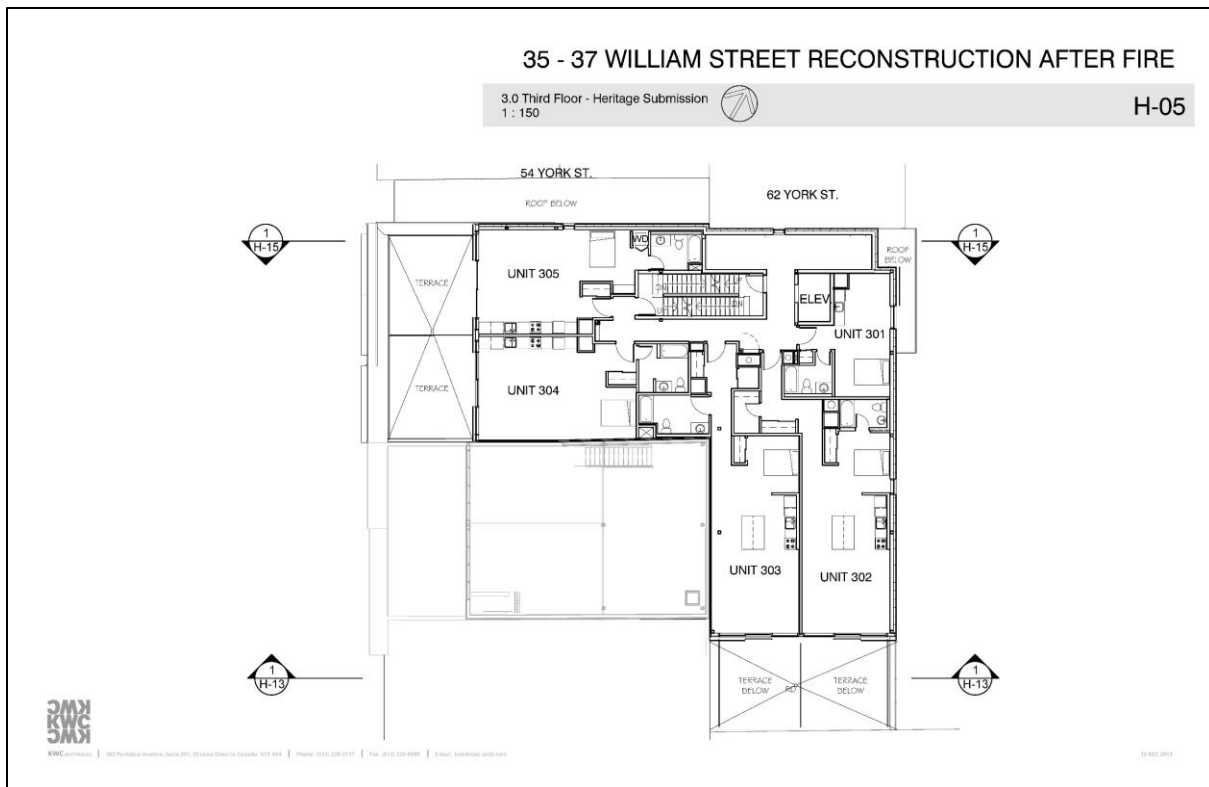


Figure 19: Plan of third floor (KWC Architects)

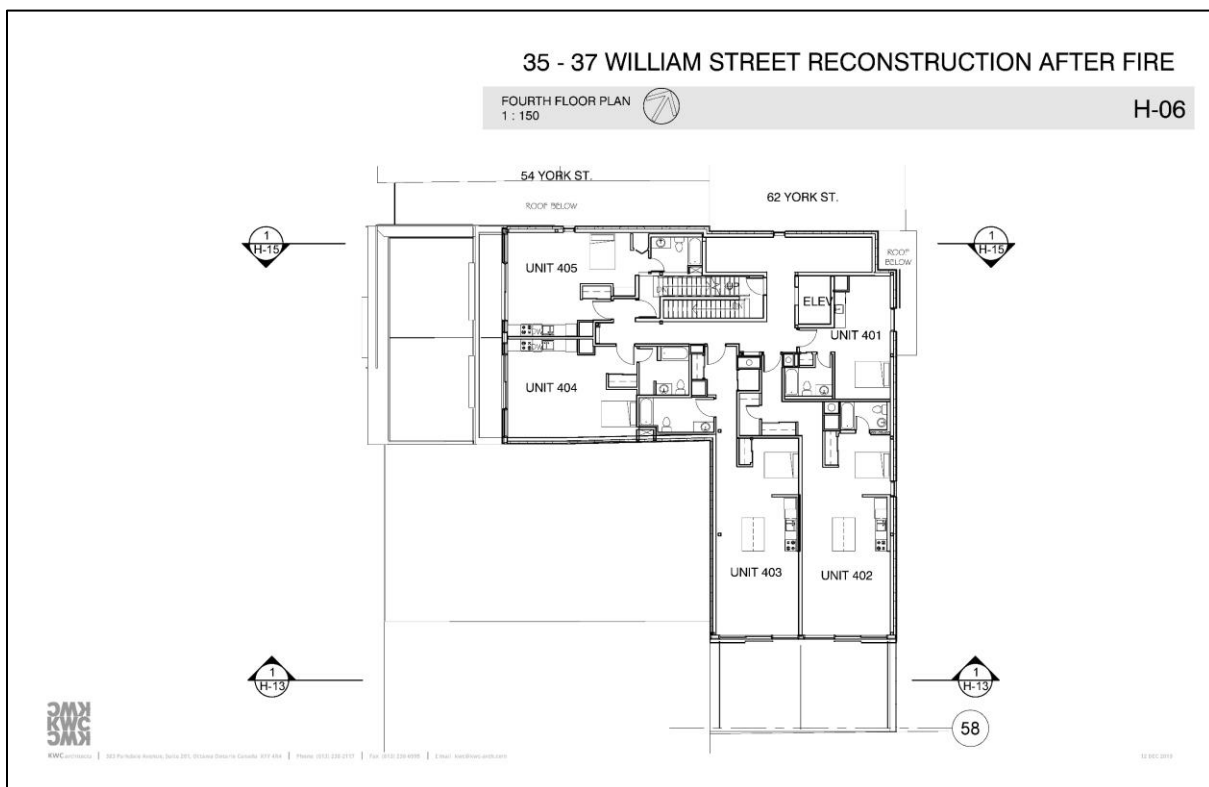


Figure 20: Plan of third floor (KWC Architects)



Figure 21: West Façade (KWC Architects)

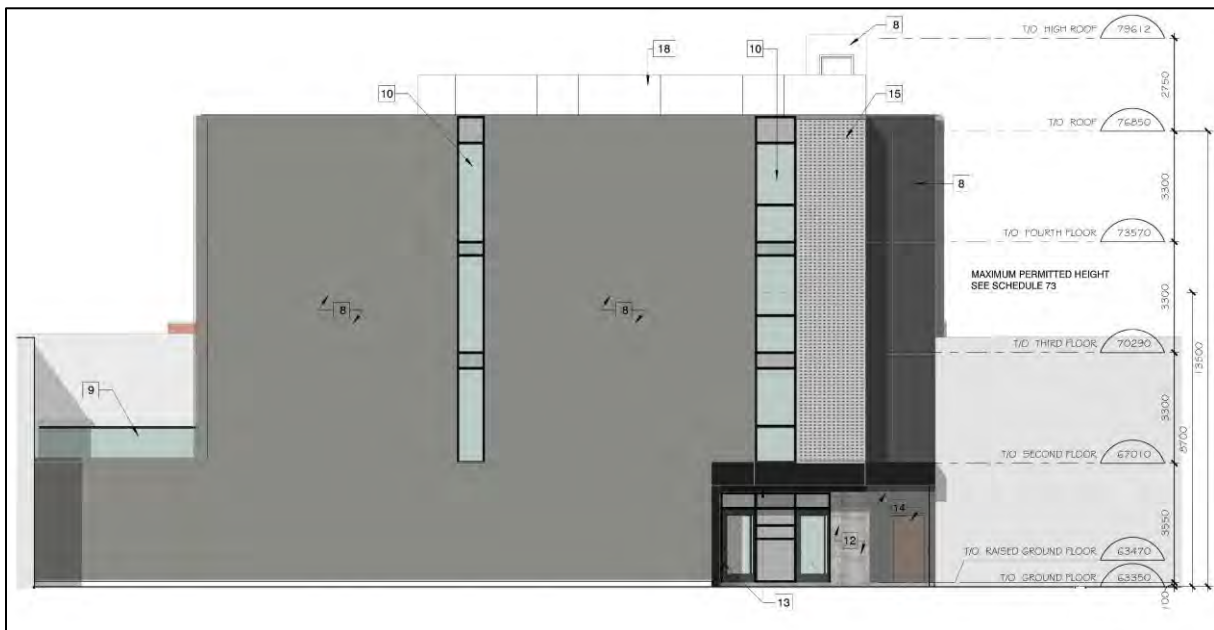


Figure 22: East Façade (KWC Architects)

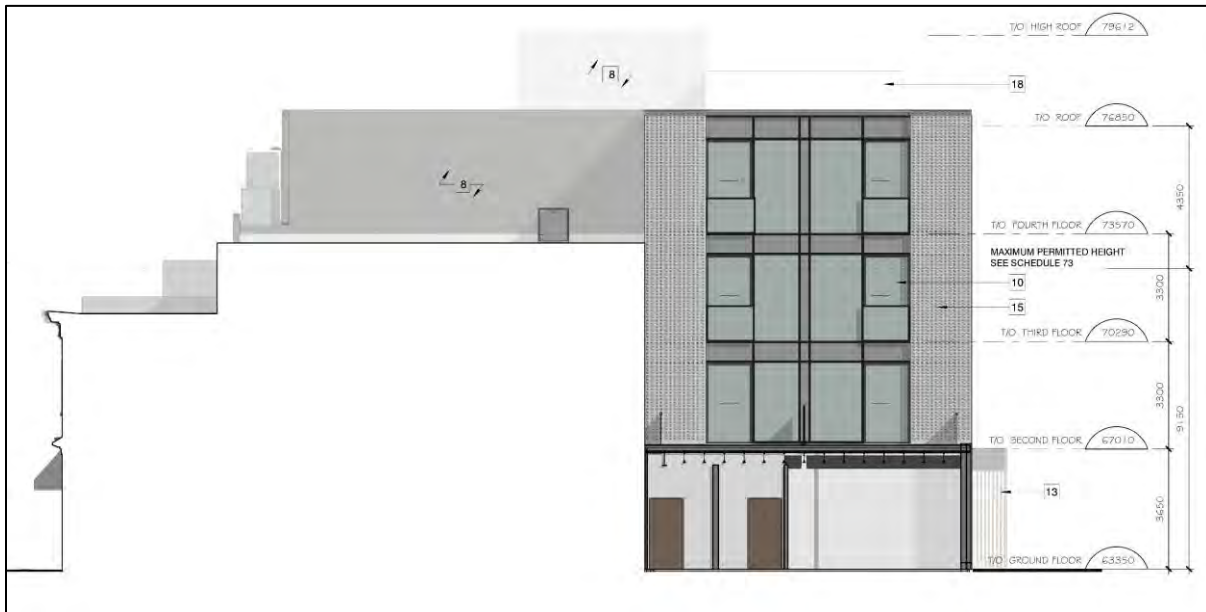


Figure 23: South Façade (KWC Architects)



Figure 24: North Façade (KWC Architects)

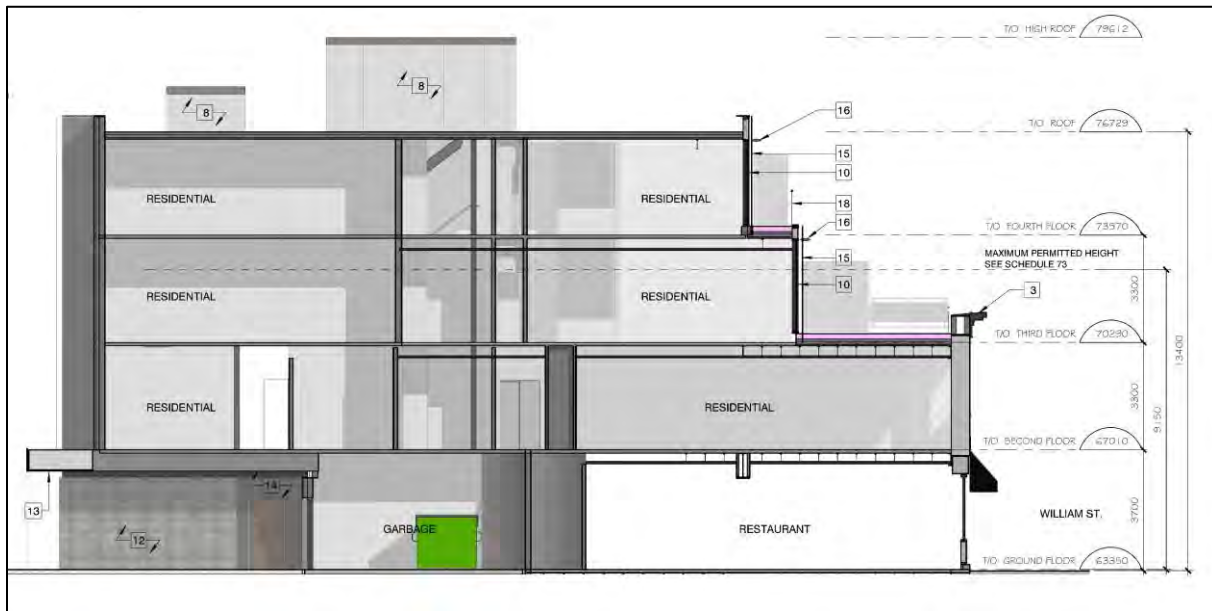


Figure 25: Longitudinal Section through 35-37 William Street (KWC Architects)

G. Impact of Proposed Development

Our assessment attempts to identify any positive and negative impacts the proposed development may have on the heritage value of cultural heritage resources. Assessment is made by measuring the impact of the proposed works on the significance and heritage attributes defined in the attached *Heritage Survey and Evaluation Forms January 1990 (Annex B)*.

Extracted from the City of Ottawa's CHIS guidelines, characteristic positive impacts of a development on cultural heritage resources typically include, but are not limited to: (items in bold have been deemed most relevant to this proposal)

- **Restoration of a building or structure, including replacement of missing attributes;**
- **Restoration of an historic streetscape or enhancement of the quality of the place;**
- **Adaptive re-use of a cultural heritage resource to ensure its ongoing viability;**
- Access to new sources of funds to allow for the ongoing protection and restoration of the cultural heritage resource.

Negative impacts include, but are not limited to: (items in bold have been deemed most relevant to this scenario)

- Demolition of any, or part of any, heritage attributes or features;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building or structure;
- **Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;**
- Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;
- **Obstruction of significant identified views or vistas within, from heritage conservation districts;**
- A change in land use where the change affects the property's cultural heritage value;
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

In this context, the most relevant standards from the *Standards and Guidelines* are:

- **Standard 1:** Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
- **Standard 4:** Recognize each historic place as a physical record of its time, place, and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
- **Standard 8:** Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
- **Standard 11:** Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

For the proposal:

The principal benefit of this proposal is the conservation of the buildings at 35-37 William Street and their integration into a new contemporary development that will ensure the survival of their historic façades and allow them to continue to participate in the streetscape and the vitality of the Byward Market.

The exterior appearance and scale of the building at 35 and 37 William Street will be maintained at street level. The brick cladding of ground and second floor north, south and east façades will match the adjacent buildings at 41 and 41.5 William Street. The conservation of the existing façade ensures the preservation of its masonry materials (i.e. stone and brick), the harmonization with the character of existing buildings on William Street, as well as the continuity of the commercial activities at street level and the façade elements (i.e. opening and cornices) on the second floor. The planned works will also ensure the conservation and restoration of Feathers Hotel's remaining stone masonry walls except the party wall between 35 and 37 William street. The materiality of the new structure (i.e. Sintered ceramic façade panels, corrugated metal cladding, perforated metal screen, and reclaimed stone from Feathers Hotel) is compatible with the masonry facades of 35-37 William Street and the façade of the adjacent building at 62 York Street. The modern style additional floors on William Street are compatible in materiality and in composition with the heritage character of the buildings at 35-37 William street.

The 'gasket' connection between the part of the new development that is located in the backyard of 62 York Street and the heritage buildings on William Street is positive. The treatment and the distance of setbacks of the new structures from William Street's façade line and the south limits of the plot respond to the previous comments of the City of Ottawa on setbacks. The 'datum line' in reference to the existing building facades on William Street is respected in terms of height.

The conservation of the existing façade ensures the preservation of its masonry materials (i.e. stone and brick), the harmonization with the character of existing buildings on William Street, as well as the continuity of the commercial activities at street level and the façade elements (i.e. opening and cornices) on the second floor. Metal clad wood windows details of the former windows damaged by the fire are compatible with the heritage character of the facade. The planned works will partially ensure the conservation and restoration of Feathers Hotel's remaining stone masonry walls.

The planned construction of a garbage room in the middle of the Feathers Lane is practical and would better serve the building. This addition will not have any impact to the heritage character of the existing buildings. The Feather Lane portion has an entrance gate which doesn't make it fully accessible by the public. This gate will be reinstated in the new development; however, the building at 54 and 62 York has a right of way along this passage. The *Client* is also the owner of 62 York Street; in addition, the *Architect* informed RMA that an approval from the owner of 54 York Street was obtained for the construction of the garbage room as such. Still the *Client* needs to acquire the approval from the City of Ottawa on this addition.

The addition of sixteen apartment units will assist in densifying the residential use in the market area. Nevertheless, the increase of the project's footprint volume and height, although compatible with the urban

setting and seems to be an appropriate intervention, it is not fully in line with the *zoning bylaw MD2-S73* and would require Committee of Adjustment Approval and Site Plan Control Approval, in addition to Heritage Permit and zoning amendment if needed.

In general, the proposal exhibits some well-executed design decisions, including:

- Continued mixed use function as restaurant and multi-unit residence building;
- Ensuring the continuity of the streetscape on William Street;
- Preserving part of the original structures of the existing buildings including Feathers Hotel's remaining stone masonry walls;
- Maintaining the typical shape and design of shop front entrance at 37 William Street.
- Respecting the buildings' form, massing, and materiality (with the exception of the proposed additions), as well as restoring the integrity of the existing facades through the planned rehabilitation works;
- Compatibility of the proposed development in form, materiality, and glazing with the heritage character of William and York Streets;
- Use of building materials that distinguish the old and new constructions, yet remain compatible with the established colour palette and heritage character of the area;
- Thoughtful use of materials to recall the mass and form of the existing buildings along William Street;
- Increased setbacks to reduce the visual impact of the additional floors;
- Increased number of residential units that will assist in consolidating residential use in the area.

As the demolition of the majority of 35-37 William Street was caused by fire, the aspects of the development that could negatively impact the site are limited to:

- The demolition of the remaining party wall of Feathers Hotel between 35 and 37 William Street.

The urban settings in which the development project is located does not require a shadow study; we are of the opinion that the impact of shadow is minor on adjacent buildings (i.e. Attached buildings on William Street, and large parking area nearby 62 York Street at the back of the development project). Moreover, the added structures, as shown on the attached 3D drawings do not obstruct any views.

H. Alternatives and Mitigation Strategies

The *CHIS* must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the heritage value of identified cultural heritage resources.

As extracted from the City of Ottawa *CHIS* template, methods of minimizing or avoiding a negative impact on a cultural heritage resource(s) include but are not limited to: (we have highlighted in bold those items that may be relevant for consideration in this *CHIS*)

- **Alternative development approaches that result in compatible development and limit negative impacts;**
- Separating development from significant cultural heritage resources to protect their heritage attributes including, but not limited to, their settings and identified views and vistas;
- **Limiting height and density or locating higher/denser portion of a development in a manner that respects the existing individual cultural heritage resources or the heritage conservation district;** and
- Including reversible interventions to cultural heritage resources.

For the proposal:

As part of the heritage permit application process, the following recommendations made by City of Ottawa Senior Heritage Planner Sally Coutts on the Schematic Design (V1) sketches at the July 16, 2019 meeting:

- *The rooftop appears very heavy, as if it was sinking into the existing buildings, rather than rising from them. This weightiness detracts from the character of the existing buildings and the market itself from the viewpoints provided.*
- *The heavy piers with their diamond motif make no reference to the character of the existing buildings, rather, the design seems to have been inspired by 20th century industrial design, or perhaps the Byward Market building. Instead*

of evoking a building or building type that is located elsewhere, a rooftop addition should relate to the building upon which it sits in its materials, and features. Care should be given to window shape and spacing.

- *The east façade will be very visible from York Street and needs to be very carefully considered to ensure that the experience of entering the market from the east is enhanced. Care should be taken to ensure that the view of distinctive side stone façade of 62 York is not compromised. The fire and subsequent rebuilding create an opportunity here to improve the view from the east.*
- *in addition, the north and south facades, which the views capes illustrate, need to be very carefully considered so that they do not contribute to the heaviness of the rooftop addition.*
- *The balcony railings facing William – they should be set back from the existing William Street facades to minimize their impact.*
- *Increase the setbacks of the last floors from the façade line.*

The above has been reworked by the Architect and the new schematic drawings provide a design with minimum impact on the heritage character of the site and the surrounding neighbourhood.

Based on professional assessment of the overall heritage context along William and York streets, we are of the opinion that all of the previously recommended mitigation strategies by the *City of Ottawa* have been successfully implemented by the *Architects*.

Recommendation 1: Consider preserving the party wall between 35 and 37 William Street (remains of Feathers Hotel)

The demolition of the party wall will permit combining the ground floors of 35 and 37 William Street into one big open dining that will better serve the restaurant function. The party wall dates to the time of the construction of the Feathers Hotel around 1878. Therefore, it would be worth examining any alternative design approaches to restore this wall, conserve it and integrate it into the interior design of the restaurant as a witness of the original building at this location.

I. Conclusion

The overall conclusion of this *CHIS* is based on measuring the impacts of the proposal on the Byward Market *Heritage Conservation District* as defined by the City, as well as from an assessment of the proposal as part of a densifying urban area. **The proposed design (provided on December 20, 2019) is assessed as being compatible with the Byward Market Heritage Conservation District and the immediate context of the site. However, an amendment to the Zoning Bylaw 2008-250 schedule 73 is required to change the permitted building height from 2 1/2 to 4 storeys.**

With respect to 35 and 37 William Street buildings, the proposal, in general, conforms with the requirements of the *Standards & Guidelines for the Conservation of Historic Places in Canada (2nd edition)* as well as the *Byward Market Heritage Conservation District Study*. The original parts of the buildings, which are to be retained and rehabilitated, have been treated in such a way that they will continue to contribute positively to the heritage character of the neighbourhood.

Through strategic application of materials, colours, massing, form, and ‘gasket’ connection with the heritage building to remain, the *Architect* achieves a well-balanced design. The new development will maintain the original rhythm of the streetscape and is visually compatible within the context of the heritage neighbourhood, while remaining distinguishable from the surrounding historic buildings.

The Consultant Team appreciates the design revisions completed up to this point, which have addressed concerns with setbacks, materiality, design and their impact on the overall heritage character of the Byward Market Heritage Conservation District.

Please do not hesitate to contact the undersigned should you have any questions or wish to discuss any aspect of this assessment.



Robert Martin OAA, MRAIC, CAHP, LEED AP

J. Glossary

Adversely Impact: A project has the potential to “adversely impact” the cultural heritage value of a project if it; requires the removal of heritage attributes, requires the destruction of a cultural heritage resource, obscures heritage attributes, is constructed in such a way that it does not respect the defined cultural heritage value of a resource.

Built Heritage: Includes buildings, structures and sites that contribute to an understanding of our heritage and are valued for their representation of that heritage. They may reveal architectural, cultural, or socio-political patterns of our history or may be associated with specific events or people who have shaped that history. Examples include buildings, groups of buildings, dams and bridges.

Cultural Heritage Resources: Includes four components: Built Heritage, Cultural Heritage Landscapes, Archaeological Resources, and documentary heritage left by people.

Cultural Heritage Landscape: Any geographic area that has been modified, influenced, or given special cultural meaning by people and that provides the contextual and spatial information necessary to preserve and interpret the understanding of important historical settings and changes to past patterns of land use. Examples include a burial ground, historical garden or a larger landscape reflecting human intervention.

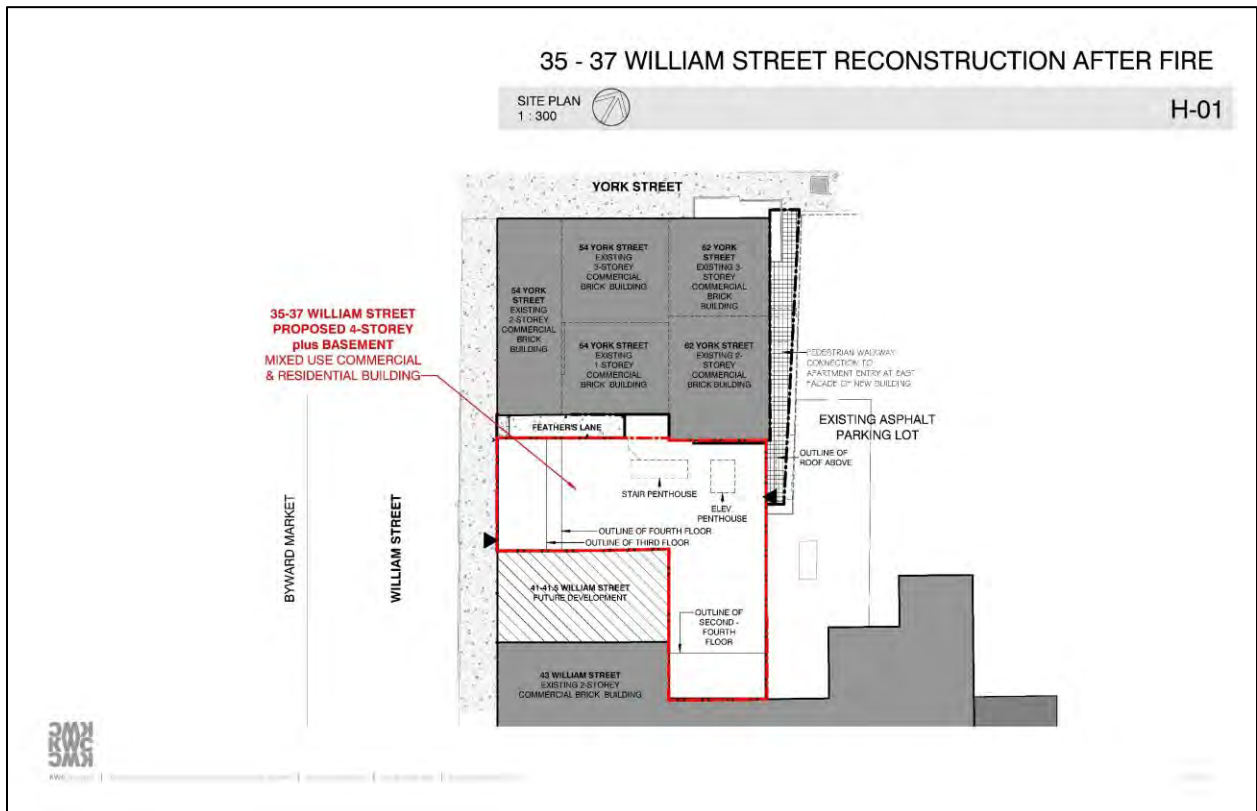
Preservation: Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of an historic place or individual component, while protecting its heritage value.

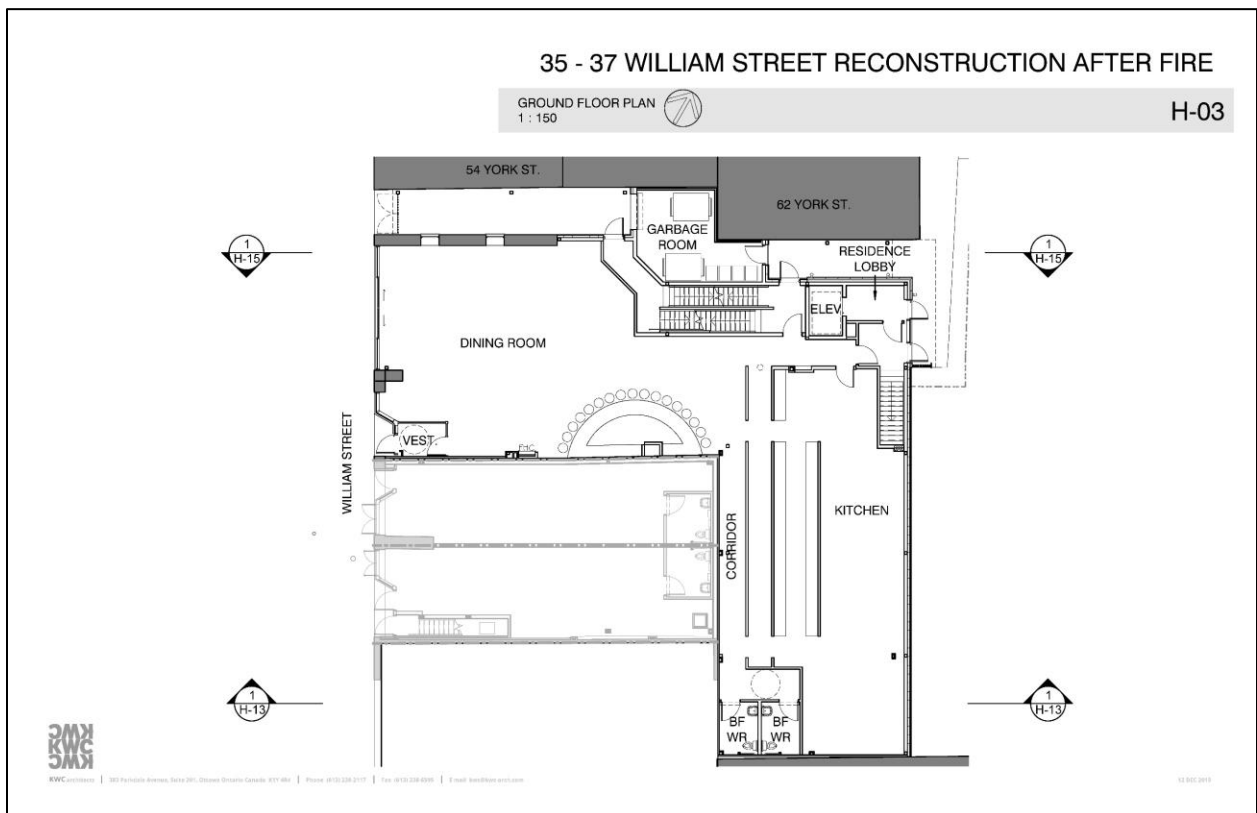
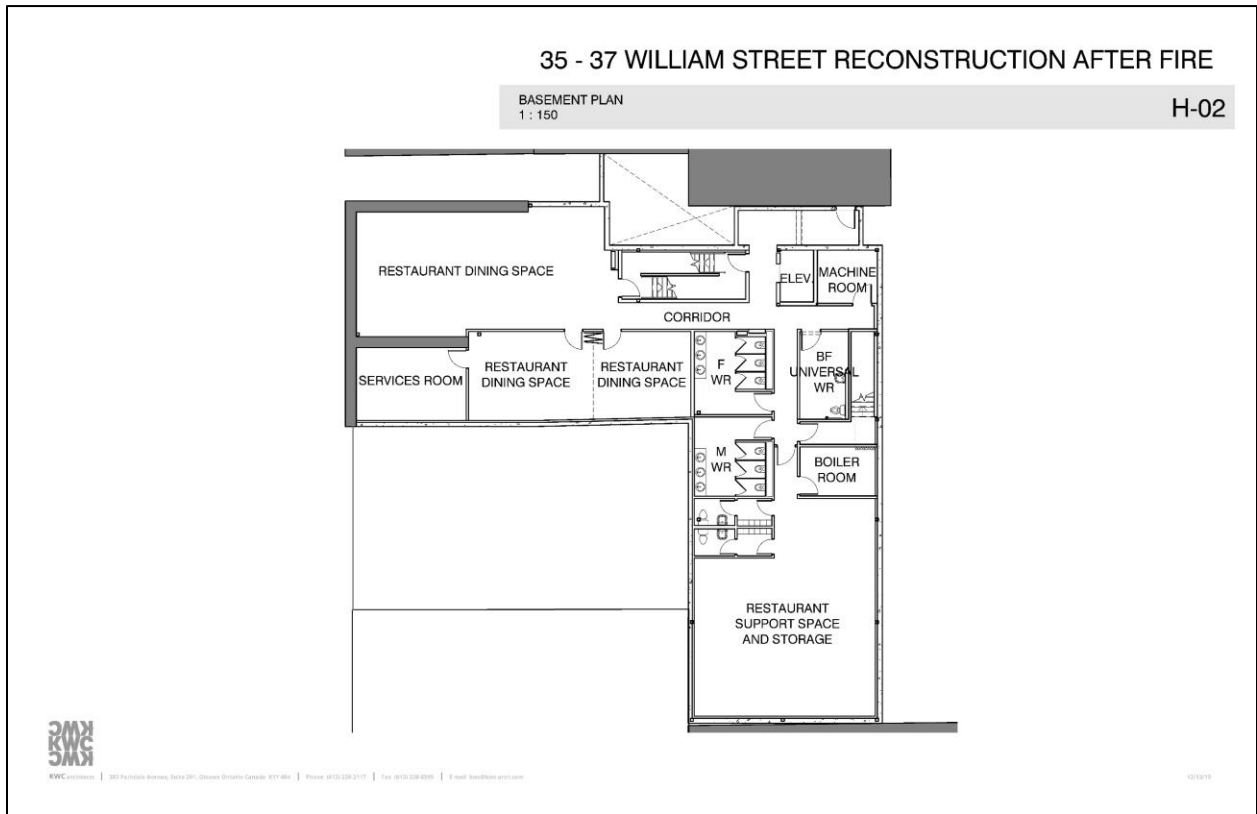
Rehabilitation: Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value.

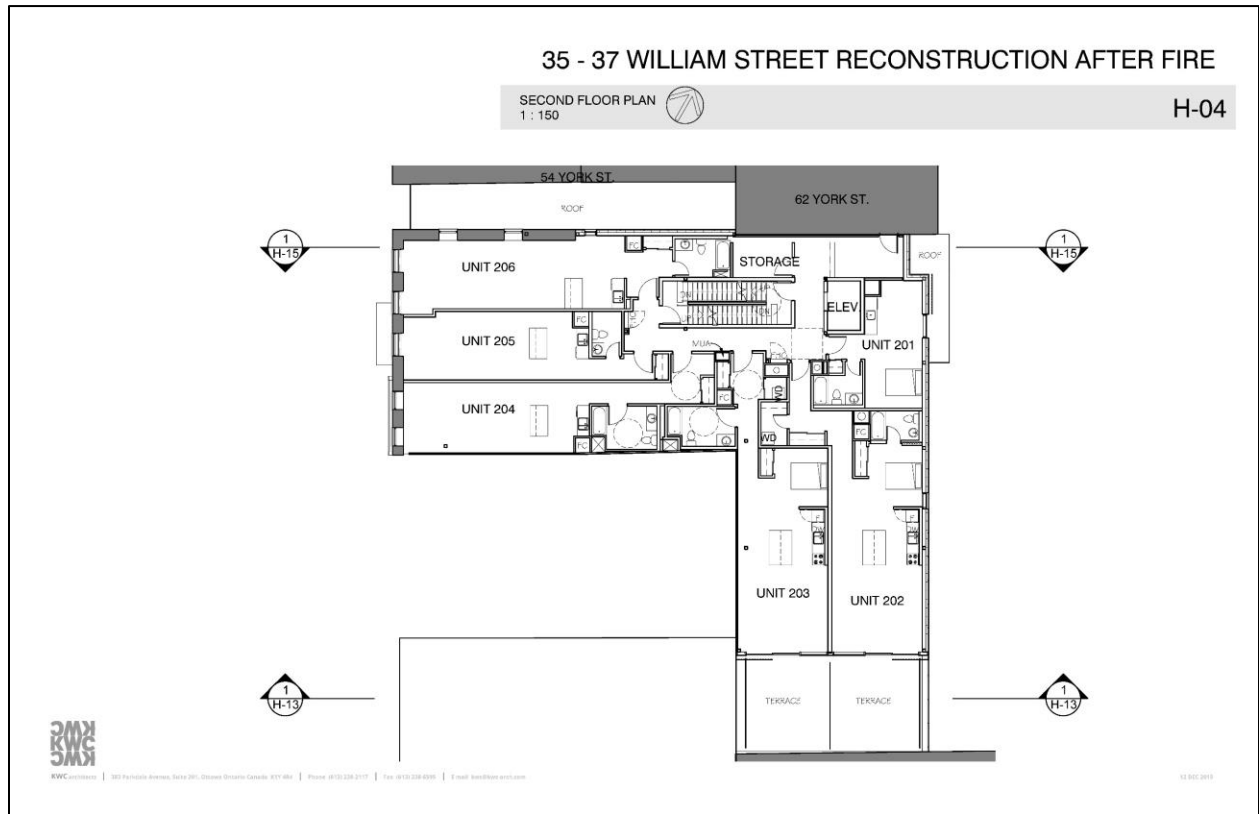
Restoration: Restoration involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.

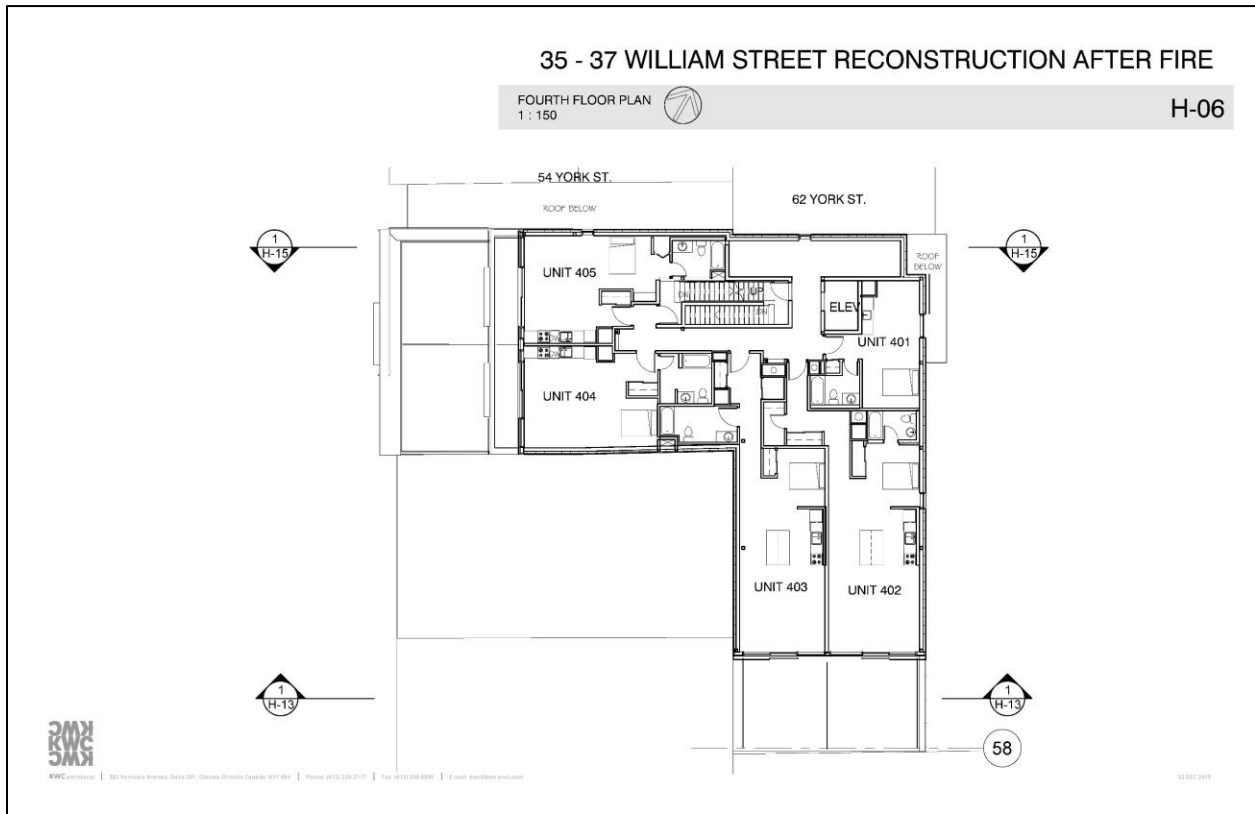
Annex A

*Design Drawings
Received on December 20, 2019*

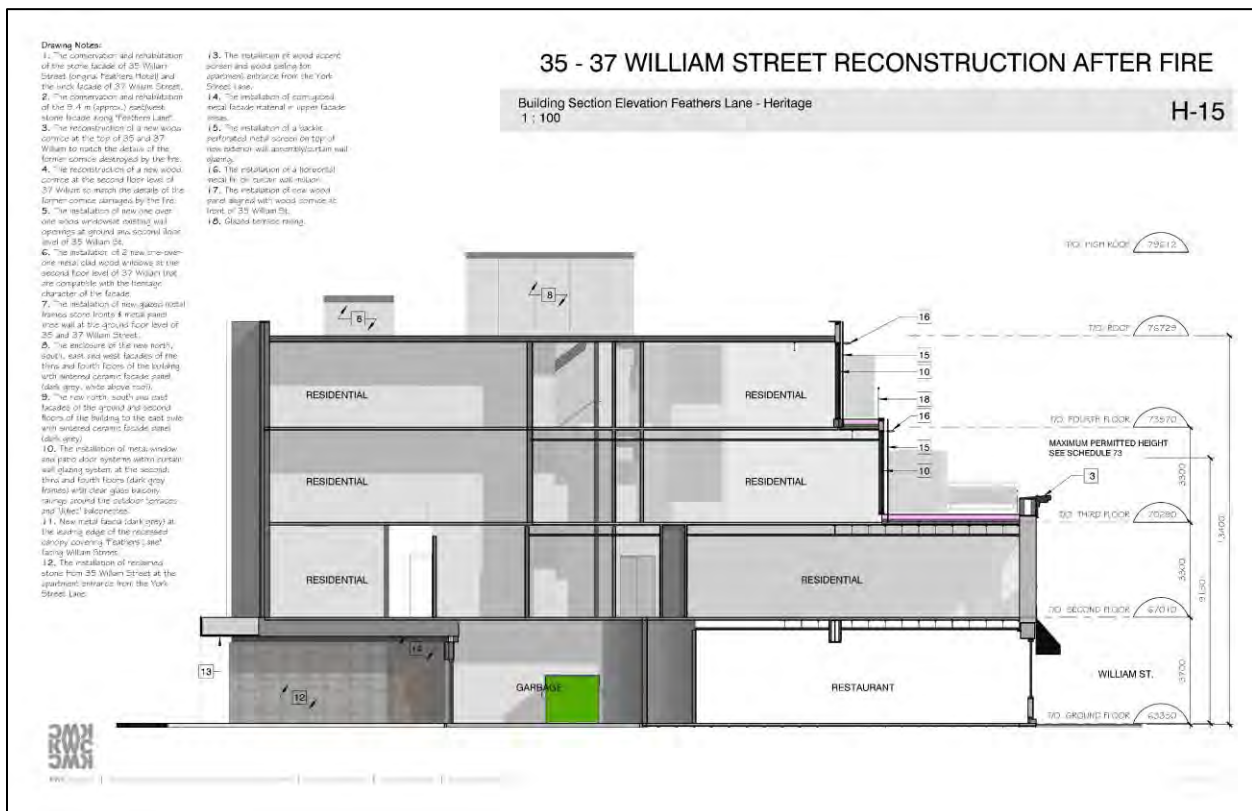












35 - 37 WILLIAM STREET RECONSTRUCTION AFTER FIRE

View from William St

H-16



RMS ARCHITECTS | 385 PATTON STREET, SUITE 200, OTTAWA, ONTARIO K1R 4S1 | TEL: 613-237-8888 | WWW.RMSARCHITECTS.COM

11-010-2019

35 - 37 WILLIAM STREET RECONSTRUCTION AFTER FIRE

Renderimage View from York St.



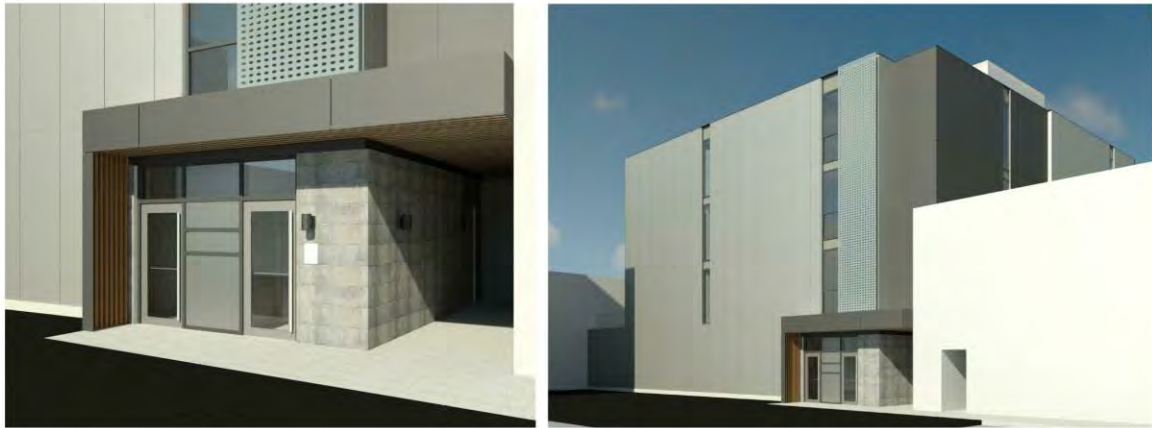
RMS ARCHITECTS | 385 PATTON STREET, SUITE 200, OTTAWA, ONTARIO K1R 4S1 | TEL: 613-237-8888 | WWW.RMSARCHITECTS.COM

11-010-2019

35 - 37 WILLIAM STREET RECONSTRUCTION AFTER FIRE

View from York Street Parking Lot

H-18



RMC architects | 300 Somerset Street West, Suite 2000, Toronto, Ontario M5V 2M6 | Phone: 416.593.8111 | Fax: 416.593.8112 | Email: info@rma.ca

11.010.2019

Annex B

Heritage Survey and Evaluation Forms 1989

CITY OF OTTAWA
DEPARTMENT OF PLANNING & DEVELOPMENT
COMMUNITY PLANNING BRANCH

HERITAGE SURVEY
AND
EVALUATION FORM

BUILDING FILE NO.
PD 43:
HERITAGE DISTRICT FILE NO.
PD 4302-5-1:

Municipal Address: 35 William St.
Building Name: Sunset Seafood
Legal Description: Pt York S
Date of Construction: before 1872
Original Use: Feathers Hotel
Present Use: restaurant
Present Zoning: CAN-x-1C*13*
Planning Area: Central Area N.E.

Lot: 11 Block: 92(54/15) Plan: 42482
Additions: by 1912
Original Owner: Sam Horbridge
Present Owner: Fragiskos, J

PHASE ONE SURVEY

Potential Significance	Considerable	Some	Limited	None
History (Date of Construction)	(Pre- 1880)	(1880 to 1920)	(1920 to 1950)	(1950 to)
Architecture	3	2	1	0
Environment (Landmark or Design compatibility)	3	2	1	0
Phase One Survey Score		/9	Prepared By:	
Potential Heritage Building		Yes/No		
Potential Heritage District		Yes/No		

PHASE TWO EVALUATION RESULTS

(Summarised from Page 4)
Category 1 2 3 4
Part V Definite Yes/No
Part IV Potential Yes/No
If PART IV, By-law/Date:

IF PART V:

HERITAGE DISTRICT NAME:
Byward Market

BY-LAW/DATE:

COMMENTS:



Attach building photos here:
1 - 6 x 6

PHOTO DATE: JAN 1990
VIEW:
SOURCE: H Schade
NEGATIVE NUMBER: 92-3

HISTORY

PREPARED BY: M. Carter

DATE: December 1989

Date of Construction: probably before 1872
Sources: FIP, OCAR 1872

Factual

Trends:

economic - may have been built as a hotel -- by 1878, Feathers Hotel -- and continued to be used as an hotel to 1901
- initially joined to building at another 2 1/2 storey building identified as 35 York (now demolished)
- once severed used as a second hand store then a clothing store, following the major commercial trends of the block and street

owner / occupant - owner occupied through most of its history

store / residence - like many other buildings on the block, the upper storeys of this building were occupied by its storekeeper as a residence

ethno-cultural - owned and occupied by Jewish merchants by the 1920s, but built and originally occupied by English Irish and French Canadians in earlier period -- all typical of the period and location

site - this building occupies about 4/5 of the land on its site by 1912, evidence of dense development

Events:

Persons/Institutions:

Summary/Comments On Historical Significance:

Built in conjunction with a second building on York Street (now demolished) as an hotel to accommodate market visitors, this building was later severed to house separate businesses. It provides evidence of the creative recycling of built form that characterizes the densely developed areas of the market.

Historical Sources (Coded): FIP-id, COD-sel, OCAR-sel, CIHB, COHR 1987, Newton, II

=====

ARCHITECTURE

PREPARED BY: J. S. Smith / M. Carter

DATE: January 1990

Architectural Design (Plan, Storeys, Roof, Windows, Materials, Details, Etc.): 2 1/2-storey stone commercial block. Original ground floor pattern of openings still visible in stonework, but modified to asymmetrical wood storefront. Second floor segmental-arch windows - original openings with new sashes. Decorative wood cornice not original. Regular coursed dressed limestone on front facade, random course rubble elsewhere.

By 1878 - 2 1/2 storey stone building, metal roof, appears to be joined to another 2 1/2 storey stone building on York St. and may have been built as a double

Architectural Style: Italianate commercial vernacular.

Designer/Builder/Architect:

Architectural Integrity (Alterations): Significant reworking of ground floor facade: changed cornice.

By 1912 - split from stone building beside, 2 storey brick faced addition to rear

Other (Structure, Interior, Building Type, Etc.):

Summary/Comments On Architectural Significance: Interesting commercial facade which retains its presence despite changes.

=====

ENVIRONMENT

PREPARED BY: Julian S. Smith

DATE: January 1990

Planning Area: Central Area N.E.

Heritage Conservation District Name: Byward Market



PHOTO DATE: Jan 1990
VIEW:
SOURCE: H Schade
NEGATIVE NUMBER: 92-A

Compatibility With Heritage Environs: Very compatible with heritage commercial environment in terms of materials, scale, detailing and function. Strong contributing element to the eclectic heritage character of this commercial row.

Community Context/Landmark Status: Essential element in the two landmark commercial rows that together with the market building itself create the market core.

Summary/Comments On Environmental Significance: Significant heritage component of one of the most important heritage commercial rows in the city.

PHASE TWO EVALUATION

CRITERIA SCORING

HISTORY CATEGORY	E	G	F	P	SCORE
1. Date of Construction	1				40
2. Trends		1			33
3. Events					0
4. Persons					0
HISTORY TOTAL	40	33	0	0	73

ARCHITECTURAL CATEGORY	E	G	F	P	SCORE
1. Design		1			20
2. Style		1			17
3. Designer/Builder					0
4. Architectural Integrity		1			27
ARCHITECTURAL TOTAL	0	64	0	0	64

ENVIRONMENT CATEGORY	E	G	F	P	SCORE
1. Design Compatibility	1				50
2. Landmark / Community Context		1			40
ENVIRONMENT TOTAL	50	40	0	0	90

*Date of Construction in Byward Market area.

Excellent (Before 1880), Good (1880 to 1920), Fair (1920 to 1950), Poor (After 1950)

Criteria Scoring completed by: EVALUATION COMMITTEE

Date: APRIL 1990

DETERMINATION OF THE PHASE TWO TOTAL SCORE

CATEGORY SCORE	IN A POTENTIAL HERITAGE DISTRICT	NOT IN A POTENTIAL HERITAGE DISTRICT
History	73 x 20% =	15 X 40% =
Architecture	64 x 35% =	22 X 40% =
Environment	90 x 45% =	41 X 20% =
PHASE TWO TOTAL SCORE	78 /100	/100

HERITAGE CLASSIFICATION FOR THE BYWARD MARKET AREA.

Phase Two Total Score

Group	0	2	0	0
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PHASE TWO EVALUATION SUMMARY:

Summary Prepared By: JSS Date: APRIL 1990

CITY OF OTTAWA
DEPARTMENT OF PLANNING & DEVELOPMENT
COMMUNITY PLANNING BRANCH

HERITAGE SURVEY
AND
EVALUATION FORM

BUILDING FILE NO.
PD 43:
HERITAGE DISTRICT FILE NO.
PD 4302-5-1:

Municipal Address: 37-41 William St.
Building Name: Karla's / Pepper Pot
Legal Description:
Date of Construction: 1913
Original Use: second hand store
Present Use: commercial
Present Zoning: CAH-x-10*13*
Planning Area: Central Area N.E.

Lot: 11 Block: 92(54/15) Plan: 42482
Additions: none known
Original Owner: possibly Joe Laurin
Present Owner: #37 - Blosktein, L & M
#41 - 473415 Ontario Ltd

=====

PHASE ONE SURVEY

Potential Significance	Considerable	Some	Limited	None
History (Date of Construction)	(Pre- 1880) 3	(1880 to 1920) 2	(1920 to 1950) 1	(1950 to) 0
Architecture	3	2	1	0
Environment	3	2	1	0
(Landmark or Design compatibility				
	Phase One Survey Score /9		Prepared By:	
	Potential Heritage Building		Yes/No	
	Potential Heritage District		Yes/No	

=====

PHASE TWO EVALUATION RESULTS
(Summarized from Page 4)
Category 1 2 3 4
Part V Definite Yes/No
Part IV Potential Yes/No
If PART IV, By-law/Date:

IF PART V:

HERITAGE DISTRICT NAME:
Byward Market

BY-LAW/DATE:

COMMENTS:



Attach building photos here:
1 - 6 x 6

PHOTO DATE: Jan 1990
VIEW:
SOURCE: R Schade
NEGATIVE NUMBER: 92-5

HISTORY

PREPARED BY: M. Carter

DATE: December 1989

Date of Construction: 1913

Factual

Sources: COD bracketting cross-checked by FIP entries

Trends:

- economic - built as a second hand store at a time when this block of William St. was primarily comprised of such businesses
 - in later years it housed other similar commercial businesses including pawnbroker Sam Methanson (1960s)
- owner / occupant - initially housed a french canadian barber who had been a long time occupant of an earlier building on the site
 - owner occupied through most of its history
- store / residence - like many other buildings on the block, the upper storeys of this building were occupied by its storekeeper as a residence during its early history
- ethno-cultural - owned and occupied by Jewish merchants through most of its history on a street that has been dominated by Jewish businesses in the twentieth century

Events:

fire 1913 - along with its neighbours at 41 1/2 and 43 William this building was constructed after its predecessor was destroyed in a fire

Persons/Institutions:

Summary/Comments On Historical Significance:

Built as a second hand store at a time when this block of William Street was dominated by such businesses. this building nevertheless reflects the twentieth century transition of the street from a service area to a second hand store centre to a general retail area.

Historical Sources (Coded): FIP-id, COD-sel, OCAH-sel, CIHE, COHN 1987, photos OJHS

=====

ARCHITECTURE

PREPARED BY: J. S. Smith / M. Carter

DATE: January 1990

Architectural Design (Plan, Storeys, Roof, Windows, Materials, Details, Etc.): Simple two-storey brick commercial block. Reworked ground floor storefront. Second floor brick veneer with regular window openings, decorative metal cornices above storefront and at roofline.

By 1922 - 2 storey brick double, no additions

Architectural Style: late 19th century commercial vernacular.

Designer/Builder/Architect:

Architectural Integrity (Alterations): Reworked ground floor.

Other (Structure, Interior, Building Type, Etc.):

Summary/Comments On Architectural Significance: Simple but satisfying traditional composition of two-storey commercial block.

=====

ENVIRONMENT

PREPARED BY: Julian. S. Smith

DATE: January 1990

Planning Area: Central Area N.E.

Heritage Conservation District Name: Byward Market



PHOTO DATE: Jan 1990
VIEW:
SOURCE: H Schade
NEGATIVE NUMBER: 92-A

Compatibility With Heritage Environs: Very compatible with heritage commercial environment in scale, materials, detailing and function.

Community Context/Landmark Status: Not individually significant, but essential elements of a landmark commercial row defining market core.

Summary/Comments On Environmental Significance: Essential component of very important heritage commercial row.

PHASE TWO EVALUATION

CRITERIA SCORING

HISTORY CATEGORY	E	G	F	P	SCORE
1. Date of Construction		1			27
2. Trends		1			33
3. Events					0
4. Persons					0
HISTORY TOTAL	0	60	0	0	60
ARCHITECTURAL CATEGORY	E	G	F	P	SCORE
1. Design		1			20
2. Style		1			17
3. Designer/Builder					0
4. Architectural Integrity		1			27
ARCHITECTURAL TOTAL	0	64	0	0	64
ENVIRONMENT CATEGORY	E	G	F	P	SCORE
1. Design Compatibility	1				50
2. Landmark / Community Context		1			40
ENVIRONMENT TOTAL	50	40	0	0	90

*Date of Construction in Byward Market area.
Excellent (Before 1880), Good (1880 to 1920), Fair (1920 to 1950), Poor (After 1950)
Criteria Scoring completed by: EVALUATION COMMITTEE Date: APRIL 1990

DETERMINATION OF THE PHASE TWO TOTAL SCORE

CATEGORY SCORE	IN A POTENTIAL HERITAGE DISTRICT	NOT IN A POTENTIAL HERITAGE DISTRICT
History	60 x 20% =	12
Architecture	64 x 35% =	22
Environment	90 x 45% =	41
PHASE TWO TOTAL SCORE		75 /100

HERITAGE CLASSIFICATION FOR THE BYWARD MARKET AREA.

Phase Two Total Score

Group	0	2	0	0
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PHASE TWO EVALUATION SUMMARY:

Summary Prepared By: JSS Date: APRIL 1990

Annex C

Byward Market Statement of Significance



A Federal, Provincial and Territorial Collaboration

Byward Market Heritage Conservation District

0, Multiple (see map), Ottawa, Ontario, K1N, Canada

Formally Recognized: 1991/03/06

OTHER NAME(S): n/a

LINKS AND DOCUMENTS: n/a

CONSTRUCTION DATE(S): 1820/01/01 to 1830/01/01

LISTED ON THE CANADIAN REGISTER: 2008/01/04

STATEMENT OF SIGNIFICANCE

DESCRIPTION OF HISTORIC PLACE

Part of the thriving downtown core of the City of Ottawa, the Byward Market was formally established during the late 1820s and early 1830s when Colonel By developed "Bytown" as his base for constructing the Rideau Canal. Since that time, the Market has served as a hub for Ottawa's vital commercial and cultural activities. With a rich, vernacular landscape, the Market offers a variety of architectural styles in residential, commercial and mixed-use forms, reflecting the vital and continuous evolution of economic, social and cultural activity within the city core. The boundaries extend from St. Patrick Street on the North to the south side of George Street on the South, and from MacKenzie Avenue on the West to the east side of Dalhousie Street on the East.

The Byward market was designated by the City of Ottawa (By-law 60-91) under Part V of the Ontario Heritage Act.

HERITAGE VALUE

The Byward Market is one of Ottawa's two original settlement areas. It was established as Lower Town early in the nineteenth century by Colonel By as the commercial non-military sector of Bytown, a public quarter to complement the official military area of Upper Town. Although the Market was first organized along a George/ Sussex/ St. Patrick Street axis with the market building on George Street, its orientation changed in the 1860s with the construction of a new market building on William Street, and has remained constant since that time.

The Byward Market Heritage District is a rich, vernacular landscape. While it does not have a homogenous building stock characteristic of a single period, it bears witness in its architecture to the vital and continuous evolution of economic, social and cultural activity within the city core. From the mid-nineteenth century come many of the earliest surviving residential, commercial and mixed-use properties in the city. Within the district are a number of examples from this period which have survived relatively intact.

The Later nineteenth century witnessed a further diversifying of architectural styles. While the side gable form continued, some commercial blocks began to display Queen Anne characteristics, such as decorative woodwork in the cornices and often had projecting wood balconies. On the other hand, the Second Empire style, with its distinctive mansard roof form, was also popular during the second half of the nineteenth century. By the turn of the century, flat roofed, Italianate residential and commercial buildings were appearing throughout the district. The flat-roofed form, like the side gable and mansard roof forms, was suited to a dense urban environment, and allowed horizontal continuity along the street front.

Development continued in the period between the Wars, with examples of Art Deco and Modernist design, mostly in brick with detailing in stone. Many of these later façade treatments are re-workings of earlier buildings. This pattern of relatively continuous streetscapes of vernacular mixed use buildings interrupted by more formal institutional structures reflects a European tradition of urban design carried over into the new world. It is partly the surviving evidence of this tradition that gives the Market district such strong historical connotations.

Economically, the Market has been characterized by its location as a pivot, take-off point and base for Ottawa's vital commercial activities. In combination with facilities on other portions of Lower Town, the Market has also served as the cradle of social services in the city. In contrast to Upper Town, activity in the Market has been linked with more informal, non-political activities in the city. It forms the unique and vital individual core of Ottawa in counterpoise to Upper Town which, of necessity, has become devoted to more formal, national concerns.

The central location of the Market has made it particularly attractive as a settlement area for new immigrants. In conjunction with established Canadian population groups, they have played a significant role in building the area, renewing and maintaining it, constantly husbanding its spatial and locational assets to secure its vitality. At various periods, the Market has served as the seat of Irish Canadian, French Canadian and Jewish culture in Ottawa. It has housed special schools, meeting areas, religious and cultural facilities in addition to business and residential accommodation for these populations, and each of them has made a particularly strong contribution to the history and character of the area.

Source: Byward Market Heritage Conservation District Study (1990).

CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the district include its:

- relatively continuous streetscapes featuring a variety of vernacular mixed used buildings
- street layout and configuration dating from the 1860s, centralized around the Market building
- variety of architectural styles which date from the nineteenth and early twentieth centuries reflecting the continuous evolution of the area
- mid nineteenth century gable form buildings, some of the earliest surviving residential and commercial buildings in the city
- Second Empire style commercial and residential buildings with their distinctive mansard roofs
- flat roofed Italianate residential and commercial buildings from the turn of the century, featuring decorative brick veneer and elaborate cornices
- early examples of Art Deco and Modernist design
- prominent institutional buildings within a primarily vernacular setting
- development and importance as economic hub of historic Bytown, and later Ottawa, acting as a pivot and base for the city's and region's commercial activities
- variety of urban functions and institutions present in the area
- multicultural makeup reflecting the area's role as a home for numerous new immigrants and multicultural communities

RECOGNITION

JURISDICTION: Ontario

RECOGNITION AUTHORITY: Local Governments (ON)

RECOGNITION STATUTE: Ontario Heritage Act

RECOGNITION TYPE: Heritage Conservation District (Part V)

RECOGNITION DATE: 1991/03/06

HISTORICAL INFORMATION SIGNIFICANT DATE(S): n/a

THEME - CATEGORY AND TYPE FUNCTION - CATEGORY AND TYPE

CURRENT HISTORIC: Commerce / Commercial Services Market

ARCHITECT / DESIGNER: Colonel By

BUILDER: n/a

LOCATION OF SUPPORTING DOCUMENTATION

Byward Market Heritage Conservation District Study, September 1990 Planning and Growth Management Department, Heritage Section Ottawa City Hall 110 Laurier Avenue West Ottawa, Ontario K1P 1J1, Ontario

CROSS-REFERENCE TO COLLECTION

FED/PROV/TERR IDENTIFIER: HPON05-0590