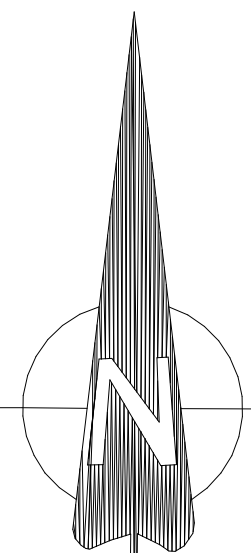


Scale 1: 200
 0 2 4 6 8 Meters



PROJECT INFORMATION

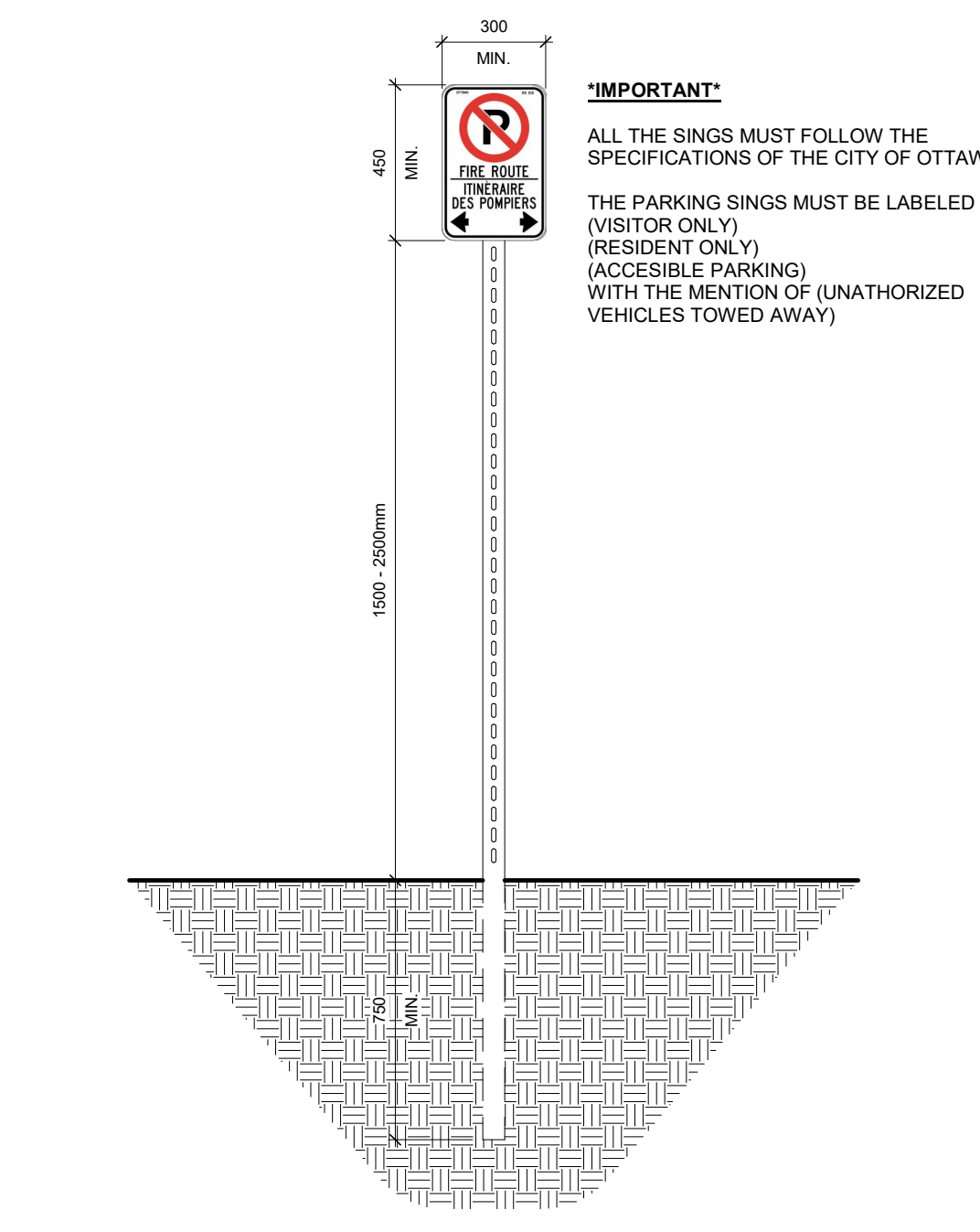
ZONING:	Arterial Mainstreet, Subzone 10 [AM10]	ZONING MECHANISMS	REQUIRED	PROVIDED
SITE LOCATION:	1420 Richmond Road, 365 Forest Street, and 2583 to 2589 Bond Street.	Arterial Mainstreet, Subzone 10 [AM10] Table 185 - AM10 Subzone:		
SITE AREA:	5433.87 m ² (58489.69 ft ²)	MAX. BUILDING HEIGHT (m):	30m	Tower A 12 Storey Building + Mech. Penthouse (±37.4m) Tower B 12 Storey Building + Mech. Penthouse (±37.4m)
PROJECT STATISTICS		MIN. FRONT YARD SETBACK (m):	0m	7.8m
GRADE (ZONING DEFINITION):	75.60m (geo.)	MIN. CORNER SIDE YARD SETBACK (m):	0m	3m
BUILDING HEIGHT (TOWER A):	±40.5m	MIN. INTERIOR SIDE YARD SETBACK (m):	N/A	1m
BUILDING HEIGHT (TOWER B):	±40.5m	MIN. REAR YARD SETBACK (m):	3m	DEROGATORY
LANDSCAPE OPEN SPACE PROVIDED:	1409 m ² (15166.4 ft ²)	MIN. DISTANCE BETWEEN TOWERS:	15m	15m
AMENITY SPACE PROVIDED:	1173 m ² (12626 ft ²)	MIN. WIDTH OF DRIVING AISLES:	6m	7.5m
ROOF TERRACE SPACE (TOWER A):	100 m ² (1076.39 ft ²)			
(TOWER B):	73 m ² (785.77 ft ²)			
GROSS BUILDING - AREAS - (TOWER A) (CITY OF OTTAWA ZONING DEFINITION)		GROSS BUILDING - AREAS - (TOWER B) (CITY OF OTTAWA ZONING DEFINITION)		
PARKING LEVEL (P1 - P4):	0 m ² (0 ft ²)	GROUND FLOOR:	1467 m ² (15730.56 ft ²)	
GROUND FLOOR:	1217 m ² (13099.69 ft ²)	2nd FLOOR:	1497 m ² (16113.57 ft ²)	
2nd FLOOR:	1217 m ² (13099.69 ft ²)	3rd - 6th FLOOR:	(1629 x 4) 6516 m ² (70137.64 ft ²)	
3rd - 6th FLOOR:	(1246m ² x 4) 4984 m ² (53647.33 ft ²)	7th FLOOR:	1465 m ² (15769.13 ft ²)	
7th FLOOR:	1146 m ² (12335.44 ft ²)	8th - 11th FLOOR:	(1513 x 4) 6052 m ² (65143.19 ft ²)	
8th - 11th FLOOR:	(1188m ² x 4) 4752 m ² (51150.01 ft ²)	12th FLOOR:	1388 m ² (14940.31 ft ²)	
12th FLOOR:	1045 m ² (11248.29 ft ²)	MECHANICAL & PENTHOUSE:	271 m ² (2917 ft ²)	
MECHANICAL & PENTHOUSE:	219 m ² (2357.30 ft ²)	TOTAL BUILDING AREA:	18656 m ² (200,811.51 ft ²)	
TOTAL BUILDING AREA:	14580 m ² (156,937.81 ft ²)			
UNIT STATISTICS		UNIT STATISTICS		
1 BRD:	13	1 BRD:	12	
1 BRD + DEN:	102	1 BRD + DEN:	145	
2 BRD:	42	2 BRD:	43	
BACHELOR:	11	BACHELOR:	23	
TOTAL:	168	TOTAL:	223	
CAR PARKING		BICYCLE PARKING		
REQUIRED:	0 / UNIT	REQUIRED:	50% OF TOTAL UNITS	
PROVIDED:	442	TOWER A:	84 MIN. EXTERIOR: 42 INTERIOR: 42	
VISITORS:	30 MAX.	TOWER B:	112 MIN. EXTERIOR: 56 INTERIOR: 56	

SITE PLAN SYMBOLS

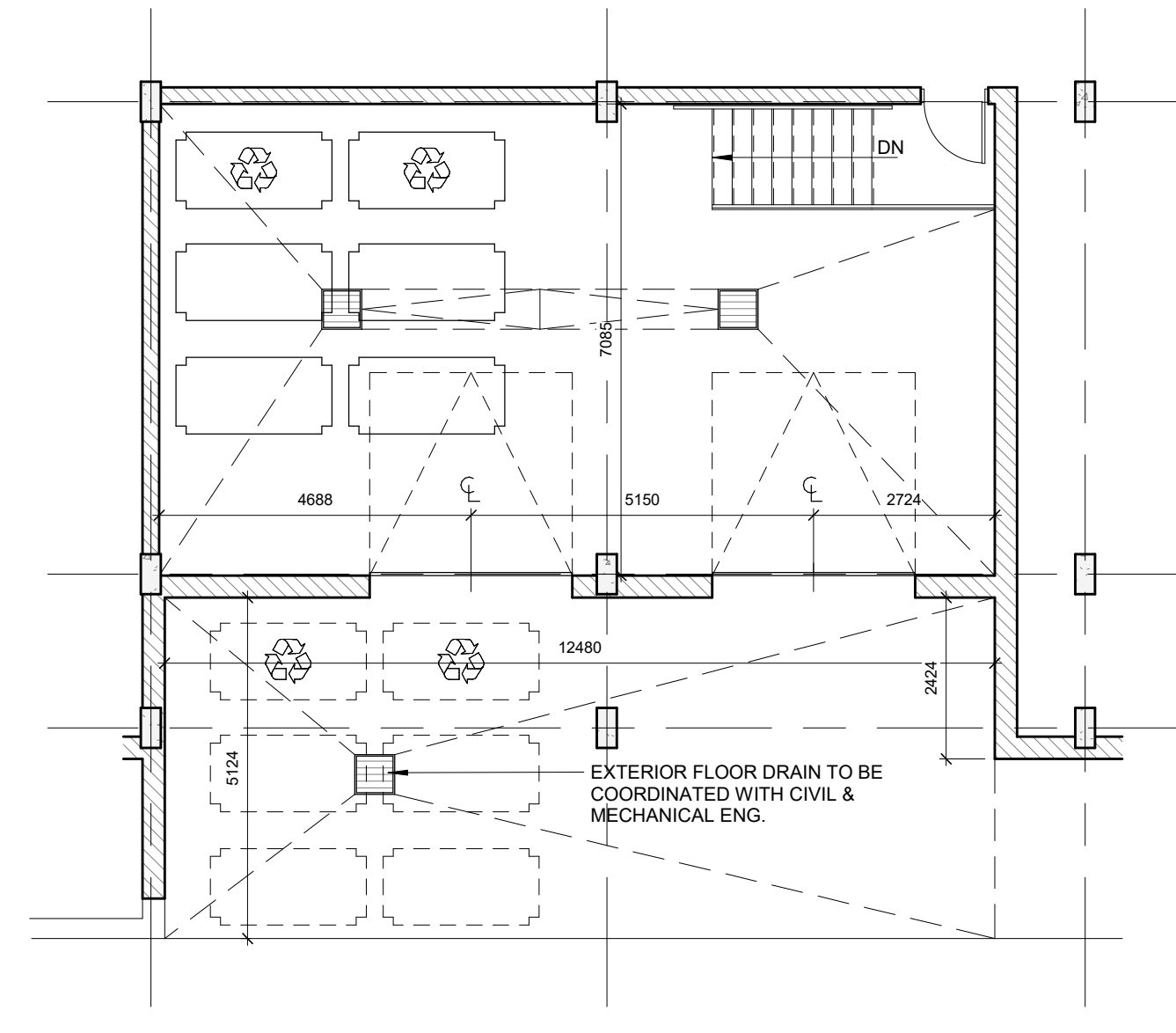
- PROPERTY LINE
- YARD SETBACKS AS PER ZONING SCHEDULE
- EQUAL DIMENSIONS
- REFER TO DRAWING NOTES
- PROPOSED DECIDUOUS TREE, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- PROPOSED CONIFEROUS TREE, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- PROPOSED SHRUBS / PERENNIALS / ORNAMENTAL GRASSES, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- EXISTING CITY OWNED TREE TO REMAIN
- EXISTING CYCLE PATH
- PROPOSED 1.5m HT. WOOD SCREEN FENCE, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- TWO WAY VEHICLE CIRCULATION
- ACCESS ROUTE FOR FIRE DEPARTMENT USE
- MAIN ENTRANCE
- EXTERIOR BICYCLE PARKING MODEL AND TYPE TO BE CONFIRMED
- PROPOSED SOFT LANDSCAPING, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- PROPOSED RIVERSTONE MULCH AREA, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- PROPOSED PRECAST CONCRETE UNIT PAVING TYPE 1, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- PROPOSED PRECAST CONCRETE UNIT PAVING TYPE 2, REFER TO LANDSCAPE ARCHITECT'S SPECIFICATIONS
- CONCRETE WALK / DRIVING SURFACE WHERE APPLICABLE
- PROPOSED SNOW STORAGE SURFACE

DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACKS
- HARD SURFACE PAVING, REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE.
- OUTLINE OF UNDERGROUND PARKING LEVELS.
- SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN.
- OUTLINE OF TOWER ABOVE.
- CONCRETE WALK, WIDTH AS SHOWN.
- SITE FURNITURE (AS PER LANDSCAPE PLAN).
- VEHICLE ENTRANCE RAMP TO UNDERGROUND GARAGE.
- EXTERIOR BICYCLE RACKS, REFER TO LANDSCAPE PLANS.
- OUTLINE OF BALCONIES ABOVE.
- DEPRESSED CURB AS PER CITY STANDARDS, REFER TO CIVIL ENGINEER.
- TACTILE WALKING SURFACE INDICATOR.
- FIRE ROUTE SING AS PER CITY STANDARDS.



2
 FIRE ROUTE SING
 ÉCHELLE: 1: 20
 DÉTAIL



3
 TEMPORARY GARBAGE AREA
 ÉCHELLE: 1: 100
 DÉTAIL

ISSUED FOR SITE PLAN REVIEW

ONTARIO ASSOCIATION OF ARCHITECTS
 CHRISTIAN RHEAULT
 LICENCE 7553

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NOTES:
 The contractor must confirm all dimensions and site conditions and shall be fully responsible for accuracy.
 Do not scale drawings. Any discrepancy or omission of dimensions must be reported to the architect before proceeding with the work. Otherwise, the contractor will be held responsible.

acsl
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PMA ARCHITECTES

GROUP HEAFEY
 365 Forest Street, Ottawa, ON K2B 7Z7
 PROJECT NO: CLIENT PROJECT NO: Groupe Heafey

DATE: 05/02/2021
 PROJECT NO:
 APPROVED BY: Christian Rheaault
 PROJECT: 1887-2003-19
A002