



320 McRAE AVENUE - OTTAWA ONTARIO SITE PLAN APPLICATION

GWL Realty Advisors Inc.

NEUF ARCHITECT(E)S // FOTENN // CGH TRANSPORTATION // R.V. ANDERSON ASSOCIATED LIMITED // LENNOX JAMES B & ASSOCIATES INC // ADJELEIAN ALLEN RUBELI LIMITED // GOODKEY, WEEDMARK & ASSOCIATES LIMITED CONSULTING ENGINEERS

12087 || 2020.03.20

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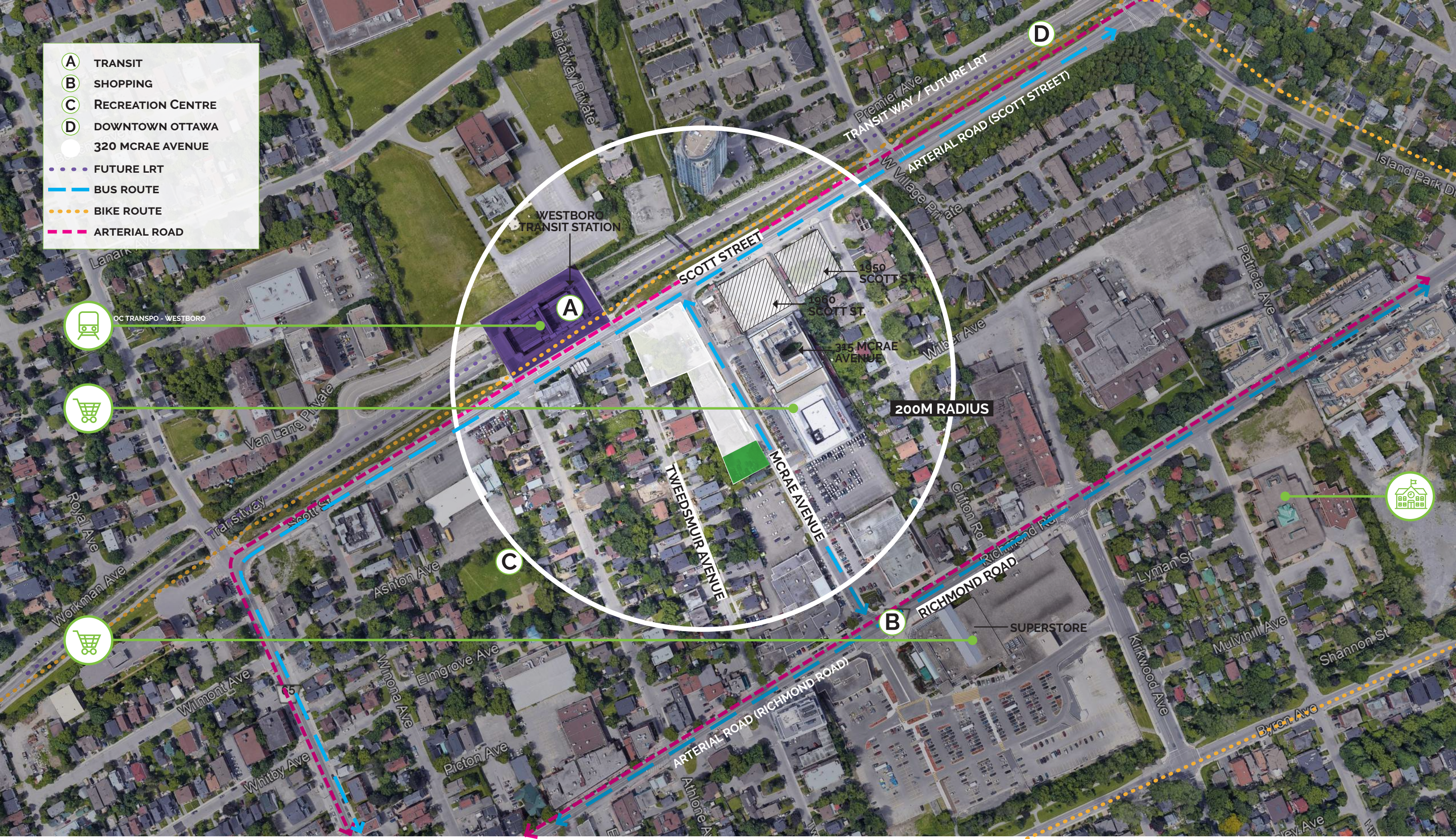
CONTEXT AND SITE ANALYSIS



SITE CONTEXT (1000M RADIUS)

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- A** TRANSIT
- B** SHOPPING
- C** RECREATION CENTRE
- D** DOWNTOWN OTTAWA
- 320 MCRAE AVENUE
- FUTURE LRT
- BUS ROUTE
- BIKE ROUTE
- ARTERIAL ROAD



OC TRANSP - WESTBORO



NEIGHBOURHOOD CONTEXT (200M RADIUS)

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CANADIAN BANK
NOTE COMPANY,
LIMITED

GUILLEVIN
INTERNATIONAL CO

THE METROPOLE



LCBO



ADAM'S MOVING

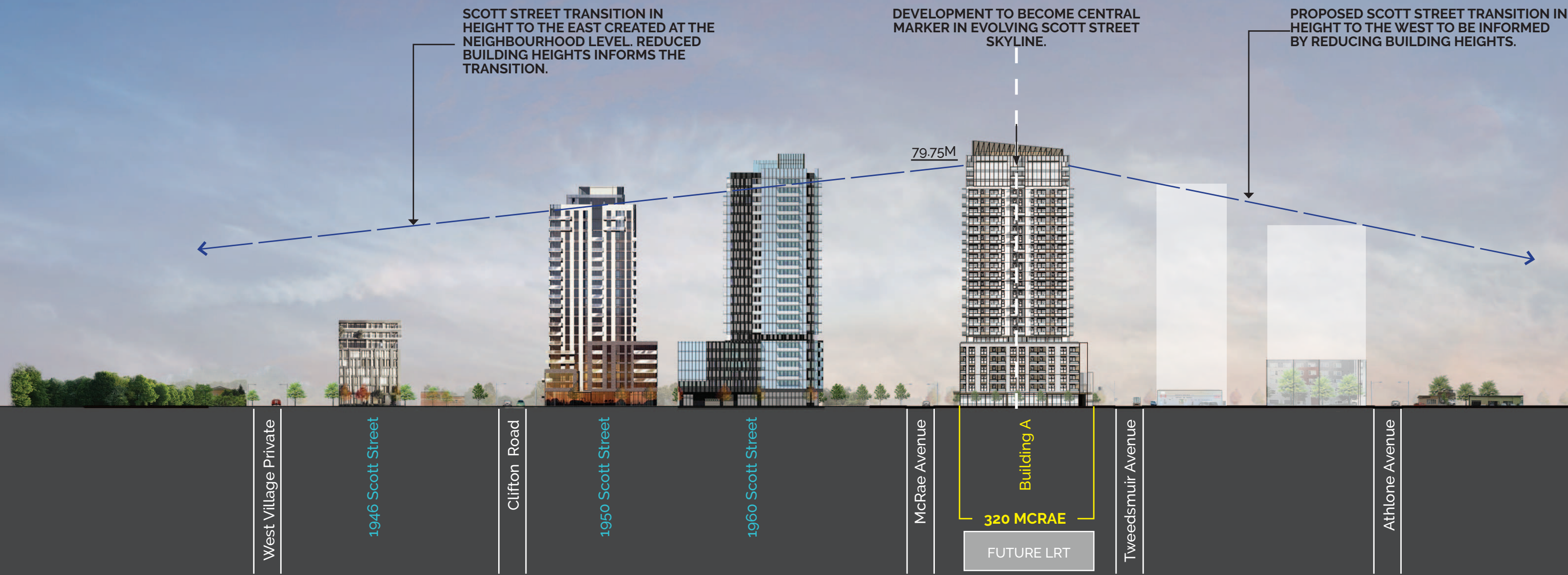


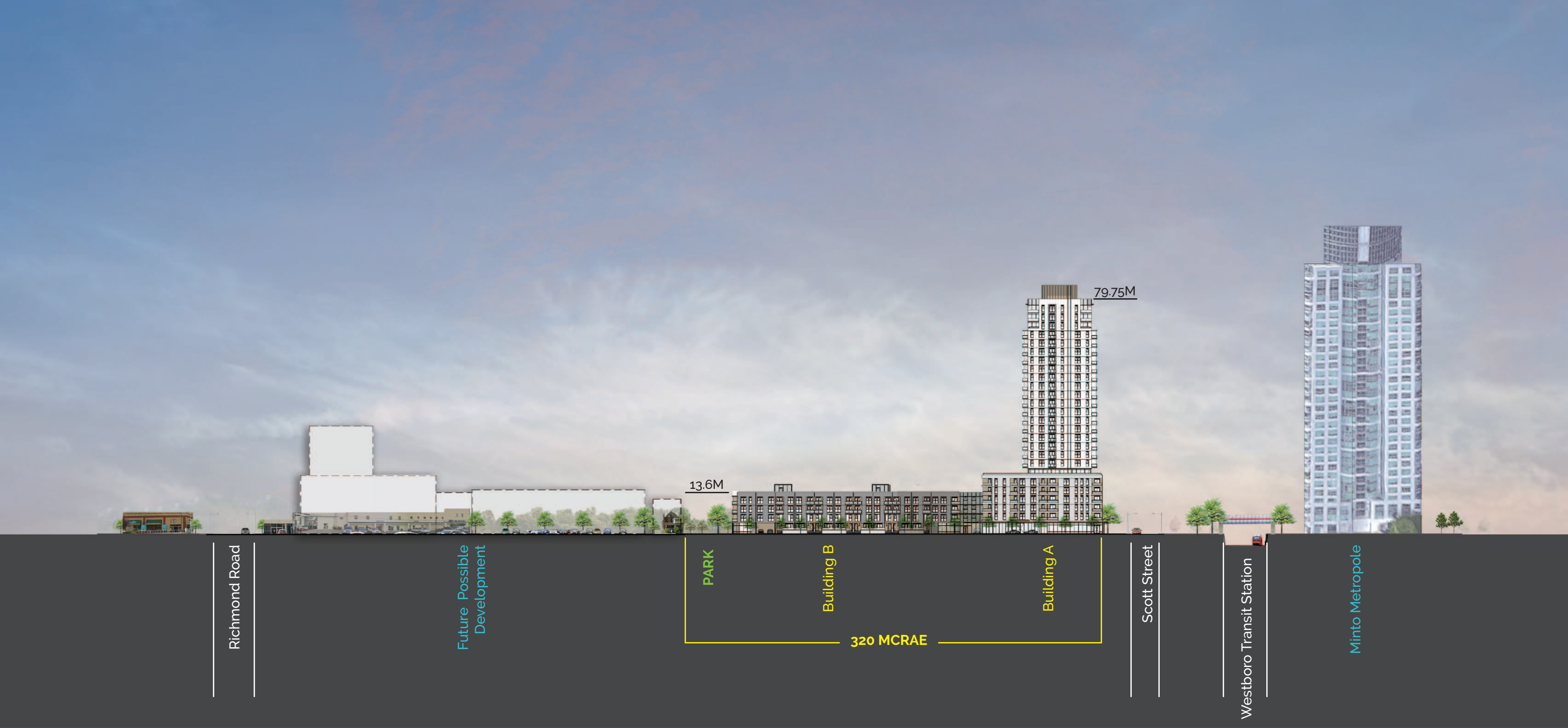
VISTA CENTRE
RESIDENCE

EXISTING STREETScape

NEUF architect(e)s / GWL REALTY ADVISORS, INC.







FUTURE STREETScape - MCRAE AVENUE

NEUF architect(e)s / GWL REALTY ADVISORS, INC.

SCALE: 1:1250



TOWER "TOP" CLEARLY
DEFINED THROUGH
CHANGE IN FORM AND
MATERIALITY

TOWER ARTICULATION
INTRODUCED AND
REINFORCED WITH
DIFFERENT MATERIALITY

TOWER MORE CLEARLY
ARTICULATED ABOVE
PODIUM WITH
TOWER RECESSED
AND AMENITY LEVEL
"SILENCE"

STRONGER PODIUM
EXPRESSION
WITH INDIVIDUAL
MATERIALITY AND
DETAILING

TOWER ARTICULATION
INTRODUCED AND
REINFORCED WITH
DIFFERENT MATERIALITY

RETAIL ACTIVATION
AT CORNER OF SCOTT
AND TWEEDSMUIR



TOWER MORE CLEARLY
ARTICULATED ABOVE
PODIUM WITH
TOWER RECESSED
AND AMENITY LEVEL
"SILENCE"

STRONGER PODIUM
EXPRESSION WITH
DIFFERENT COLOUR,
MATERIALITY AND
DETAILING

RETAIL ACTIVATION
AT CORNER OF SCOTT
AND McRAE



TOWNHOUSE
TYPOLOGY
REINFORCED
THROUGH REPEATED
VERTICALITY

REPEATED
ARCHITECTURAL
DETAIL AND
MATERIALITY USED
TO FORMALLY RELATE
McRAE BUILDING TO
PODIUM

TOWNHOUSES
AND PRIVATE
SPACE VISUALLY
COMMUNICATED BY
RAISED TERRACE AND
FINE GRAIN DETAIL TO
TOWNHOUSE ENTRIES

PRESENTATION IMAGE 03



PRESENTATION IMAGE 04



TOWER TOP
CLEARLY DEFINED
THROUGH CHANGE
IN MATERIALITY AND
FORM

TOWNHOUSE
TYPOLOGY
REINFORCED
THROUGH REPEATED
VERTICALITY

TOWNHOUSES
AND PRIVATE
SPACE VISUALLY
COMMUNICATED BY
RAISED TERRACE AND
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TOWNHOUSE ENTRIES





NEUF

ARCHITECT(E)S

320 McRAE AVENUE SITE PLAN APPLICATION DRAWING LIST

PAGE	DRAWING TITLE	REV.	DATE	DESCRIPTION
A-000	COVER SHEET & DRAWING LIST	1.0	2020 03 20	SITE PLAN APPROVAL
A-101	SITE PLAN & PROJECT INFORMATION	1.0	2020 03 20	SITE PLAN APPROVAL
A-200a	FLOOR PLAN - PARKING LEVEL 2	1.0	2020 03 20	SITE PLAN APPROVAL
A-200b	FLOOR PLAN - PARKING LEVEL 1	1.0	2020 03 20	SITE PLAN APPROVAL
A-201	FLOOR PLAN - GROUND LEVEL	1.0	2020 03 20	SITE PLAN APPROVAL
A-401	ELEVATIONS - NORTH AND SOUTH	1.0	2020 03 20	SITE PLAN APPROVAL
A-402	ELEVATION - EAST (McRAE)	1.0	2020 03 20	SITE PLAN APPROVAL
A-403	ELEVATIONS - WEST (TWEEDSMUIR)	1.0	2020 03 20	SITE PLAN APPROVAL



■ SITE PLAN APPLICATION 2020 03 20

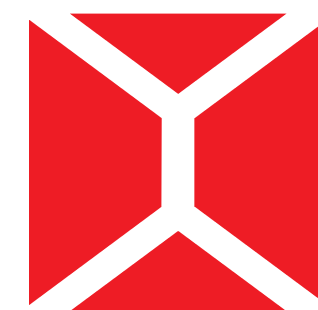


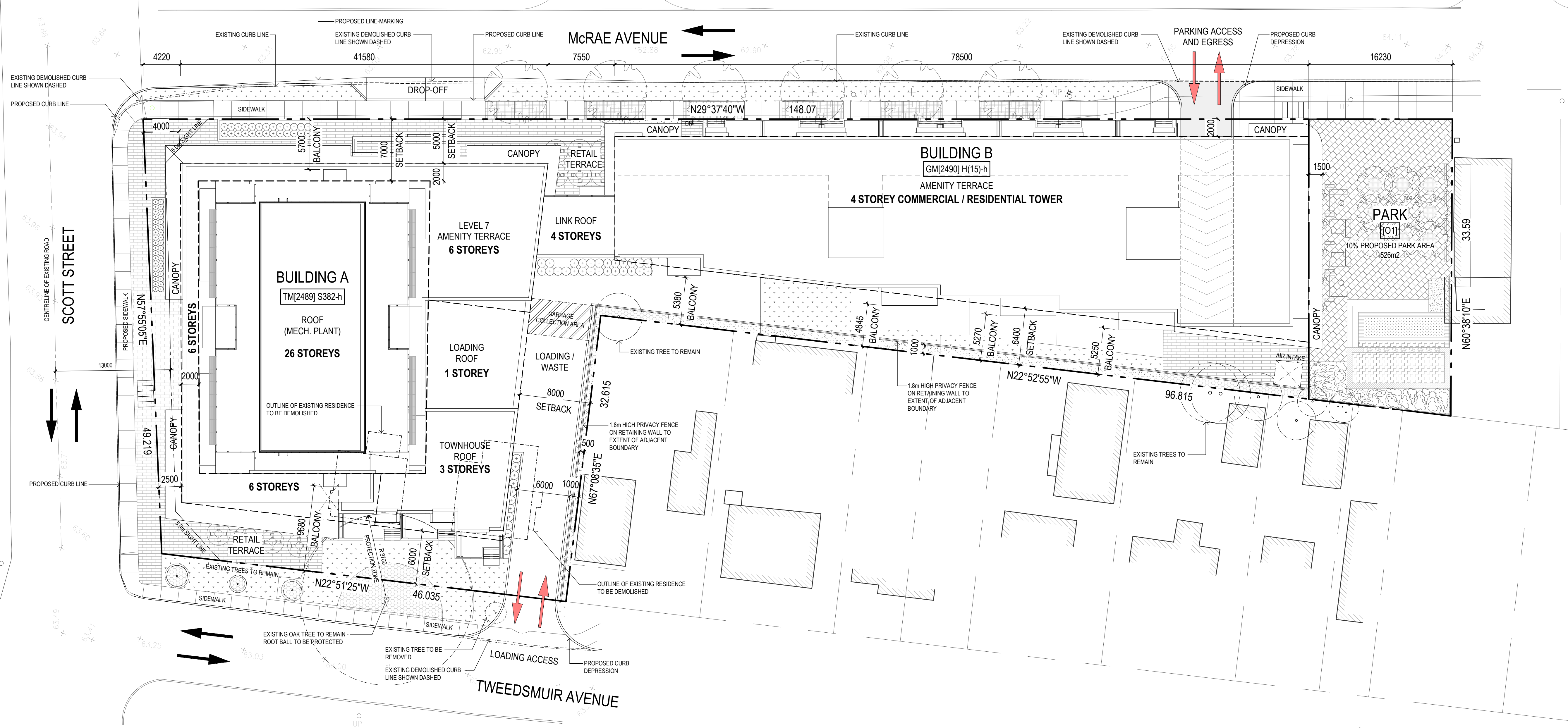
NEUF
ARCHITECT(E)S

320 McRAE AVENUE

1976 SCOTT ST & 320 McRAE AVE
OTTAWA, ON

CLIENT : GWL REALTY ADVISORS





SITE PLAN
1:250

PROJECT INFORMATION		PROJECT STATISTICS		BUILDING STATISTICS	
ZONING		SCOTT STREET BUILDING		SCOTT STREET BUILDING	
ZONING	TM[2489] S382-h GM[2490] H(15)-h O1	BUILDING HEIGHT	79.75m	GROUND FLOOR	748 m2
SITE AREA	5260m2	FRONT YARD SETBACK	VARIABLES	LEVEL 2	957 m2
BUILDING HEIGHT (TM[2489] S382-h)	78m	CORNER SIDE YARD SETBACK (McRAE AVENUE)	5.0m-7.0m	LEVEL 3	1056 m2
BUILDING HEIGHT (GM[2490] H(15)-h)	15m	CORNER SIDE YARD SETBACK (TWEEDSMUIR AVENUE)	6.0m	LEVEL 4	890 m2
FLOOR SPACE INDEX		REAR YARD SETBACK	8.0m	LEVELS 5 & 6	(928m2 x 2) 1856 m2
SETBACKS (TM[2489] S382-h)	PER SCHEDULE 382	McRAE AVENUE BUILDING		LEVEL 7 (AMENITY)	-
SETBACKS (GM[2490] H(15)-h)		BUILDING HEIGHT	13.6m	LEVELS 8-23	(568m2 x 16) 9088 m2
FRONT	2.0m	FRONT YARD SETBACK	2.0m	LEVELS 24-26	(518m2 x 3) 1554 m2
REAR	6.4m	SIDE YARD SETBACK (PARK)	0.0m	TOTAL	16,149 m2
INTERIOR YARD	1.2m	SIDE YARD SETBACK	0.0m	McRAE AVENUE BUILDING (INC. LINK)	
INTERIOR YARD (ABUTTING PARK)	0.0m	REAR YARD SETBACK	6.4m	GROUND FLOOR	1000 m2
		TWEEDSMUIR AVENUE BUILDING		LEVEL 2	1163 m2
		BUILDING HEIGHT	10.4m	LEVEL 3	1129 m2
		FRONT YARD SETBACK	6.0m	LEVEL 4	1129 m2
		SIDE YARD SETBACK	8.0m	TOTAL	4,421 m2
		LANDSCAPE OPEN SPACE		PROJECT TOTAL (INC. COMMERCIAL)	20,570 m2
		DRIVING SURFACE	300m2 (6%)	(COMMERCIAL / RETAIL)	841 m2
		BUILDING FOOTPRINT	2962m2 (56%)		
		PROPOSED PARK AREA	526m2 (10%)		
		LANDSCAPE OPEN SPACE	1472m2 (28%)		
		TOTAL	5260m2 (100%)		
				UNIT STATISTICS	
				McRAE AVENUE BUILDING	
				STUDIO	3
				1 BED	16
				1 BED+	-
				2 BED	10
				2 BED+	17
				3 BED	-
				TOWNHOUSE	8
				TOTAL	54
				PROJECT TOTAL	318
				PARKING	
				CAR PARKING	
				REQUIRED	
				RESIDENCE (0.5 PER UNIT AFTER 12 UNITS)	159
				-10% (Section 101(6)(c) of the Zoning By-law)	(-15)
				COMMERCIAL (1.25 PER 100m2 OF GFA)	0
				AFTER 500m2 OF GFA PER UNIT	
				VISITOR (0.1 SPACES/DWELLING UNIT)	30
				TO A MAXIMUM OF 30 SPACES	
				TOTAL	174
				TOTAL PARKING SPACES PROVIDED	181
				BICYCLE PARKING	
				REQUIRED	
				RESIDENCE (0.5 SPACES/DWELLING UNIT)	159
				COMMERCIAL (1 SPACE/250m2 GFA)	4
				TOTAL	163
				TOTAL BICYCLE PARKING SPACES PROVIDED	163
				(INC. 10 EXTERIOR SPACES)	
				AMENITY	
				REQUIRED	
				TOTAL AMENITY: 318 UNITS x 6m2	1908m2
				MIN. 50% COMMUNAL AREA	954m2
				PROVIDED	
				PRIVATE TERRACE/BALCONIES TOTAL	2289m2
				SCOTT STREET BUILDING COMMUNAL	
				LEVEL 7 - INTERIOR	514m2
				LEVEL 7 - EXTERIOR	599m2
				McRAE AVENUE BUILDING COMMUNAL	
				ROOF TERRACE - EXTERIOR	416m2
				TOTAL COMMUNAL SPACE PROVIDED	1529m2
				TOTAL AMENITY PROVIDED	3818m2

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SCEAU / Seal



320 McRAE AVENUE

EMPLACEMENT Location NO PROJET No.
1976 SCOTT ST & 320 12087
McRAE AVE
OTTAWA, ON

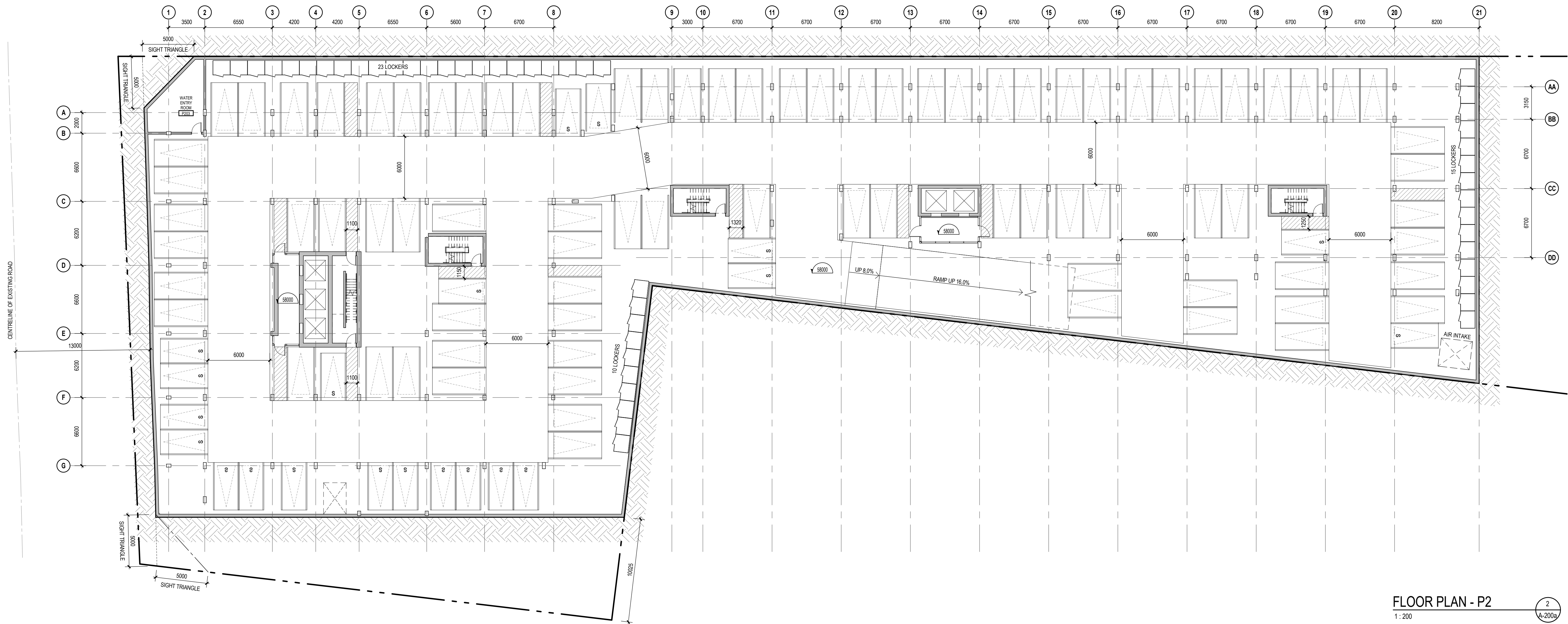
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1.0 SITE PLAN APPROVAL 2020/03/20

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DH HG
DATE 20/03/20 ECHELLE Scale
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SITE PLAN & PROJECT INFORMATION

REVISION Revision NO. DESSIN Dwg Number
1.0 A-101

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FLOOR PLAN - P2
1:200

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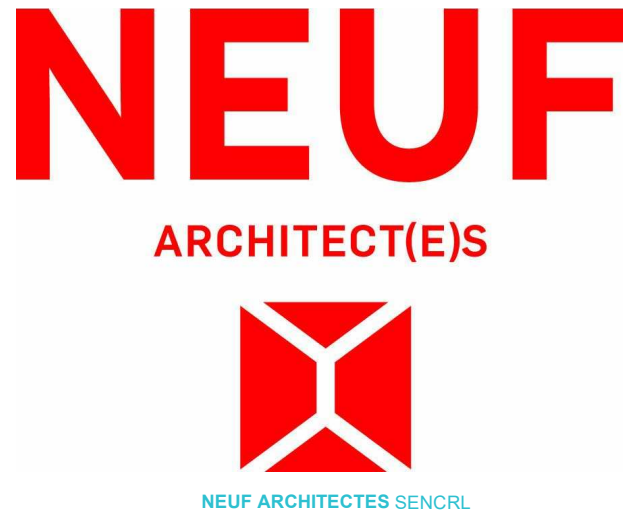
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OUVRAGE Project
320 McRAE AVENUE

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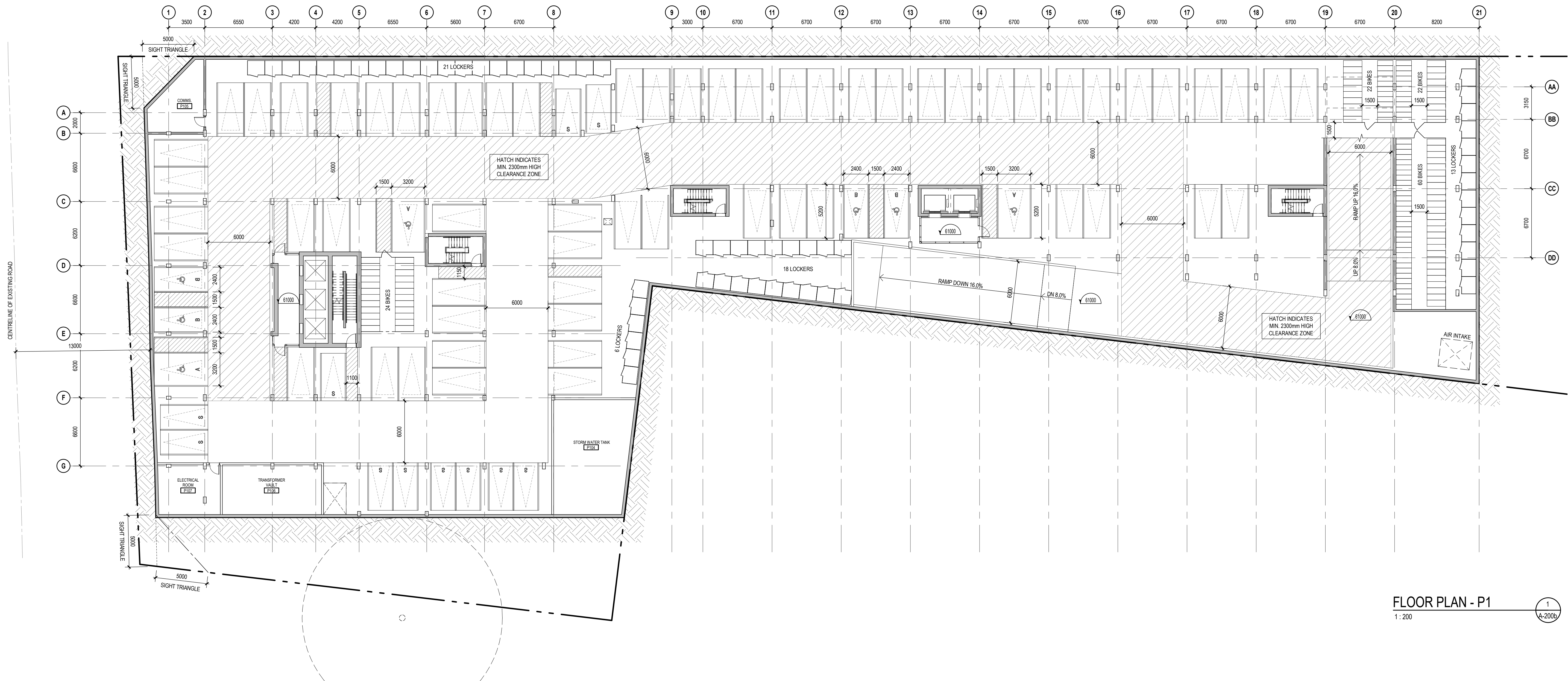
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TITRE DU DESSIN Drawing Title
**FLOOR PLAN - PARKING
LEVEL 2**

REVISION Revision NO. DESSIN Dwg Number
1.0 A-200a



FLOOR PLAN - P1
1:200

SCHEDULE - STORAGE LOCKER	
TYPE	LEVEL
STORAGE LOCKER 1400d x 1675w x 2100h	BASEMENT 2
48	
BASEMENT 2: 48	
STORAGE LOCKER 1400d x 1675w x 2100h	BASEMENT 1
58	
BASEMENT 1: 58	
TOTAL NO. OF STORAGE LOCKERS: 106	

SCHEDULE - BICYCLE PARKING	
TYPE	LEVEL
HORIZONTAL SPACE 1800Lx600W	BASEMENT 1
71	
VERTICAL SPACE 1500Lx500W	BASEMENT 1
57	
BASEMENT 1: 128	
HORIZONTAL SPACE 1800Lx600W	GROUND LEVEL
35	
GROUND LEVEL: 35	
TOTAL NO. OF BICYCLE PARKING SPACES: 163	

SCHEDULE - PARKING	
TYPE	LEVEL
2400mmx4600mm (SMALL)	BASEMENT 2
21	
2600mmx5200mm (TYP)	BASEMENT 2
82	
BASEMENT 2: 103	
2400mmx4600mm (SMALL)	BASEMENT 1
11	
2400mmx5200mm (ACCESSIBLE B)	BASEMENT 1
4	
2600mmx5200mm (TYP)	BASEMENT 1
60	
3200mmx5200mm (ACCESSIBLE A)	BASEMENT 1
3	
BASEMENT 1: 78	
TOTAL NO. OF PARKING SPACES: 181	

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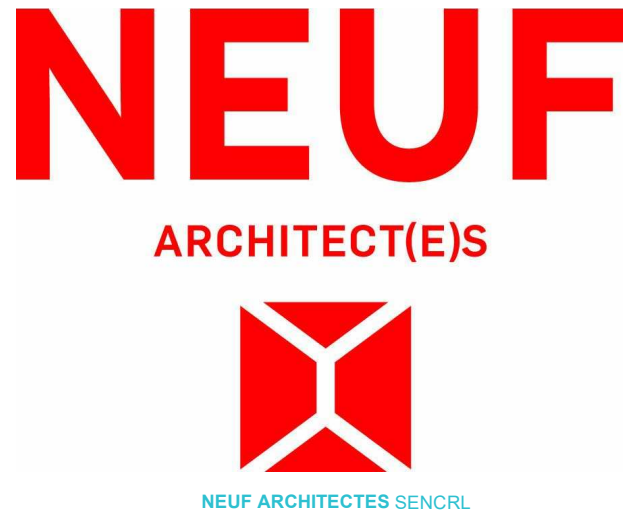
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OUVRAGE / Project
320 McRAE AVENUE

EMPLACEMENT / Location NO PROJET / No
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McRAE AVE
OTTAWA, ON

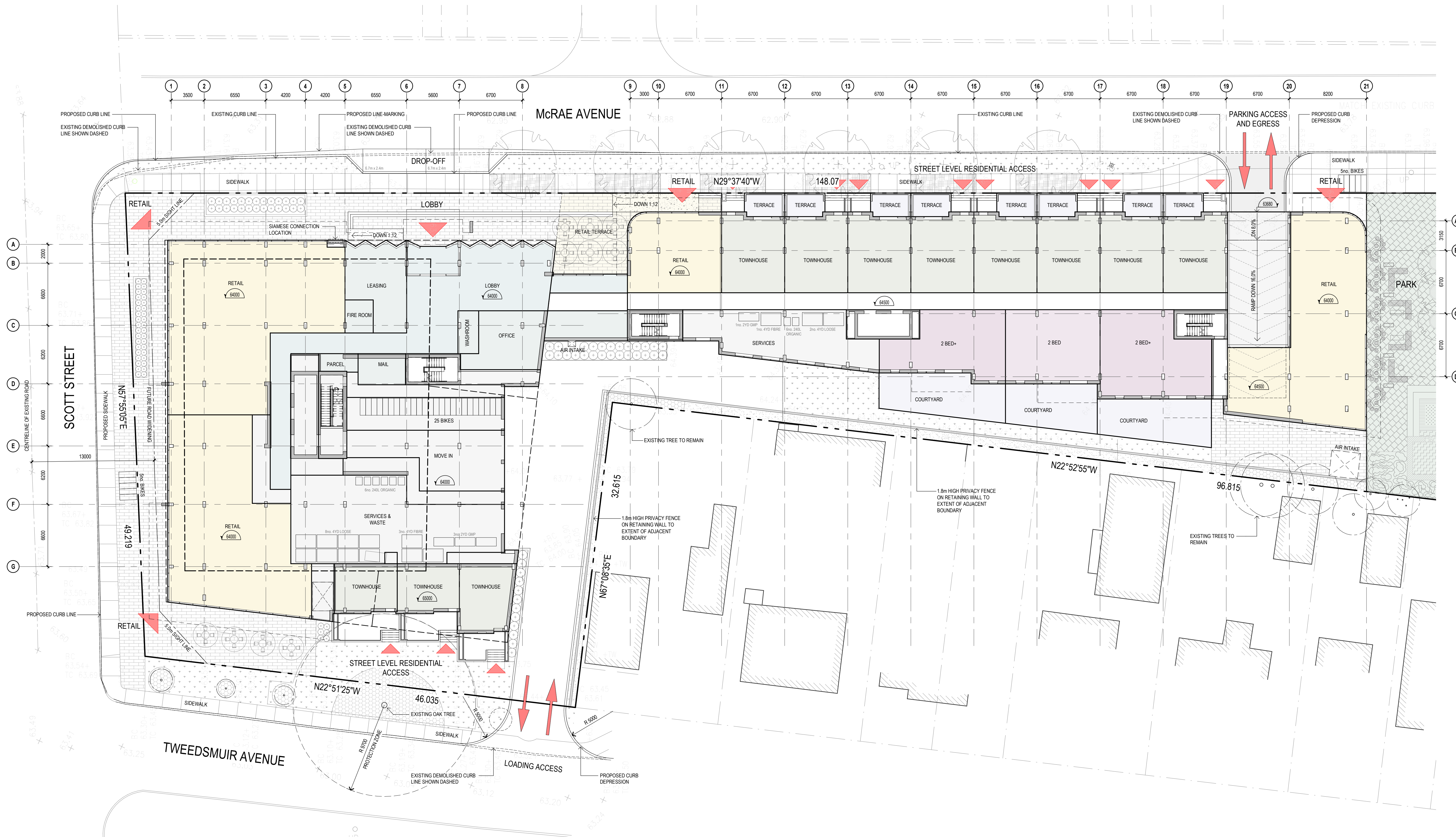
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DH HG
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TITRE DU DESSIN / Drawing Title
FLOOR PLAN - PARKING LEVEL 1

REVISION / Revision NO. DESSIN / Dwg Number
1.0 A-2006

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FLOOR PLAN - GROUND LEVEL
1:200

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TITRE DU DESSIN / Drawing Title
FLOOR PLAN - GROUND LEVEL

REVISION / Revision NO. DESSIN / Dwg Number
1.0 A-201

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MATERIALS LEGEND

- BRZ-01 DARK BRONZE COLOUR
- BRZ-02 LIGHT BRONZE COLOUR
- BRZ-03 TEXTURED - BRONZE COLOUR
- BRZ-04 PANEL - BRONZE COLOUR
- CON-01 LIGHT CONCRETE FINISH
- CON-02 GREY CONCRETE FINISH - PATTERNED
- CON-03 DARK CONCRETE FINISH - PATTERNED
- GLZ-01 CLEAR GLAZING
- GLZ-02 OPAQUE GLAZING
- GLZ-03 TINTED GLAZING
- GLZ-04 OPAQUE TINTED GLAZING
- GLZ-05 GLAZING - LIGHT FRIT
- GLZ-06 CLEAR GLAZING - TINTED FRIT
- GLZ-07 CLEAR GLAZING - DARK FRIT

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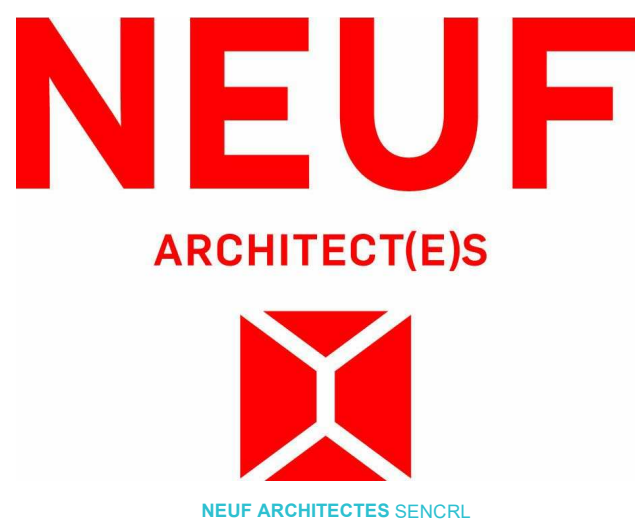
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CLIENT Client



OUVRAGE Project
320 McRAE AVENUE

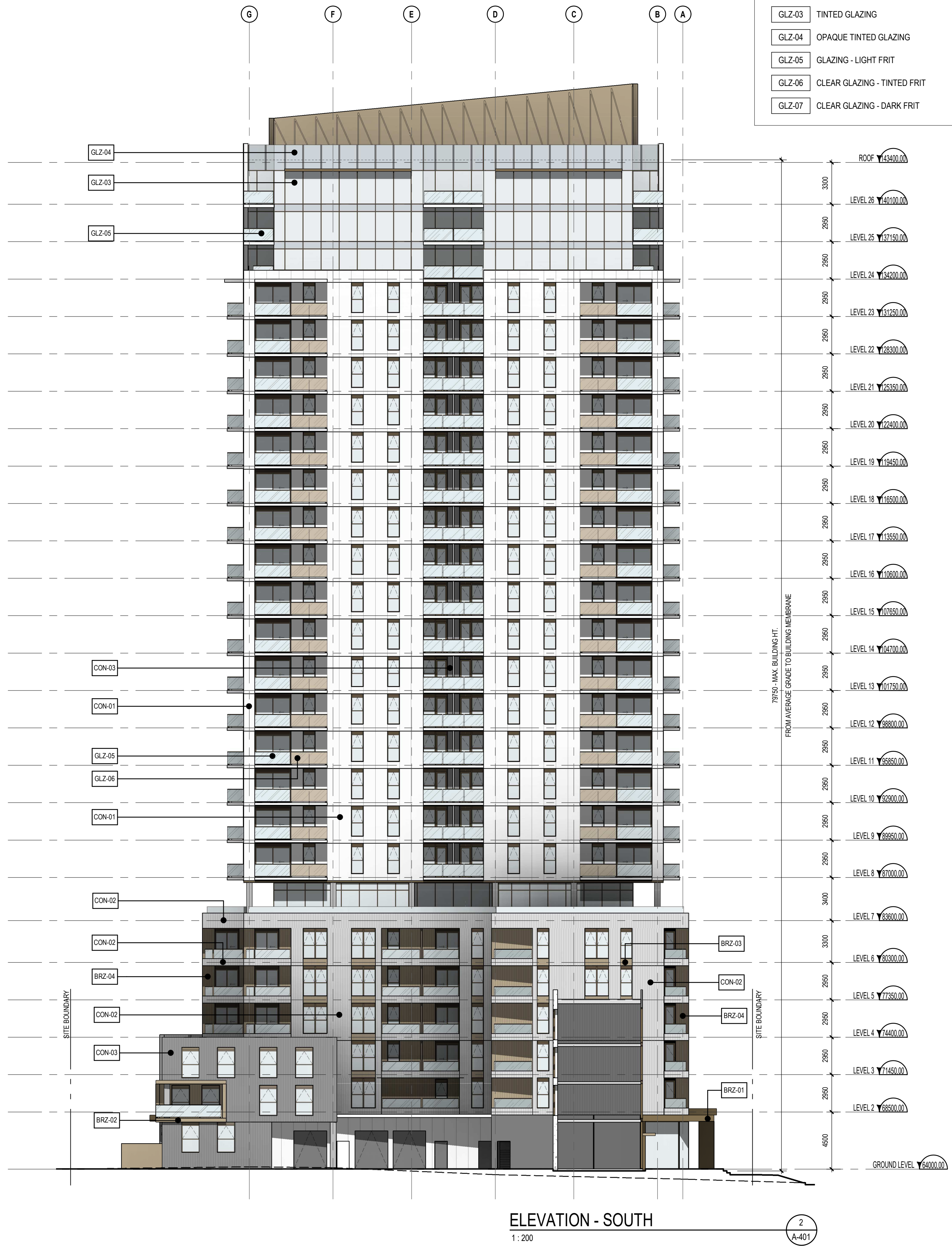
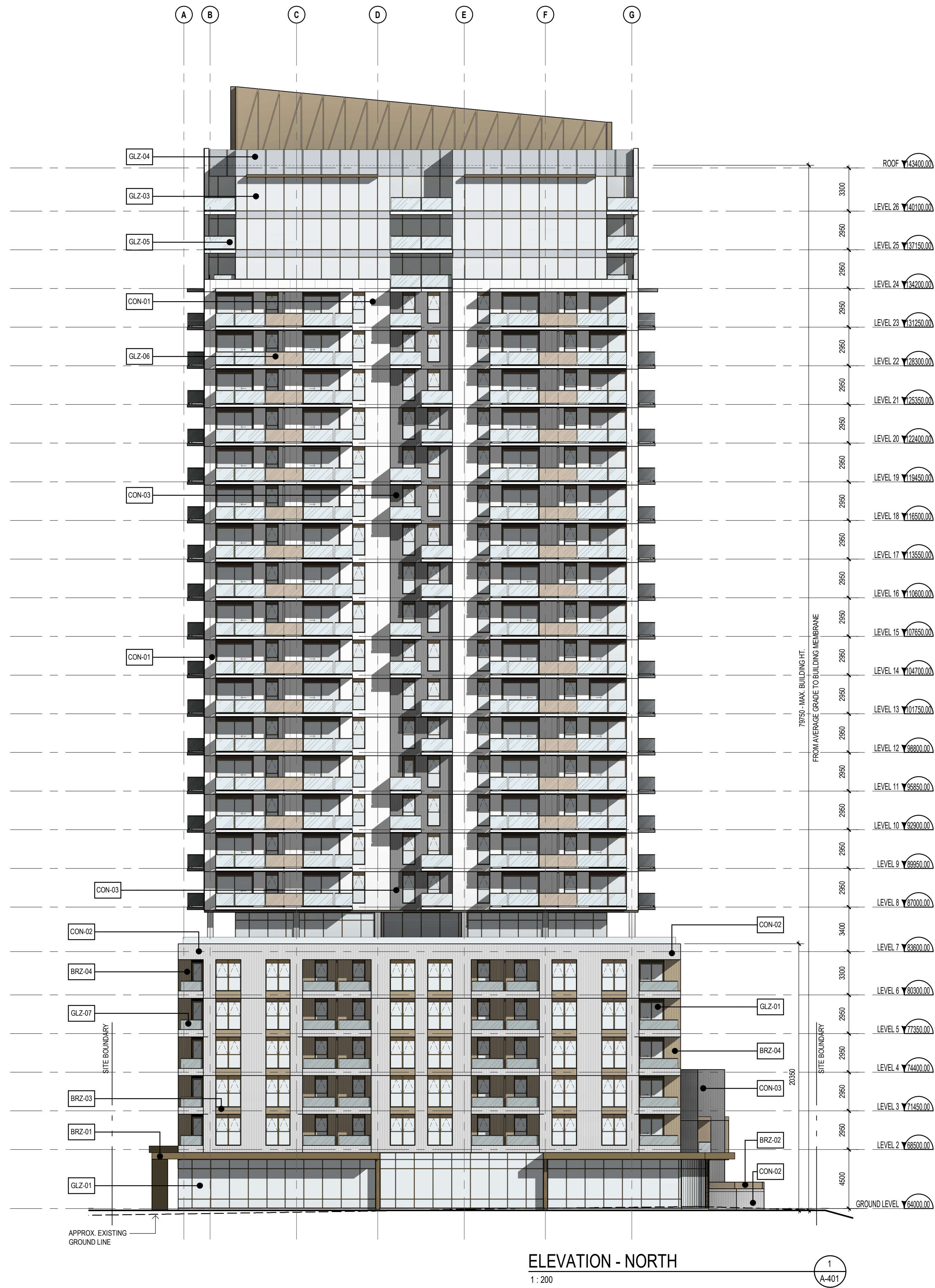
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 DATE 20/03/20 ÉCHELLE Scale
 As indicated

TITRE DU DESSIN Drawing Title
ELEVATIONS - NORTH AND SOUTH

REVISION Revision NO. DESSIN Dwg Number
1.0 A-401



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MATERIALS LEGEND

BRZ-01	DARK BRONZE COLOUR
BRZ-02	LIGHT BRONZE COLOUR
BRZ-03	TEXTURED - BRONZE COLOUR
BRZ-04	PANEL - BRONZE COLOUR
CON-01	LIGHT CONCRETE FINISH
CON-02	GREY CONCRETE FINISH - PATTERNED
CON-03	DARK CONCRETE FINISH - PATTERNED
GLZ-01	CLEAR GLAZING
GLZ-02	OPAQUE GLAZING
GLZ-03	TINTED GLAZING
GLZ-04	OPAQUE TINTED GLAZING
GLZ-05	GLAZING - LIGHT FRIT
GLZ-06	CLEAR GLAZING - TINTED FRIT
GLZ-07	CLEAR GLAZING - DARK FRIT



ELEVATION - EAST
1:200

3
A-402

NOTES GÉNÉRALES / General Notes

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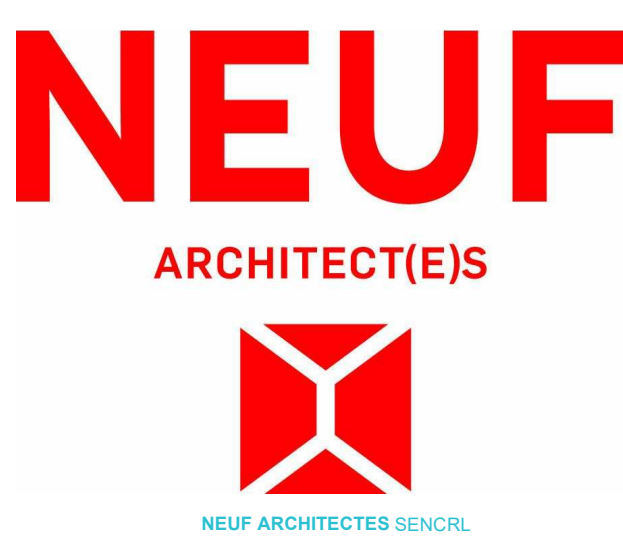
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SCEAU / Seal



OUVRAGE Project
320 McRAE AVENUE

EMPLACEMENT Location NO PROJET No.
1976 SCOTT ST & 320 12087
McRAE AVE
OTTAWA, ON

NO REVISION DATE
1.0 SITE PLAN APPROVAL 2020 03 20

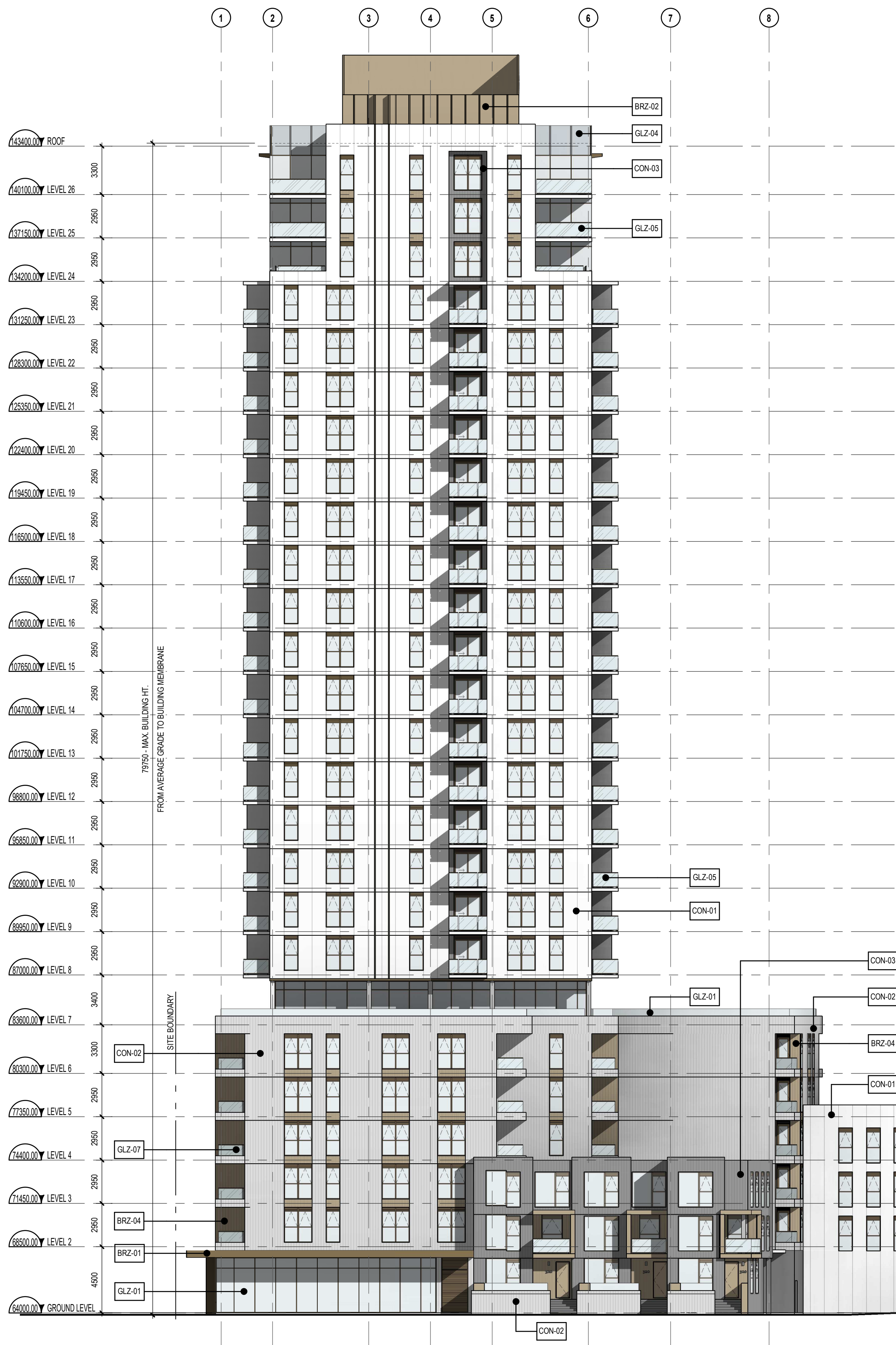
DESSIN PAR Drawn by VERIFIÉ PAR Checked
DH HG
DATE 20/03/20 ÉCHELLE Scale
As indicated

TITRE DU DESSIN Drawing Title
ELEVATION - EAST
(McRAE)

REVISION Revision NO. DESSIN Dwg Number
1.0 **A-402**

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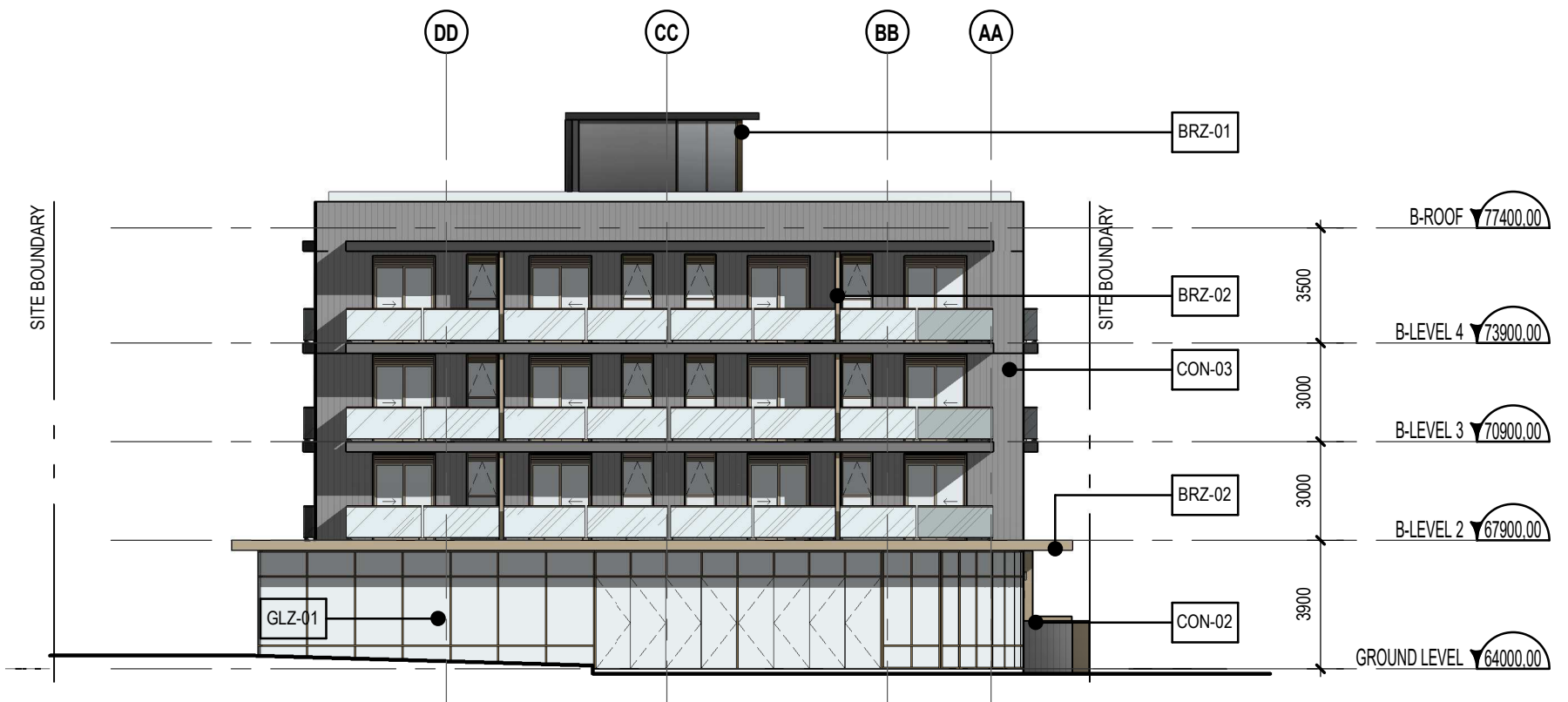
ELEVATION - WEST
1:200

MATERIALS LEGEND

BRZ-01	DARK BRONZE COLOUR
BRZ-02	LIGHT BRONZE COLOUR
BRZ-03	TEXTURED - BRONZE COLOUR
BRZ-04	PANEL - BRONZE COLOUR
CON-01	LIGHT CONCRETE FINISH
CON-02	GREY CONCRETE FINISH - PATTERNED
CON-03	DARK CONCRETE FINISH - PATTERNED
GLZ-01	CLEAR GLAZING
GLZ-02	OPAQUE GLAZING
GLZ-03	TINTED GLAZING
GLZ-04	OPAQUE TINTED GLAZING
GLZ-05	GLAZING - LIGHT FRIT
GLZ-06	CLEAR GLAZING - TINTED FRIT
GLZ-07	CLEAR GLAZING - DARK FRIT



BUILDING B ELEVATION - NORTH
1:200



BUILDING B ELEVATION - SOUTH
1:200

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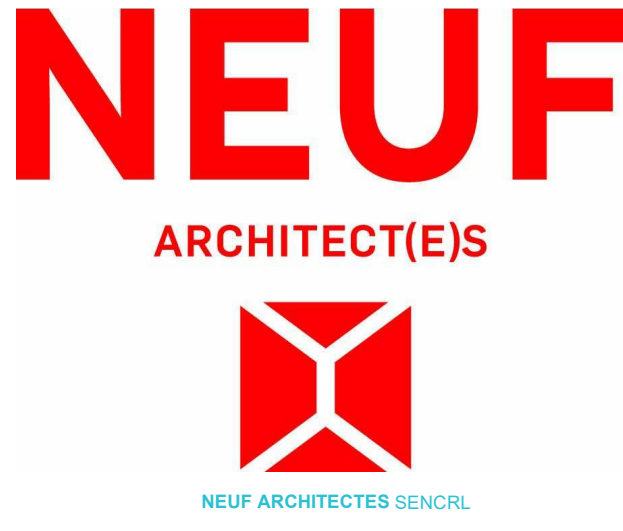
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SCEAU / Seal



OUVRAGE Project
320 McRAE AVENUE

EMPLACEMENT Location NO PROJET No.
1976 SCOTT ST & 320 12087
McRAE AVE
OTTAWA, ON

NO REVISION DATE
1.0 SITE PLAN APPROVAL 2020 03 20

DESSINÉ PAR Drawn by VERIFIÉ PAR Checked
DH HG
DATE 20/03/20 ÉCHELLE Scale
As indicated

TITRE DU DESSIN Drawing Title
ELEVATIONS - WEST (TWEEDSMUIR)

REVISION Revision NO. DESSIN Dwg Number
1.0 A-403

Preliminary
DO NOT USE FOR
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