

# GROUPE HEAFEY

RICHMOND ROAD & FOREST STREET

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

D07-12-20-0041 1887-2303-19

|             |            |
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| REVISION 01 | 2020-12-18 |
| REVISION 02 | 2022-08-29 |
| REVISION 03 | 2022-12-09 |
| REVISION 04 | 2023-08-03 |
| REVISION 05 | 2023-10-18 |
| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



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# SITE PLAN

GROUP HEAFEY

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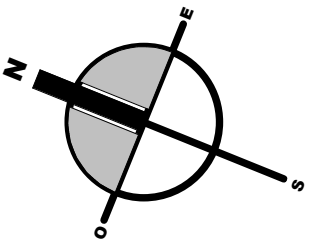
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Dessiné par : Author  
Conçu par : Designer

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# SITE PLAN

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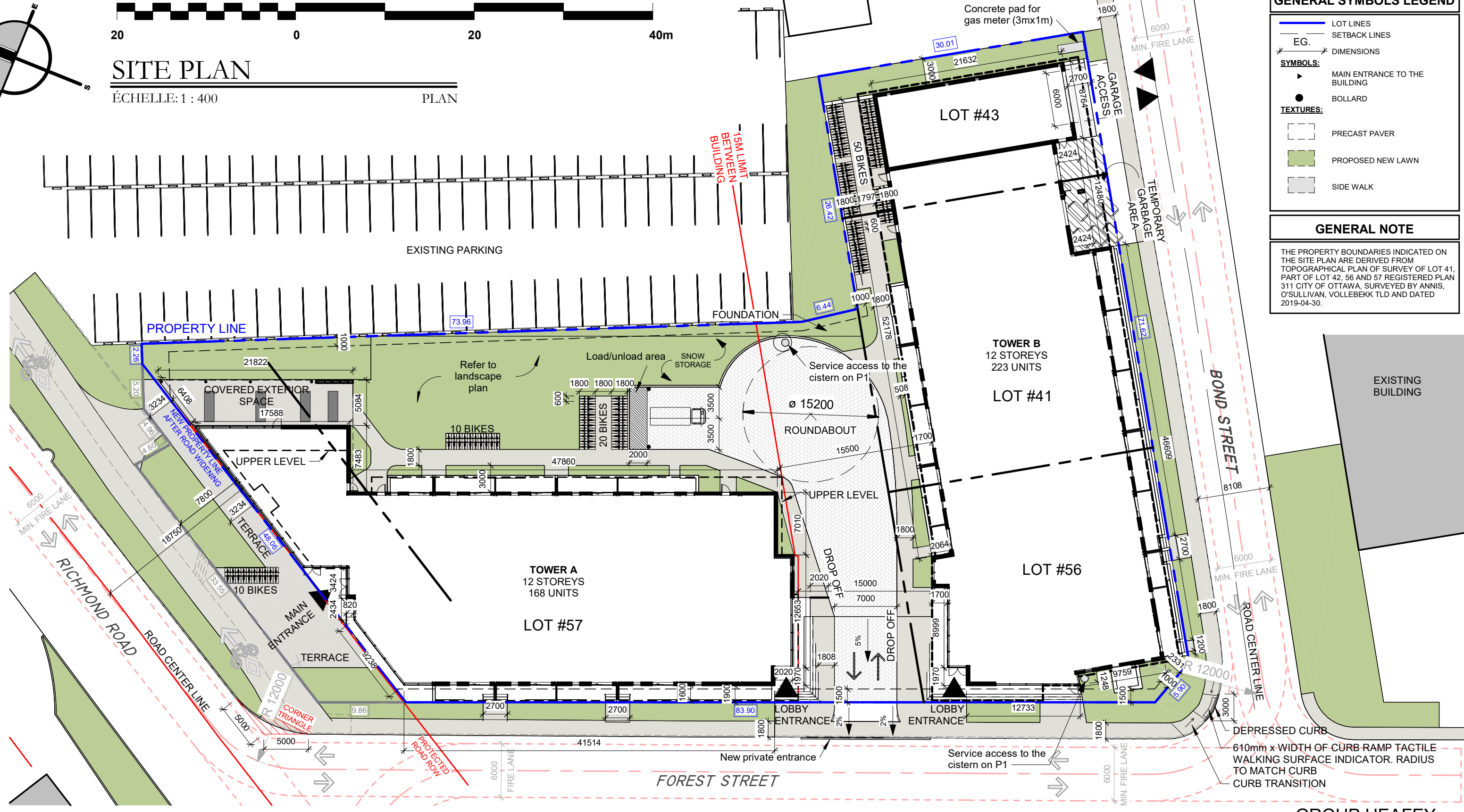
PLAN

## GENERAL SYMBOLS LEGEND

- LOT LINES
- SETBACK LINES
- EG. DIMENSIONS
- SYMBOLS:
  - ▶ MAIN ENTRANCE TO THE BUILDING
  - BOLLARD
- TEXTURES:
  - ▭ PRECAST PAVER
  - PROPOSED NEW LAWN
  - ▨ SIDE WALK

## GENERAL NOTE

THE PROPERTY BOUNDARIES INDICATED ON THE SITE PLAN ARE DERIVED FROM TOPOGRAPHICAL PLAN OF SURVEY OF LOT 41, PART OF LOT 42, 56 AND 57 REGISTERED PLAN 311 CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBECK TLD AND DATED 2019-04-30.



## GROUP HEAFEY

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**LAPALME RHEAULT**  
ARCHITECTES | ASSOCIÉS

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## SUMMARY STATISTICS FOR TOWER A & B

GREEN AREA : 798 m<sup>2</sup>

### RESIDENTIAL TOTAL NET AREA

TOWER A (12 LEVELS) : (168 UNITS) 11 565 m<sup>2</sup>  
 TOWER B (12 LEVELS) : (223 UNITS) 15 585 m<sup>2</sup>  
 TOTAL : (391 UNITS) 27 150 m<sup>2</sup>

### COMMERCIAL TOTAL NET AREA

TOWER A : 224 m<sup>2</sup>  
 TOWER B : 0 m<sup>2</sup>

### UNDERGROUND PARKING TOTAL GROSS AREA

PER LEVEL AREA : 4833 m<sup>2</sup>

### NUMBER OF INTERIOR PARKING (4 LEVELS)

REQUIRED MINIMUM 1.1 PER UNITS : 431 PARKINGS (MINIMUM)  
 NUMBER OF PARKING PROPOSED : 420 PARKINGS

### NUMBER OF BIKES (50% OF NUMBER UNITS)

TOWER A & B P1 LEVEL (EXTRA)  
 INTERIOR : 52

### TOWER A (84 MINIMUM REQUIRED)

INTERIOR (42 MIN.) : 52  
 EXTERIOR (42 MIN.) : 40

### TOWER B (112 MINIMUM REQUIRED)

INTERIOR (56 MIN.) : 56  
 EXTERIOR (56 MIN.) : 50

### NOTE ON THE SITE PLAN

THE PROPERTY BOUNDARIES INDICATED ON THE SITE PLAN ARE DERIVED FROM TOPOGRAPHICAL PLAN OF SURVEY OF LOT 41, PART OF LOT 42, 56 AND 57 REGISTERED PLAN 311 CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK TLD AND DATED 2019-04-30.

## TOWER A - GROSS AREA PER LEVEL

|                            |                               |
|----------------------------|-------------------------------|
| GROSS AREA LEVEL 1 :       | 1217.94 m <sup>2</sup>        |
| GROSS AREA LEVEL 2 :       | 1217.94 m <sup>2</sup>        |
| GROSS AREA LEVEL 3 TO 6 :  | 1246.10 m <sup>2</sup> x 4    |
| GROSS AREA LEVEL 7 :       | 1146.39 m <sup>2</sup>        |
| GROSS AREA LEVEL 8 TO 11 : | 1188.44 m <sup>2</sup> x 4    |
| GROSS AREA LEVEL 12 :      | 1044.76 m <sup>2</sup>        |
| <b>TOTAL GROSS AREA :</b>  | <b>14365.19 m<sup>2</sup></b> |

## TOWER B - GROSS AREA PER LEVEL

|                            |                               |
|----------------------------|-------------------------------|
| GROSS AREA LEVEL 1 :       | 1466.78 m <sup>2</sup>        |
| GROSS AREA LEVEL 2 :       | 1497.04 m <sup>2</sup>        |
| GROSS AREA LEVEL 3 TO 6 :  | 1629.32 m <sup>2</sup> x 4    |
| GROSS AREA LEVEL 7 :       | 1465.16 m <sup>2</sup>        |
| GROSS AREA LEVEL 8 TO 11 : | 1513.39 m <sup>2</sup> x 4    |
| GROSS AREA LEVEL 12 :      | 1390.80 m <sup>2</sup>        |
| <b>TOTAL GROSS AREA :</b>  | <b>18390.62 m<sup>2</sup></b> |

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| AM10[2865] S473  | Requirements   | Provided  | Meets Standard |
|--|--|---|----------------|
| <b>Minimum lot area</b><br>Table 185(a)  | No minimum   | 5134 m <sup>2</sup>   | Yes            |
| <b>Minimum lot width</b><br>Table 185(b)   | No minimum   | 41.49 m   | Yes            |
| <b>Minimum front yard setback</b><br>Richmond Rd<br>S473                             | 0 m  | 0 m   | Yes            |
| <b>Minimum corner side yard setback</b><br>(Forest St)<br>S473                       | 0 m  | 0 m   | Yes            |
| <b>Building frontage for front and corner side yard</b><br>s. 185(10)(b)(i)          | At least 50% of the frontage along the front lot line and corner side lot line must be occupied by building walls located within:<br>/ Residential building: 4.5 m of the frontage<br>/ Mixed-use building: 3.0 m of the frontage  | Tower A (mixed-use):<br>50% of frontage is occupied within 3.0 m of front and corner side lot line<br><br>Tower B (residential):<br>at least 50% of frontage is occupied within 4.5 m of corner side lot line | Yes            |
| <b>Minimum interior side yard</b><br>S473  | No minimum   | 2.7 m   | Yes            |
| <b>Minimum rear yard setback for a residential use building</b><br>(Bond St)<br>S473 | 0.6 m  | 0.6 m   | Yes            |
| <b>Minimum building height</b><br>[2865] / S473                                      | Minimum building height: 7.5 m and 2 storeys   | 41 m<br>12 storeys  | Yes            |
| <b>Maximum building height</b><br>S473   | 41 m / 12 storeys  | 41 m / 12 storeys   | Yes            |
| <b>Ground floor façade</b><br>s. 185(10)(g)  | The ground floor façade facing a public street of a building located within 4.5m of the front lot line or corner lot line must include:<br>/ A minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line or corner side lot line in the case of non-residential uses; and | Active entrances face both the front and corner lot lines, within 4.5 m of the lot line.<br><br>Entrances provided for retail and residential uses.   | Yes            |

| AM10[2865] S473   | Requirements  | Provided  | Meets Standard |
|---|---|---|----------------|
|   | / A minimum of one active entrance in the case of a residential use building;<br><br>Where an active entrance is angled on the corner of the building, such that it faces the intersection of the arterial mainstreet and a side street intersecting the arterial mainstreet, it is deemed to face both streets |   |                |
| <b>Transparent glazing</b><br>s. 185(10)(h)   | A minimum of 50% of the surface area of the ground floor façade, measured from the average grade up to a height of 4.5 metres, facing a public street must be comprised of transparent glazing  | Ground floor façade is comprised of at least 50% glazing  | Yes            |
| <b>Amenity Area</b><br>s. 135   | 6 m <sup>2</sup> per dwelling unit:<br>(391 units)*(6m <sup>2</sup> ) = 2,346 m <sup>2</sup>  | Private: 1,436 m <sup>2</sup><br>Communal: 2,075 m <sup>2</sup><br>Total: 3,511 m <sup>2</sup>              | Yes            |
|   | 50% of which must be communal:<br>2,346 m <sup>2</sup> x 50% = 1,173 m <sup>2</sup>   | 2,075 m <sup>2</sup>  | Yes            |
|   | At least one amenity area must be aggregated into an area with a minimum of 54m <sup>2</sup>  | Towers A & B common areas, level 1: 903 m <sup>2</sup><br>Tower A common area, level 12: 152 m <sup>2</sup> | Yes            |
| <b>Parking Provisions</b>   |   |   |                |
| <b>Minimum Parking Rate</b><br>Area Z of Schedule 1A  | No off-street motor vehicle parking is required to be provided under this section.  | 383 resident parking spaces provided  | Yes            |
| <b>Minimum Visitor Parking Space Rate</b>   | 0.1 spaces/ dwelling unit, less the first 12 units, and no more than 30 required<br><br>Tower A: (168 units-12) * (0.1) = 16 visitor parking spaces<br><br>Tower B: (223 units-12) * (0.1) = 21 visitor parking spaces<br><br>Total: 37 parking spaces  | 37 parking spaces   | Yes            |
| <b>Maximum Parking Spaces</b><br>s. 103(1), Table 103<br>Area B of Schedule 1<br><br>Site is within 600 m of Lincoln Fields Station | 1.75 per dwelling unit (combined total of resident and visitor parking)<br><br>Tower A: 294 parking spaces<br>Tower B: 390 parking spaces<br>Combined: 684 parking spaces   | 420 parking spaces  | Yes            |
|   | <b>Min.</b>   | <b>Max.</b>   | <b>Yes</b>     |

## ZONING TABLE

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

| AM10[2865] S473   | Requirements   |              |               | Provided                       | Meets Standard |
|---|--|--------------|---------------|--------------------------------|----------------|
| <b>Parking Space Dimensions</b><br>s. 106(1)                                  | <b>Width</b>   | 2.6 m        | 3.1 m         | Parking spaces are 2.6 x 5.2 m |                |
|   | <b>Length</b>  | 5.2 m        | --            |                                |                |
| <b>Parking Space Dimensions, Small Car/ Reduced Size</b><br>s. 106(3) and (4) | Up to 50% of the parking spaces in a parking lot or parking garage may be reduced to a minimum of 4.6m long and 2.4m wide, provided that any such space:<br><br>/ Is visibly identified as being for a compact car<br>/ Is not a visitor parking space required under Section 102<br>/ Is not abutting or near a wall, column or similar surface that obstructs the opening of the doors of a parked vehicle or limits access to a parking space, in which case the minimum width is 2.6 metres. |              |               | No reduced size parking spaces | Yes            |
|   | Up to 5% of the parking spaces in a parking lot or parking garage may have a minimum width of 1.3m and a minimum length of 3m, provided any such space<br><br>/ Is not a required parking space under Section 101<br>/ Is not a required visitor parking space under Section 102<br>/ Is visibly identified as being for a motorcycle, cargo bicycle or similar vehicle.   |              |               | No reduced size parking spaces | Yes            |
| <b>Minimum Driveway Width</b><br>s. 107(1)(a)(iii)                            | A driveway providing access to a parking garage must have a minimum width of 6.0 m for a double traffic lane   |              |               | 6.0 m                          | Yes            |
| <b>Minimum Aisle Width, Mixed-Use Building</b><br>Table 107                   | Minimum width for an aisle providing access to a parking space between 71° and 90°: 6.7 m  |              |               | 6.7 m                          | Yes            |
| <b>Minimum Bicycle Parking</b><br>s. 111                                      | 0.50 per dwelling unit<br><br>(391 dwelling units)*(0.5) = 196 bicycle parking spaces  |              |               | 250 bicycle parking spaces     | Yes            |
| <b>Minimum Bicycle Parking Space Dimensions</b><br>Table 111B                 |  | <b>Width</b> | <b>Length</b> | Bicycle parking spaces comply  | Yes            |
|   | <b>Horizontal</b>  | 0.6 m        | 1.8 m         |                                |                |
|   | <b>Vertical</b>  | 0.5 m        | 1.5 m         |                                |                |
|   | <b>Stacked</b>   | 0.37 m       | --            |                                |                |

| AM10[2865] S473                                  | Requirements  | Provided  | Meets Standard |
|--|---|---|----------------|
| <b>Location of Bicycle Parking</b><br>s. 111(7)  | A maximum of 50% (98) of the required bicycle parking spaces or 15 spaces, whichever is greater, may be located in a landscaped area:<br><br>A maximum of 98 bicycle parking spaces may be located in landscaped area   | 80 located in landscaped area   | Yes            |
|  | <b>Minimum Aisle Width, Bicycle Parking</b><br>s. 111(9)  | A bicycle parking space must have access from an aisle having a minimum width of 1.5 metres.                          | 1.5 m          |
| <b>Parking Space Orientation</b><br>s. 111(10)   | A minimum of 50% (98 bicycle parking spaces) of the bicycle parking spaces required by this by-law must be horizontal spaces at ground level.   | 98 horizontal bicycle parking spaces: 8 indoors + 90 outdoors   | Yes            |
| <b>Location of Bicycle Parking</b><br>s. 111(12) | Where the number of bicycle parking spaces required for a single office or residential building exceeds fifty 50 spaces, a minimum of 25% (49) of that required total must be located within:<br><br>/ a building or structure;<br>/ a secure area such as a supervised parking lot or enclosure with secure entrance; or<br>/ bicycle lockers. | Over 25% of the required bicycle parking spaces are located indoors – 160 bicycle parking spaces are provided indoors | Yes            |

#### Bicycle parking details



Outdoor horizontal bike rack design



Indoor horizontal bike rack design



Indoor vertical bike rack design

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# UNDERGROUND PARKINGS

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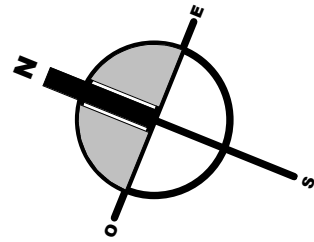
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**P1 PARKING**  
NUMBER OF PARKING : 87 SPACES

**P2 PARKING**  
NUMBER OF PARKING : 111 SPACES

**P3 PARKING**  
NUMBER OF PARKING : 111 SPACES

**P4 PARKING**  
NUMBER OF PARKING : 111 SPACES

**P1 BICYCLE PARKING**  
HORIZONTAL PARKING : 8 SPACES  
VERTICAL PARKING: 44 SPACES

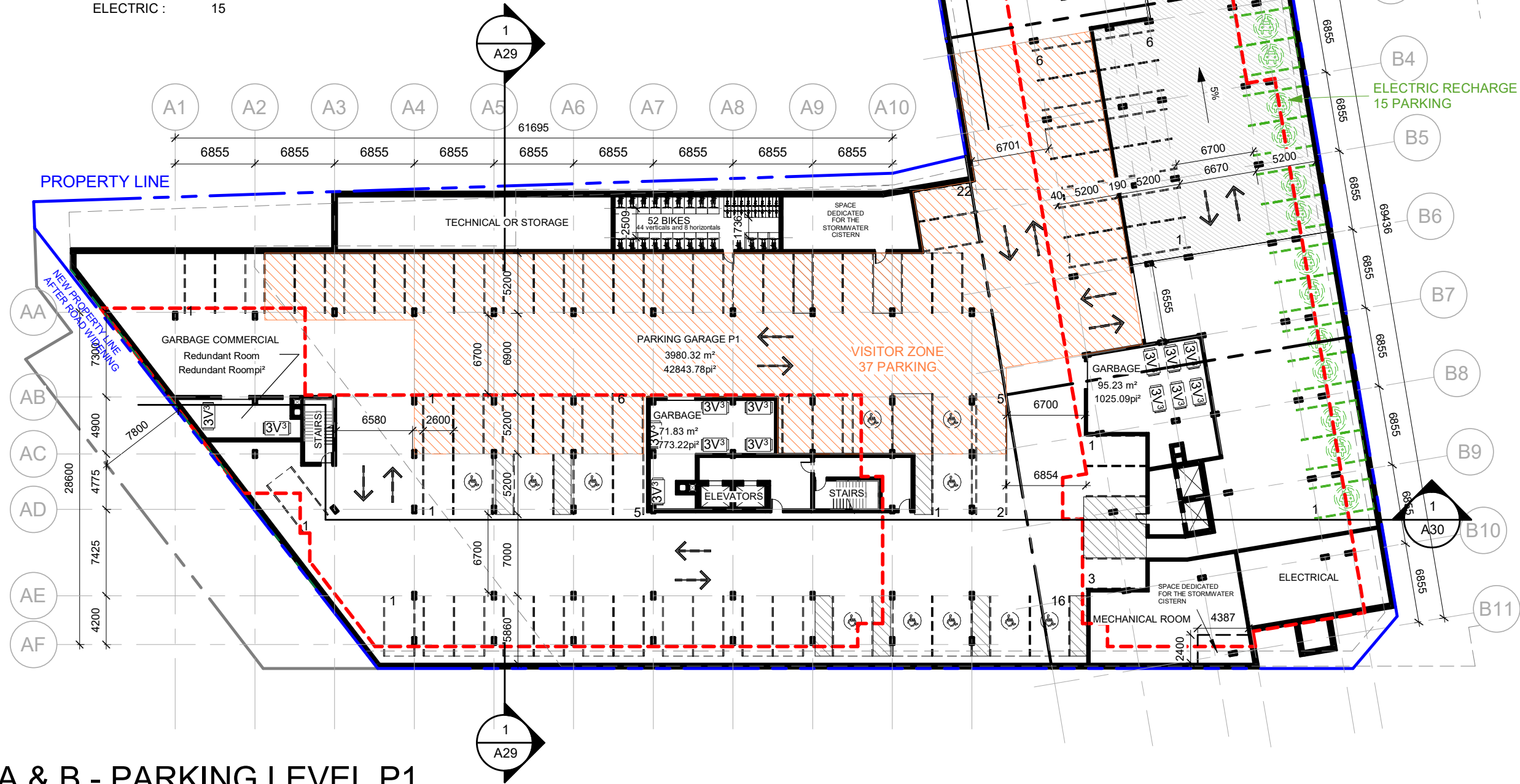
**GROUND LEVEL BICYCLE PARKING**  
INDOOR VERTICAL PARKING: 108 SPACES  
OUTDOOR HORIZONTAL PARKING: 90 SPACES

**TOTAL : 250 SPACES**  
(REQUIRED MINIMUM 196 SPACES)

**TOTAL : 420 SPACES**  
(REQUIRED MINIMUM 431 SPACES)

**SPECIFIC TYPE OF PARKING :**

STANDARD : 357  
VISITOR : 37  
UNIVERSAL : 11  
ELECTRIC : 15



**TOWER A & B - PARKING LEVEL P1**

**GROUP HEAFEY**



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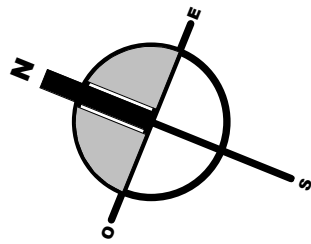


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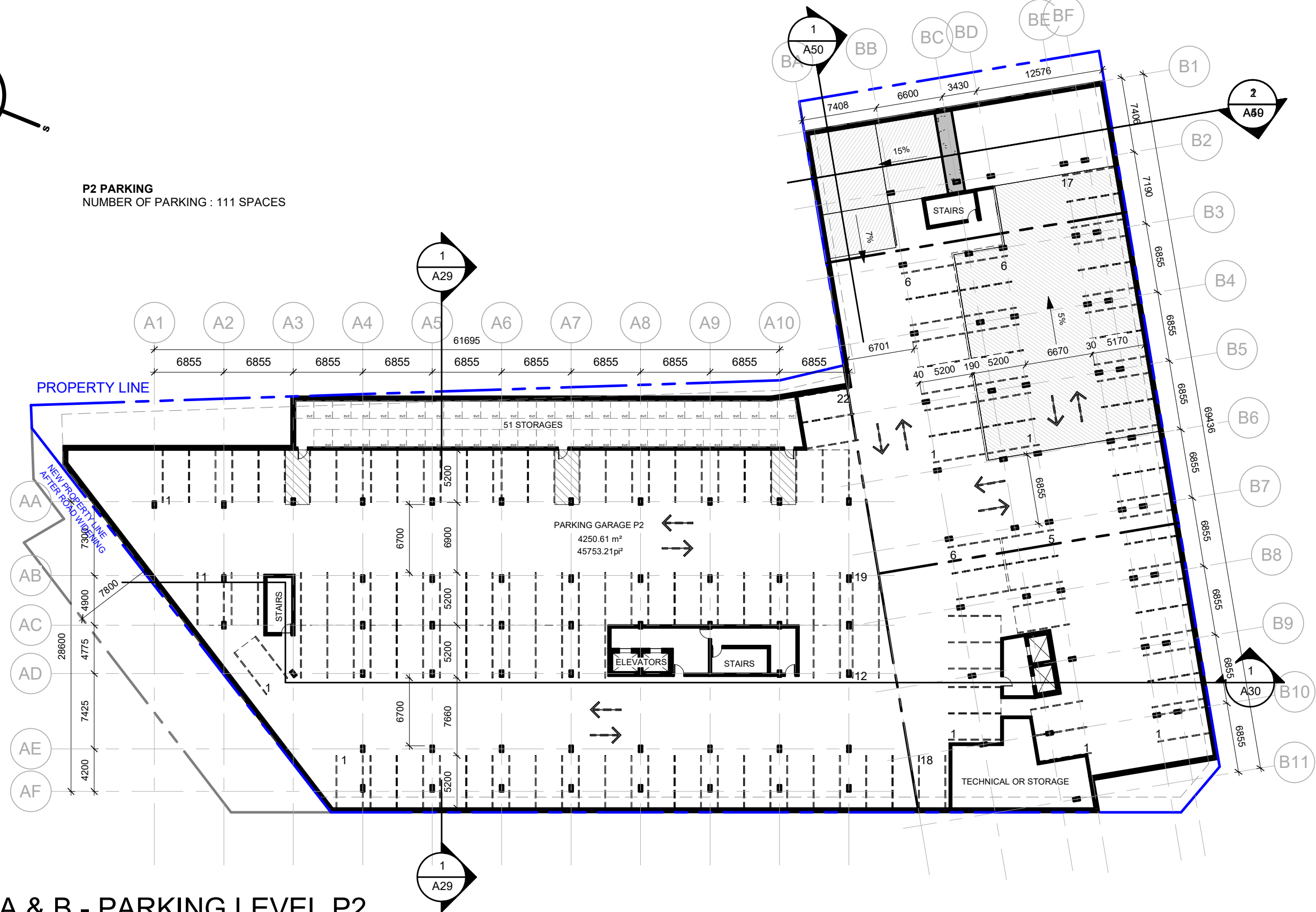
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**P2 PARKING**  
NUMBER OF PARKING : 111 SPACES



# TOWER A & B - PARKING LEVEL P2

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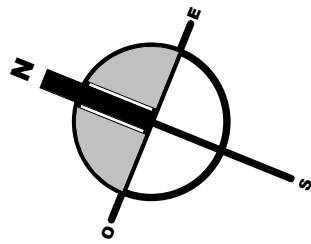


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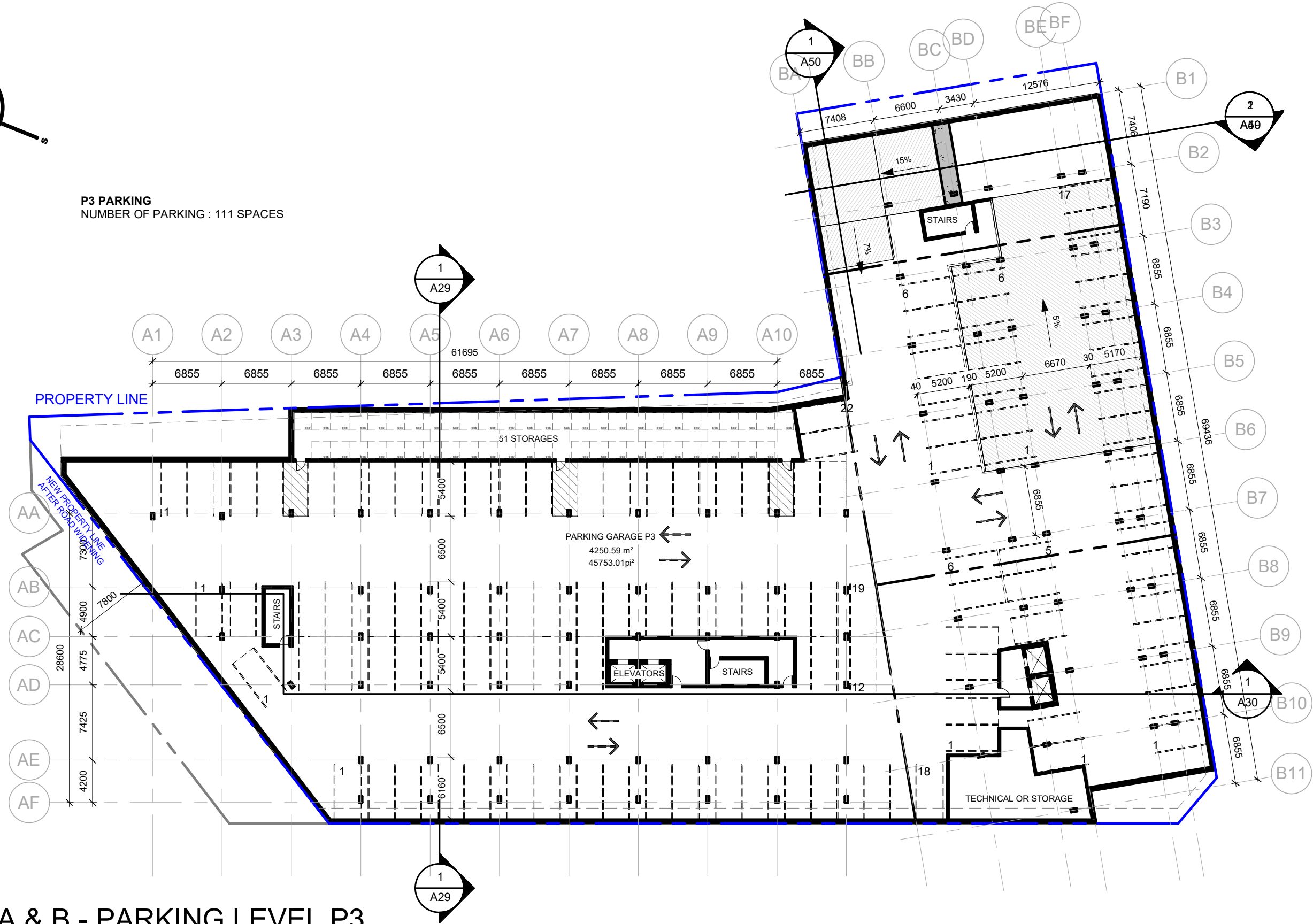
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**P3 PARKING**  
NUMBER OF PARKING : 111 SPACES



## TOWER A & B - PARKING LEVEL P3

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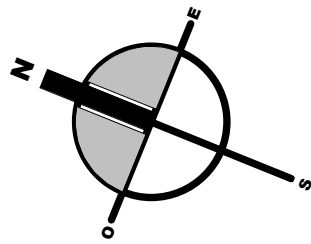


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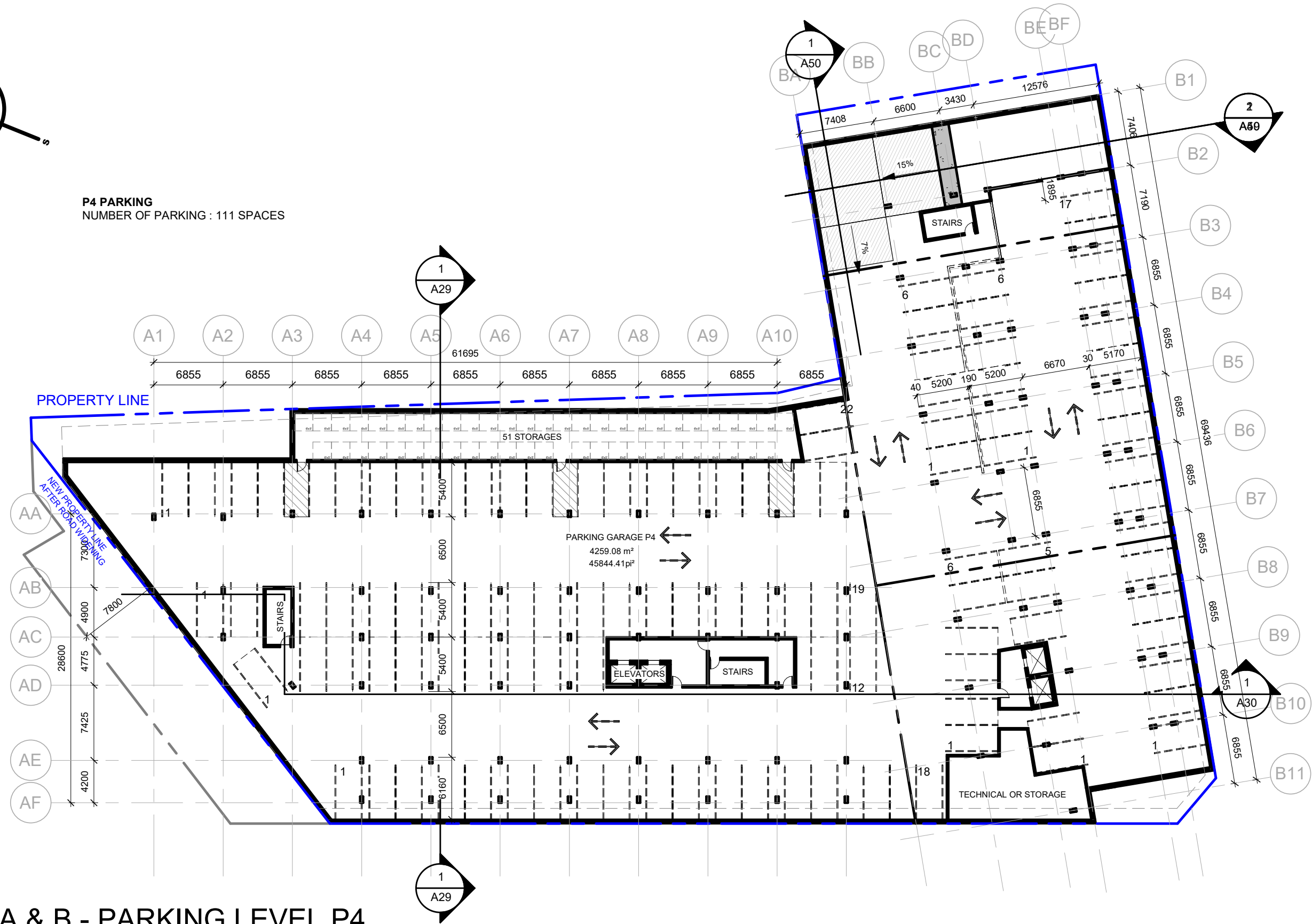
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**P4 PARKING**  
NUMBER OF PARKING : 111 SPACES



## TOWER A & B - PARKING LEVEL P4

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# TOWER A



GROUP HEAFEY

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**GROSS AREA LEGEND**



**TOWER A - LEVEL 1**

**GROUP HEAFEY**



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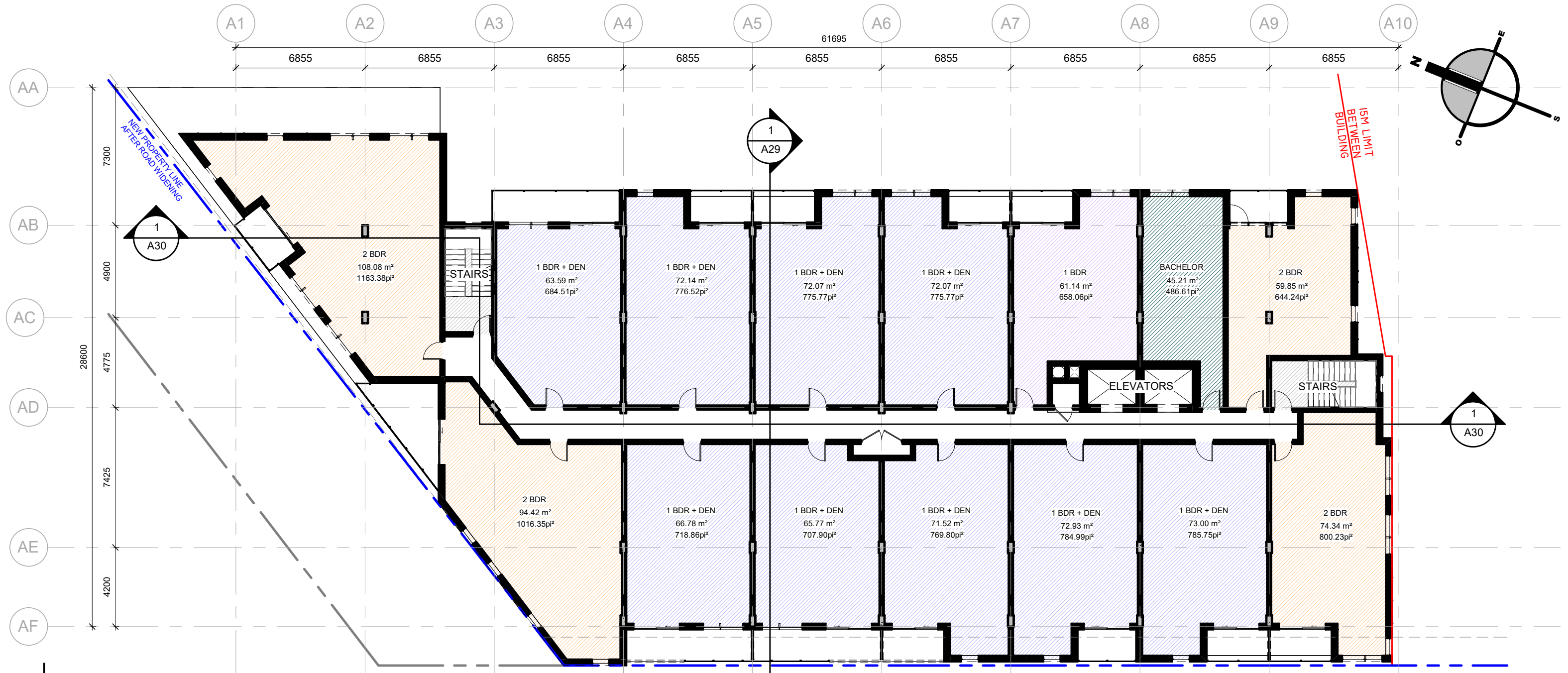


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**GROSS AREA LEGEND**



**TOWER A - LEVEL 3 TO 6**

**GROUP HEAFEY**



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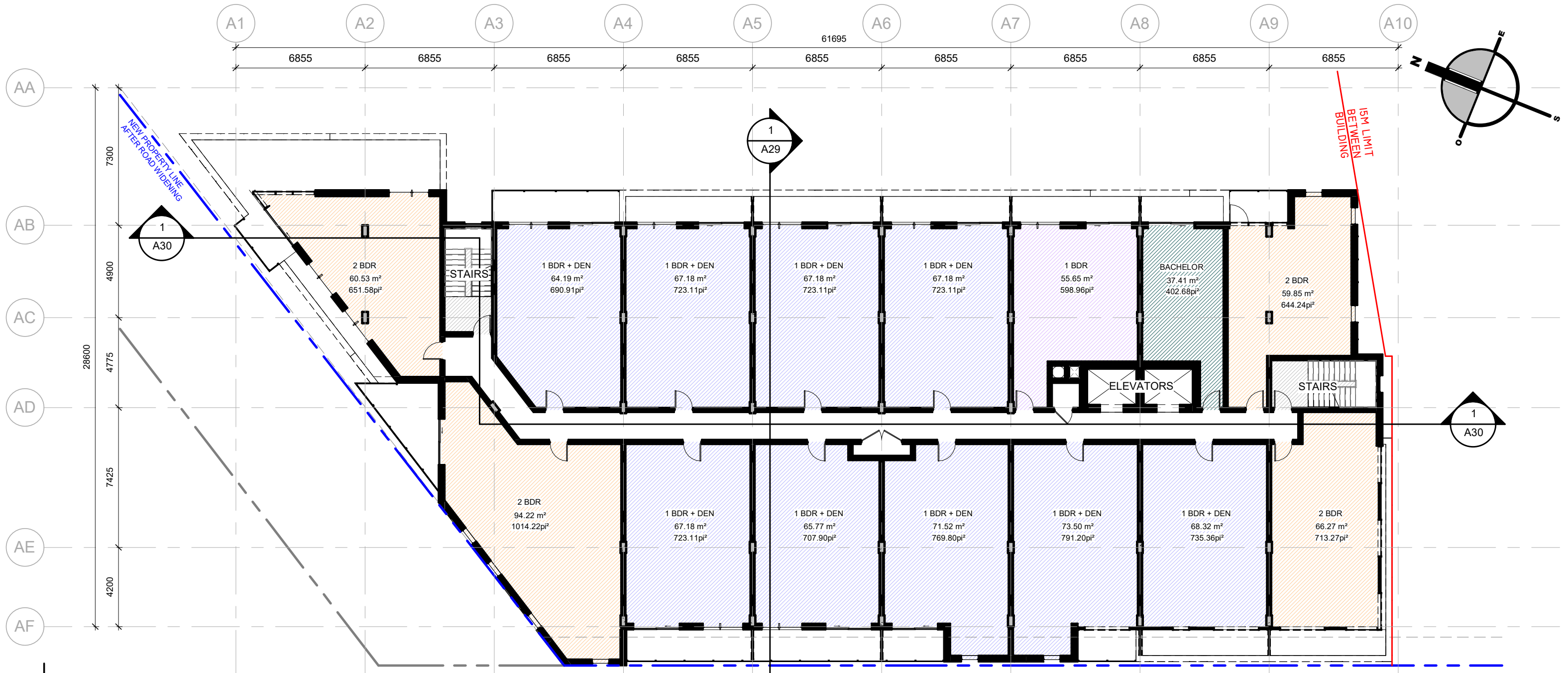
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**GROSS AREA LEGEND**



**TOWER A - LEVEL 7**

**GROUP HEAFEY**



Dessiné par : Tanya Nadeau  
Conçu par : Christian Rheault

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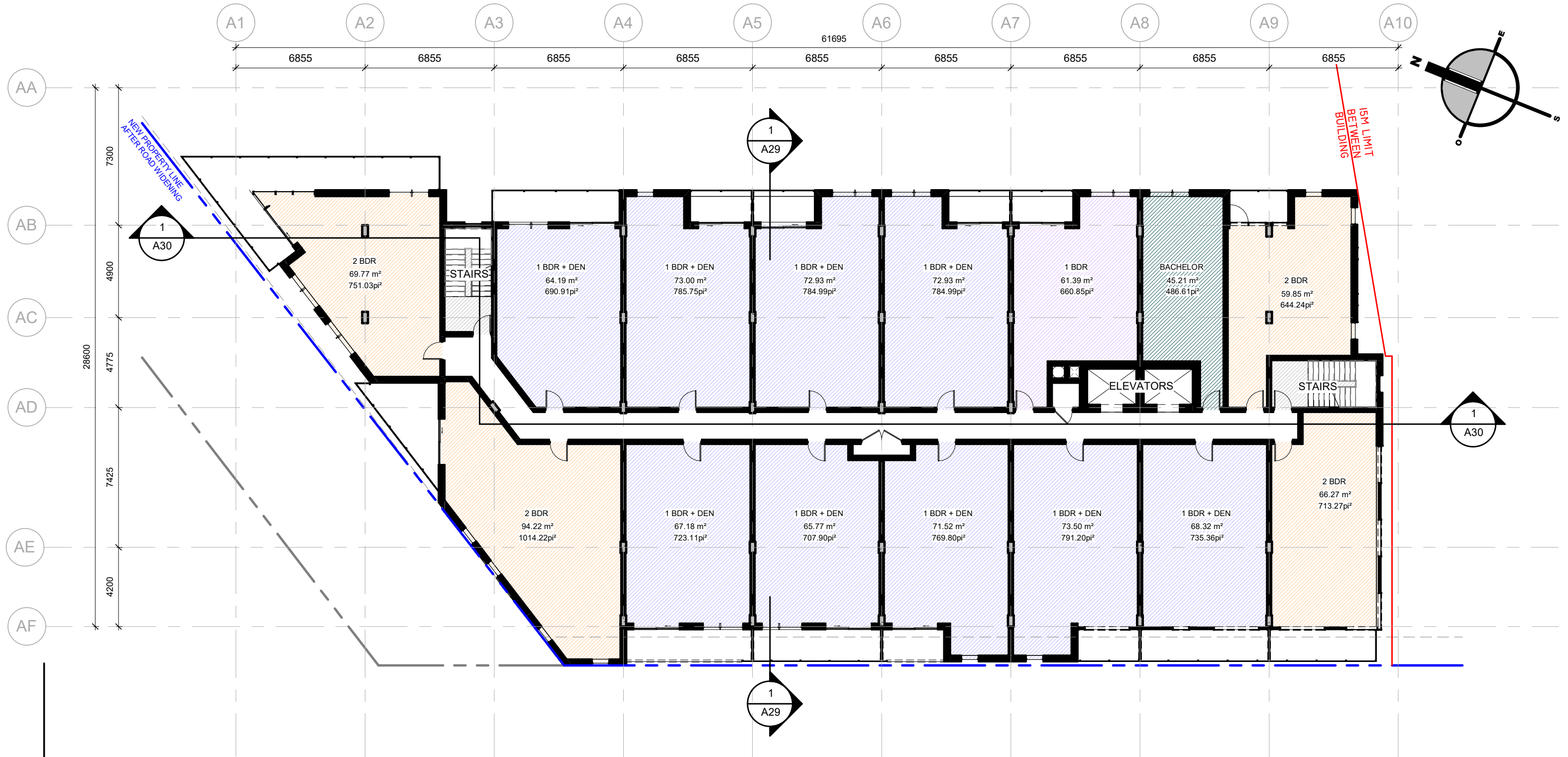


365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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**GROSS AREA LEGEND**



**TOWER A - LEVEL 8 TO 11**

**GROUP HEAFEY**



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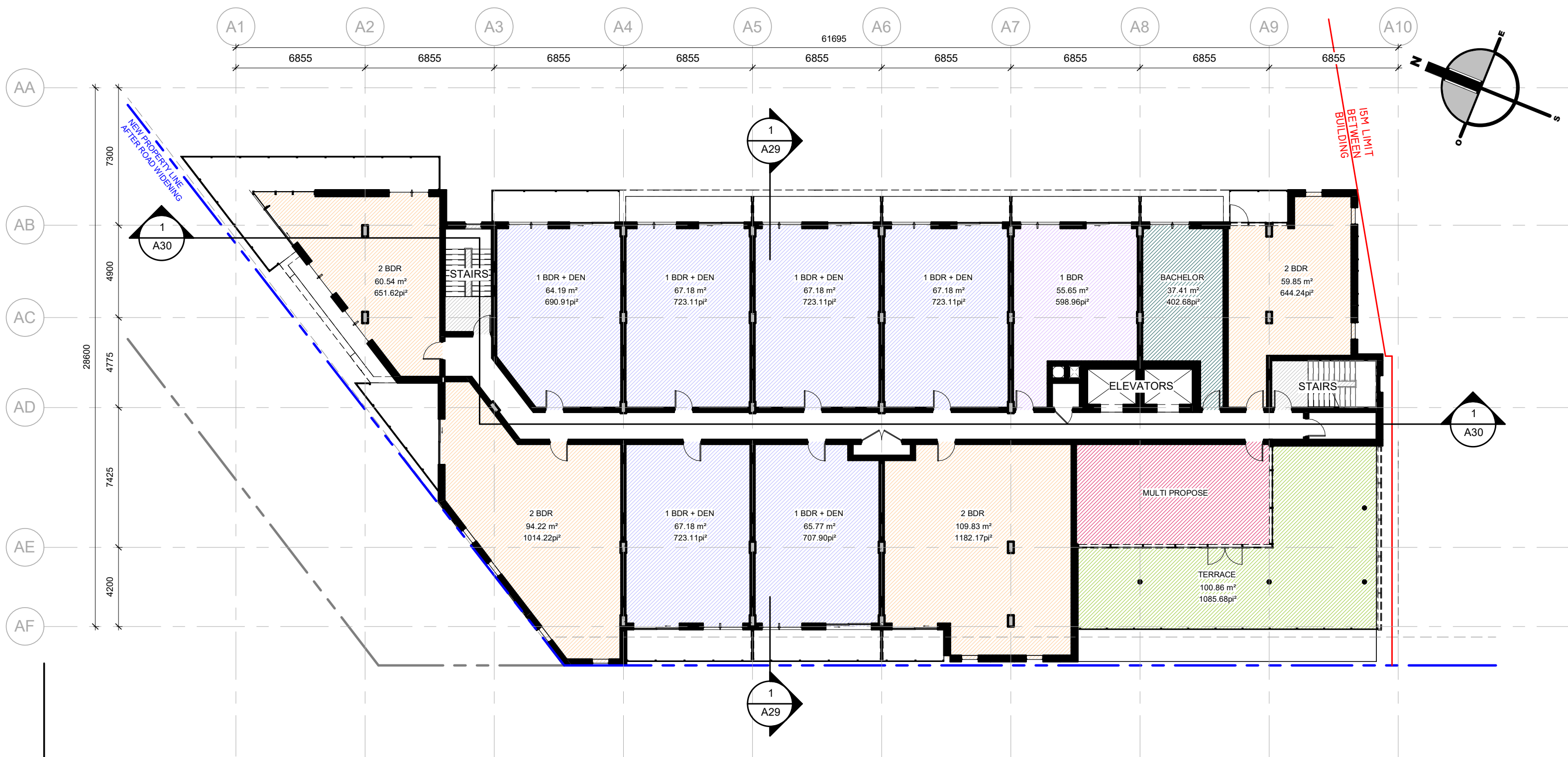


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**GROSS AREA LEGEND**



**TOWER A - LEVEL 12**

**GROUP HEAFEY**



Dessiné par : Tanya Nadeau  
Conçu par : Christian Rheault

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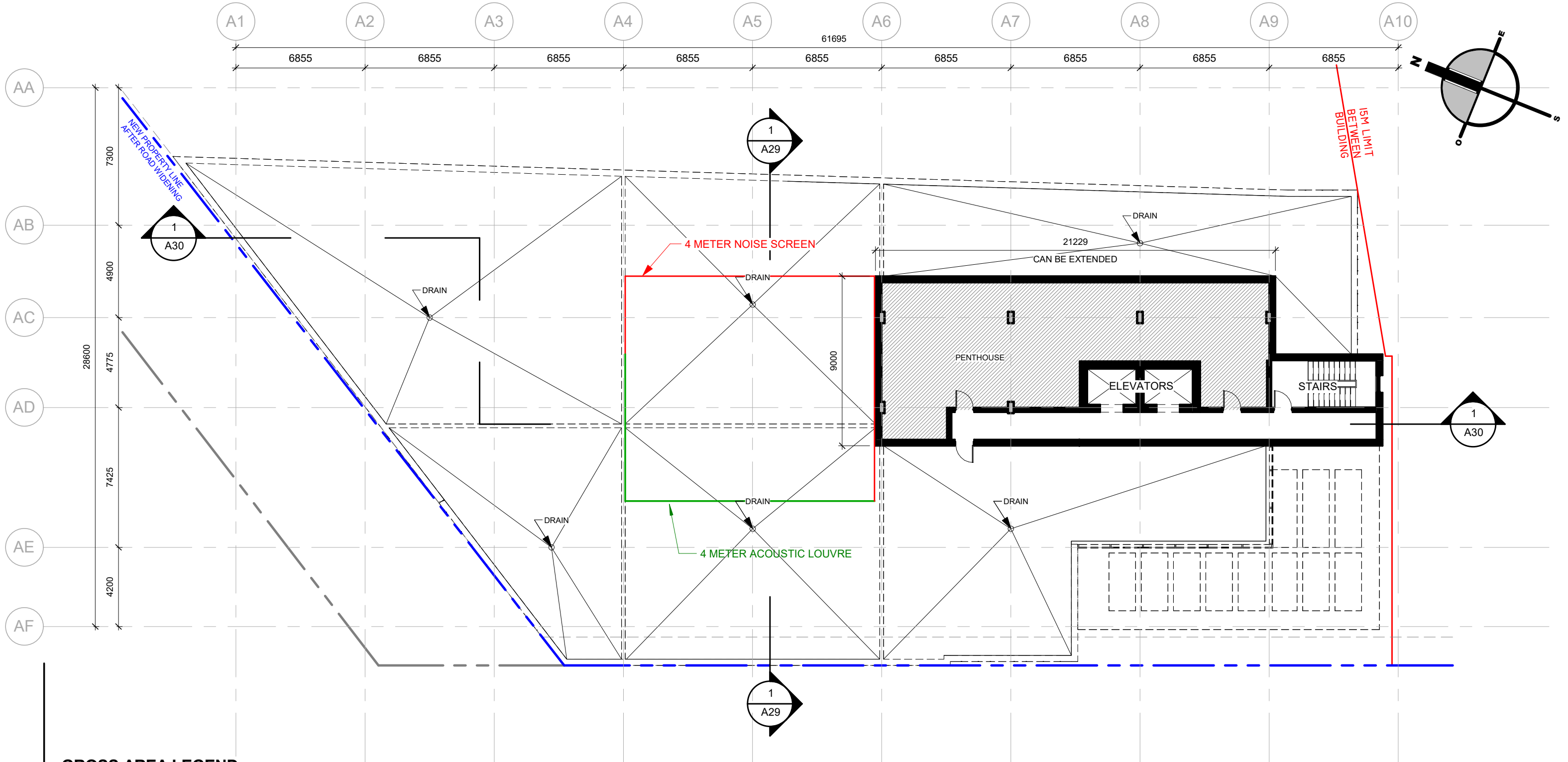


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**GROSS AREA LEGEND**



**TOWER A - LEVEL PENTHOUSE**

**GROUP HEAFEY**



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 Conçu par : Christian Rheault

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| ROOM TYPOLOGY - TOWER A |             |     |
|-------------------------|-------------|-----|
| LEVEL                   | NAME        | QTY |
| LEVEL 1                 | 1 BDR       | 1   |
| LEVEL 1                 | 1 BDR + DEN | 6   |
| LEVEL 1                 | 2 BDR       | 2   |
| LEVEL 2                 | 1 BDR       | 2   |
| LEVEL 2                 | 1 BDR + DEN | 9   |
| LEVEL 2                 | BACHELOR    | 1   |
| LEVEL 3                 | 1 BDR       | 1   |
| LEVEL 3                 | 1 BDR + DEN | 9   |
| LEVEL 3                 | 2 BDR       | 4   |
| LEVEL 3                 | BACHELOR    | 1   |
| LEVEL 4                 | 1 BDR       | 1   |
| LEVEL 4                 | 1 BDR + DEN | 9   |
| LEVEL 4                 | 2 BDR       | 4   |
| LEVEL 4                 | BACHELOR    | 1   |
| LEVEL 5                 | 1 BDR       | 1   |
| LEVEL 5                 | 1 BDR + DEN | 9   |
| LEVEL 5                 | 2 BDR       | 4   |
| LEVEL 5                 | BACHELOR    | 1   |
| LEVEL 6                 | 1 BDR       | 1   |
| LEVEL 6                 | 1 BDR + DEN | 9   |
| LEVEL 6                 | 2 BDR       | 4   |
| LEVEL 6                 | BACHELOR    | 1   |
| LEVEL 7                 | 1 BDR       | 1   |
| LEVEL 7                 | 1 BDR + DEN | 9   |
| LEVEL 7                 | 2 BDR       | 4   |
| LEVEL 7                 | BACHELOR    | 1   |
| LEVEL 8                 | 1 BDR       | 1   |
| LEVEL 8                 | 1 BDR + DEN | 9   |
| LEVEL 8                 | 2 BDR       | 4   |
| LEVEL 8                 | BACHELOR    | 1   |
| LEVEL 9                 | 1 BDR       | 1   |
| LEVEL 9                 | 1 BDR + DEN | 9   |
| LEVEL 9                 | 2 BDR       | 4   |
| LEVEL 9                 | BACHELOR    | 1   |
| LEVEL 10                | 1 BDR       | 1   |
| LEVEL 10                | 1 BDR + DEN | 9   |
| LEVEL 10                | 2 BDR       | 4   |
| LEVEL 10                | BACHELOR    | 1   |
| LEVEL 11                | 1 BDR       | 1   |
| LEVEL 11                | 1 BDR + DEN | 9   |
| LEVEL 11                | 2 BDR       | 4   |
| LEVEL 11                | BACHELOR    | 1   |
| LEVEL 12                | 1 BDR       | 1   |
| LEVEL 12                | 1 BDR + DEN | 6   |
| LEVEL 12                | 2 BDR       | 4   |
| LEVEL 12                | BACHELOR    | 1   |
| TOTAL UNITS: 168        |             |     |

| 1 BDR - TOWER A |       |        |
|-----------------|-------|--------|
| NIVEAU          | NOM   | NOMBRE |
| LEVEL 1         | 1 BDR | 1      |
| LEVEL 2         | 1 BDR | 2      |
| LEVEL 3         | 1 BDR | 1      |
| LEVEL 4         | 1 BDR | 1      |
| LEVEL 5         | 1 BDR | 1      |
| LEVEL 6         | 1 BDR | 1      |
| LEVEL 7         | 1 BDR | 1      |
| LEVEL 8         | 1 BDR | 1      |
| LEVEL 9         | 1 BDR | 1      |
| LEVEL 10        | 1 BDR | 1      |
| LEVEL 11        | 1 BDR | 1      |
| LEVEL 12        | 1 BDR | 1      |
| TOTAL: 13       |       |        |

| 2 BDR - TOWER A |       |        |
|-----------------|-------|--------|
| NIVEAU          | NOM   | NOMBRE |
| LEVEL 1         | 2 BDR | 2      |
| LEVEL 3         | 2 BDR | 4      |
| LEVEL 4         | 2 BDR | 4      |
| LEVEL 5         | 2 BDR | 4      |
| LEVEL 6         | 2 BDR | 4      |
| LEVEL 7         | 2 BDR | 4      |
| LEVEL 8         | 2 BDR | 4      |
| LEVEL 9         | 2 BDR | 4      |
| LEVEL 10        | 2 BDR | 4      |
| LEVEL 11        | 2 BDR | 4      |
| LEVEL 12        | 2 BDR | 4      |
| TOTAL: 42       |       |        |

| TYPOLOGY - TOWER A      |        |      |
|-------------------------|--------|------|
| NOM                     | NOMBRE | %    |
| 1 BDR                   | 13     | 7%   |
| 1 BDR + DEN             | 102    | 61%  |
| 2 BDR                   | 42     | 28%  |
| BACHELOR                | 11     | 4%   |
| TOTAL DE LOGEMENTS: 168 |        | 100% |

| 1 BDR + DEN - TOWER A |             |        |
|-----------------------|-------------|--------|
| NIVEAU                | NOM         | NOMBRE |
| LEVEL 1               | 1 BDR + DEN | 6      |
| LEVEL 2               | 1 BDR + DEN | 9      |
| LEVEL 3               | 1 BDR + DEN | 9      |
| LEVEL 4               | 1 BDR + DEN | 9      |
| LEVEL 5               | 1 BDR + DEN | 9      |
| LEVEL 6               | 1 BDR + DEN | 9      |
| LEVEL 7               | 1 BDR + DEN | 9      |
| LEVEL 8               | 1 BDR + DEN | 9      |
| LEVEL 9               | 1 BDR + DEN | 9      |
| LEVEL 10              | 1 BDR + DEN | 9      |
| LEVEL 11              | 1 BDR + DEN | 9      |
| LEVEL 12              | 1 BDR + DEN | 6      |
| TOTAL: 102            |             |        |

| 2 BDR + DEN - TOWER A |     |        |
|-----------------------|-----|--------|
| NIVEAU                | NOM | NOMBRE |

GROUP HEAFEY

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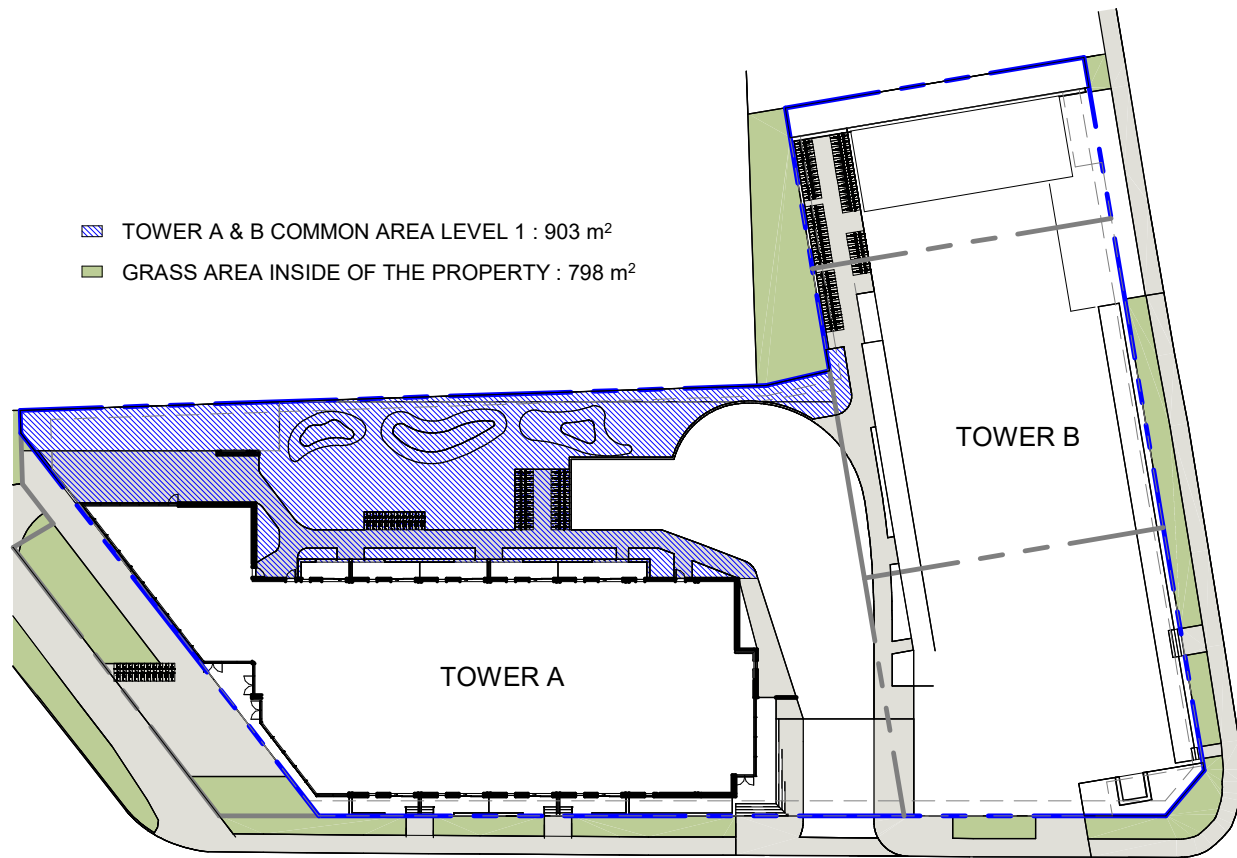
Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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 Gatineau, QC J8Y 1R8  
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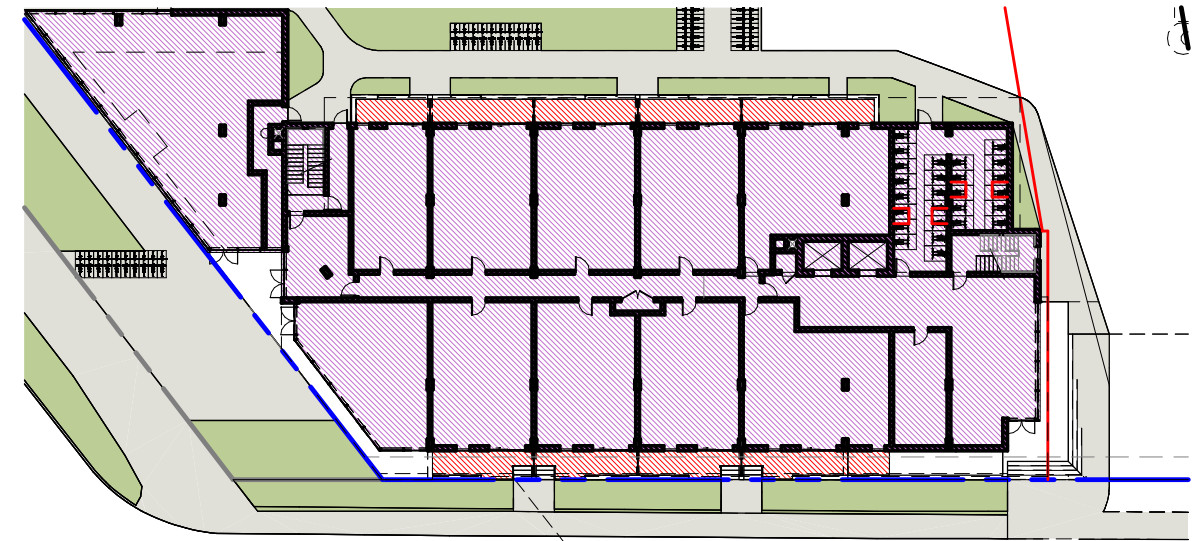


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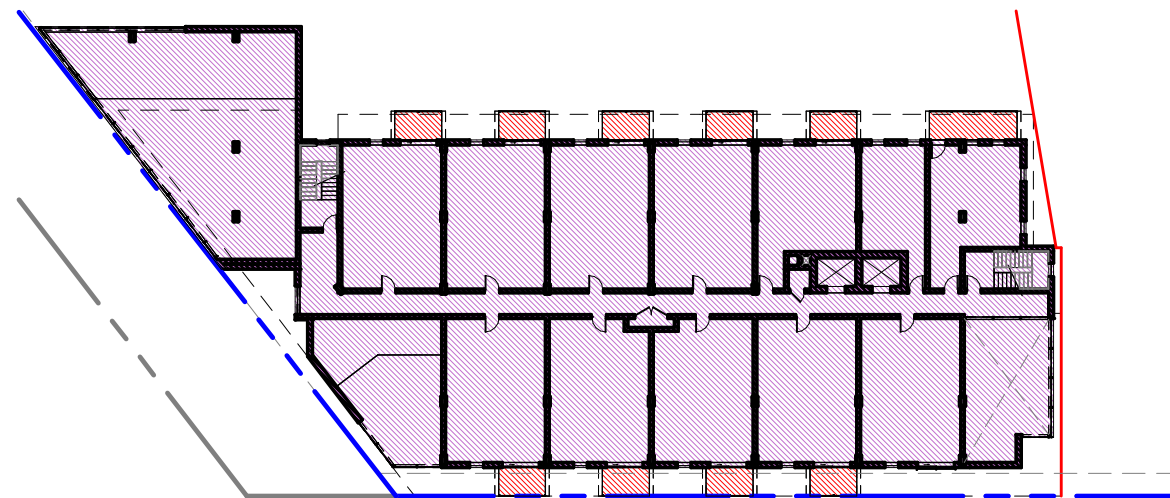
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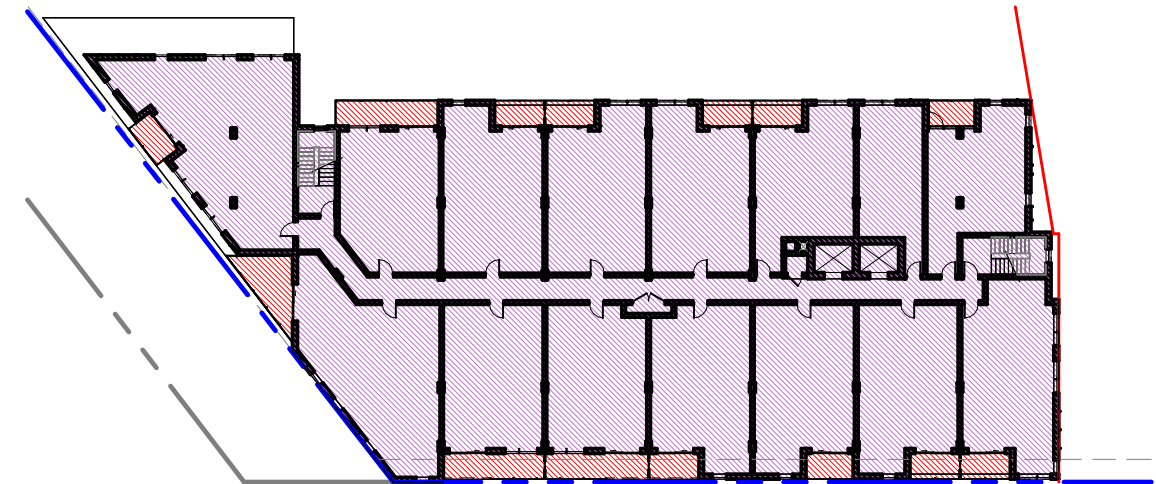
SITE PLAN - AMENITIES AREA  
LEVEL 1



TOWER A - AMENITIES AREA  
LEVEL 1



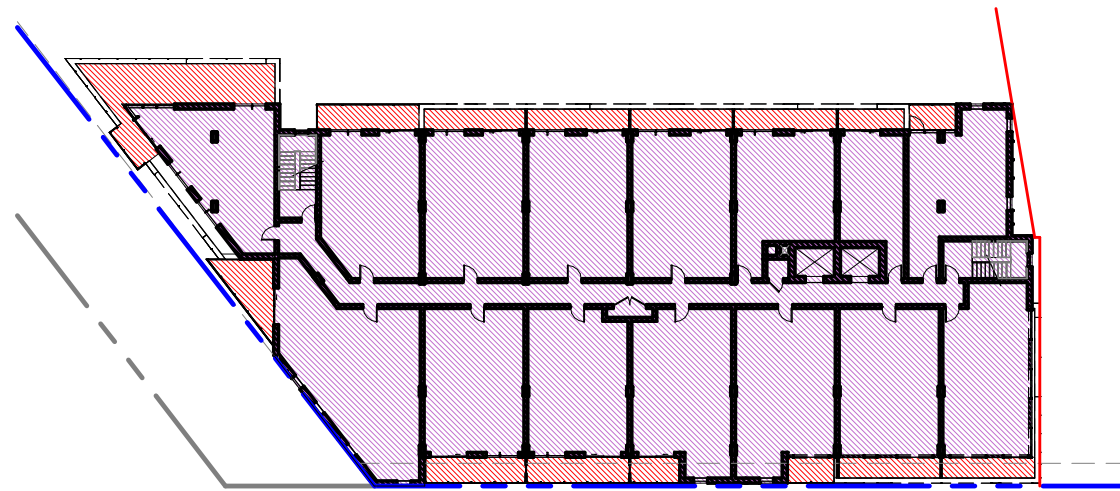
TOWER A - AMENITIES AREA  
LEVEL 2



TOWER A - AMENITIES AREA  
LEVEL 3 TO 6

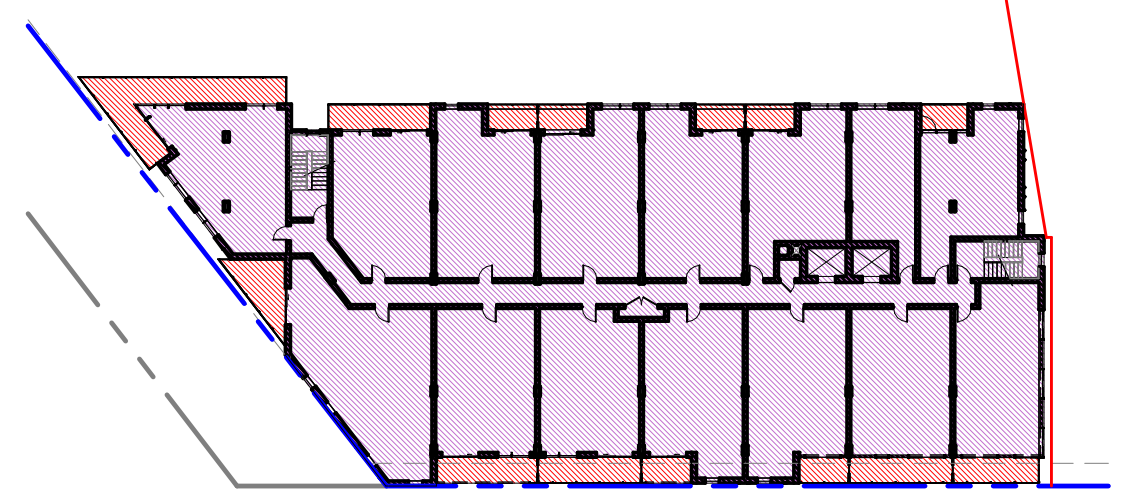
GROUP HEAFEY

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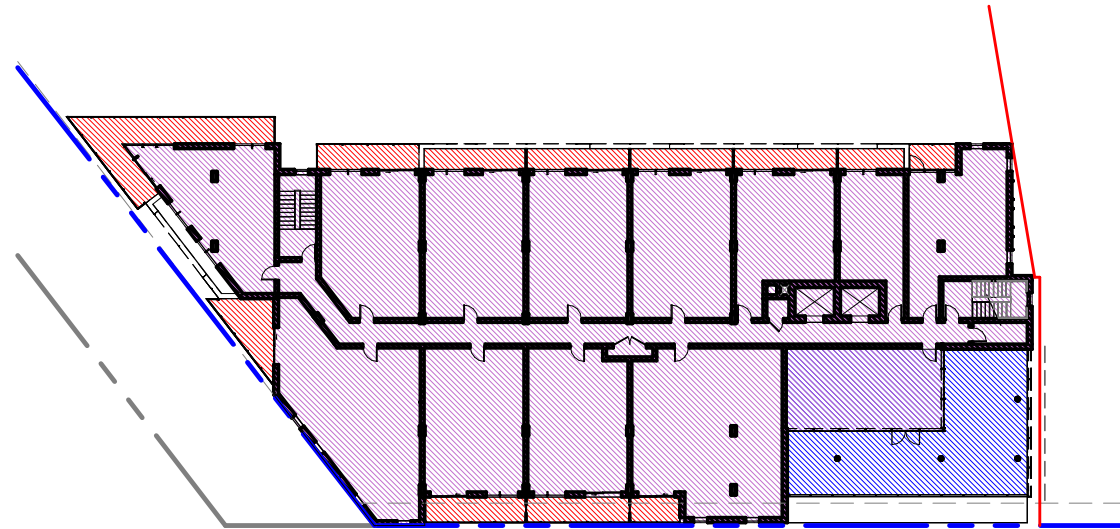
■ BALCONY AREA LEVEL 7 : 164 m<sup>2</sup> / 15 UNITS = 10.93 m<sup>2</sup>  
■ GROSS AREA LEVEL 7 : 1146.39 m<sup>2</sup>

### TOWER A - AMENITIES AREA LEVEL 7



■ BALCONY AREA LEVEL 8 : 140 m<sup>2</sup> / 15 UNITS = 9.33 m<sup>2</sup>  
■ GROSS AREA LEVEL 8 TO 11 : 1188.44 m<sup>2</sup>

### TOWER A - AMENITIES AREA LEVEL 8 TO 11



■ BALCONY AREA LEVEL 12 : 134 m<sup>2</sup> / 12 UNITS = 11.17 m<sup>2</sup>  
■ GROSS AREA LEVEL 12 : 1044.76 m<sup>2</sup>  
■ TOWER A COMMON AREA LEVEL 12 : 152 m<sup>2</sup>

### TOWER A - AMENITIES AREA LEVEL 12

#### PRIVATE AMENITIES AREA

- BALCONY AREA LEVEL 1 : 102 m<sup>2</sup> / 9 UNITS = 11.33 m<sup>2</sup>
- BALCONY AREA LEVEL 2 : 64 m<sup>2</sup> / 12 UNITS = 5.33 m<sup>2</sup>
- BALCONY AREA LEVEL 3 : 103 m<sup>2</sup> / 15 UNITS = 6.87 m<sup>2</sup>
- BALCONY AREA LEVEL 4 : 103 m<sup>2</sup> / 15 UNITS = 6.87 m<sup>2</sup>
- BALCONY AREA LEVEL 5 : 103 m<sup>2</sup> / 15 UNITS = 6.87 m<sup>2</sup>
- BALCONY AREA LEVEL 6 : 103 m<sup>2</sup> / 15 UNITS = 6.87 m<sup>2</sup>
- BALCONY AREA LEVEL 7 : 164 m<sup>2</sup> / 15 UNITS = 10.93 m<sup>2</sup>
- BALCONY AREA LEVEL 8 : 140 m<sup>2</sup> / 15 UNITS = 9.33 m<sup>2</sup>
- BALCONY AREA LEVEL 9 : 140 m<sup>2</sup> / 15 UNITS = 9.33 m<sup>2</sup>
- BALCONY AREA LEVEL 10 : 140 m<sup>2</sup> / 15 UNITS = 9.33 m<sup>2</sup>
- BALCONY AREA LEVEL 11 : 140 m<sup>2</sup> / 15 UNITS = 9.33 m<sup>2</sup>
- BALCONY AREA LEVEL 12 : 134 m<sup>2</sup> / 12 UNITS = 11.17 m<sup>2</sup>

**TOTAL PRIVATE AREA :** 1436 m<sup>2</sup> / 168 UNITS = 8.55 m<sup>2</sup>  
 REQUIRED 6 m<sup>2</sup>/ UNITS

#### COMMON AMENITIES AREA

- TOWER A & B COMMON AREA LEVEL 1 : 903 m<sup>2</sup>
- TOWER A COMMON AREA LEVEL 12 : 152 m<sup>2</sup>
- TOWER B COMMON AREA TOTAL : 222 m<sup>2</sup>
- GRASS AREA INSIDE OF THE PROPERTY : 798 m<sup>2</sup>

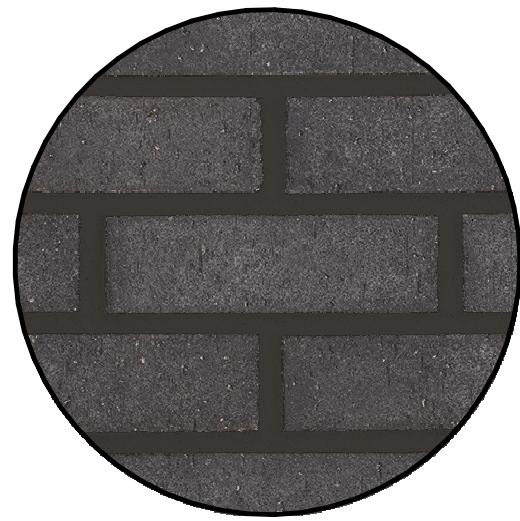
#### GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

As indicated

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1

**MASONRY**  
GLEN-GERY  
COLOR VINTAGE  
BLACK VELOUR



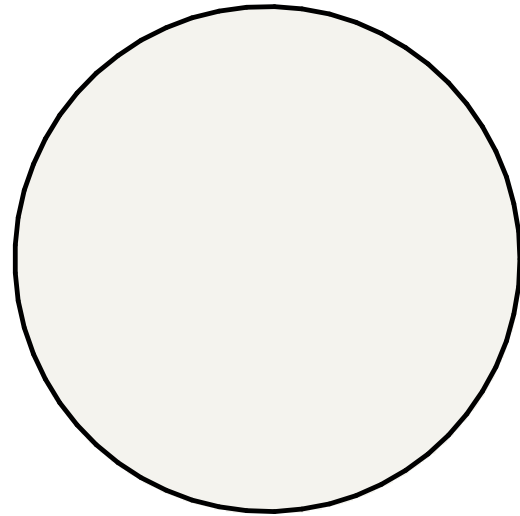
2

**MASONRY**  
GLEN-GERY  
COLOR REVERE  
PEWTER VELOUR



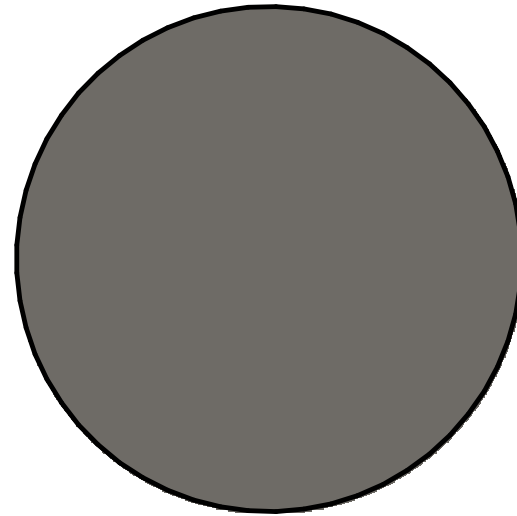
3

**ALUMINIUM SIDING**  
ALUPLANK  
COLOR ACADIA  
AXOTIC HONEY



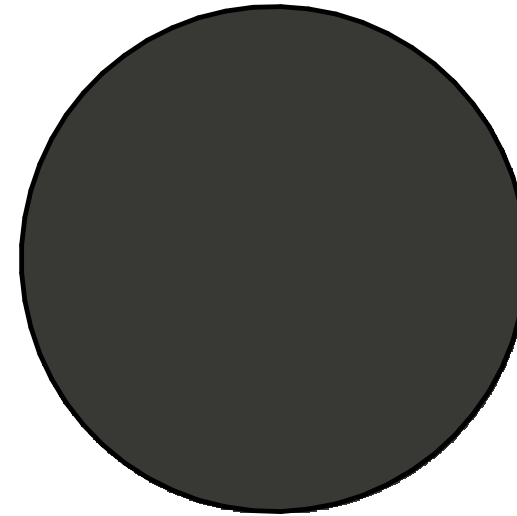
4

**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR NATURAL  
WHITE 6000-11



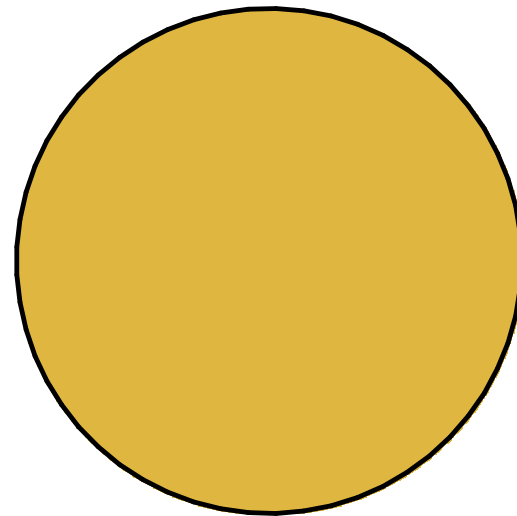
5

**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR NIGHT  
OWL 6183-63



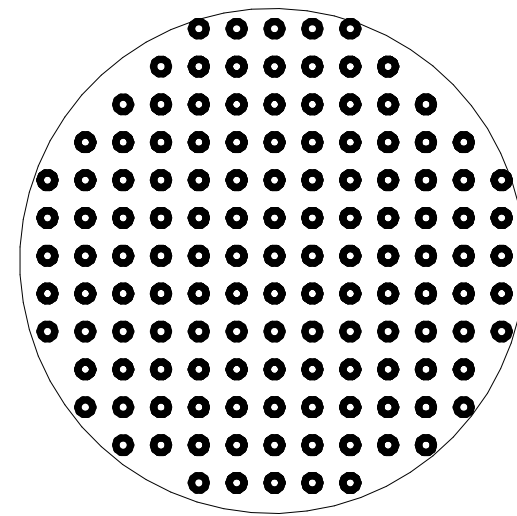
6

**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR BLACK  
PEPPER 6182-83



7

**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR GREEN  
TOMATO RELISH  
6097-64



8

**BIRD SAFETY WINDOW FILM**  
DOTS WITH MAXIMUM  
SPACING OF 50 MM BY 50  
MM, MINIMUM OF 4 MM  
DIAMETER. TO BE APPLY ON  
THE GLASS BALCONIES FOR  
THE FIRST 4 FLOORS.

NOTE : COLORS SHOWN MAY VARY DUE TO SCREEN RESOLUTION. PLEASE SEE ACTUAL PRODUCTS SAMPLE FOR TRUE COLOR.

## EXTERIOR MATERIALS

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



A1 A2 A3 A4 A5 A6 A7 A8 A9 A10

**STATISTICS OF THE % MATÉRIALS**  
 BUILDING AREA : 1741 m<sup>2</sup>  
 OPENING AREA : 800 m<sup>2</sup> (45.95%)  
 MASONRY : 413 m<sup>2</sup> (23.72%)  
 ALUMINIUM : 510 m<sup>2</sup> (29.29%)  
 OTHER : 18 m<sup>2</sup> (1.03%)

Balcony noise barrier.  
 Typical on each floor



**TOWER A - FRONT ELEVATION (FOREST STREET)**

**GROUP HEAFEY**



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 Conçu par : Christian Rheault

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TOWER A - BACK ELEVATION

GROUP HEAFEY



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 Conçu par : Christian Rheault

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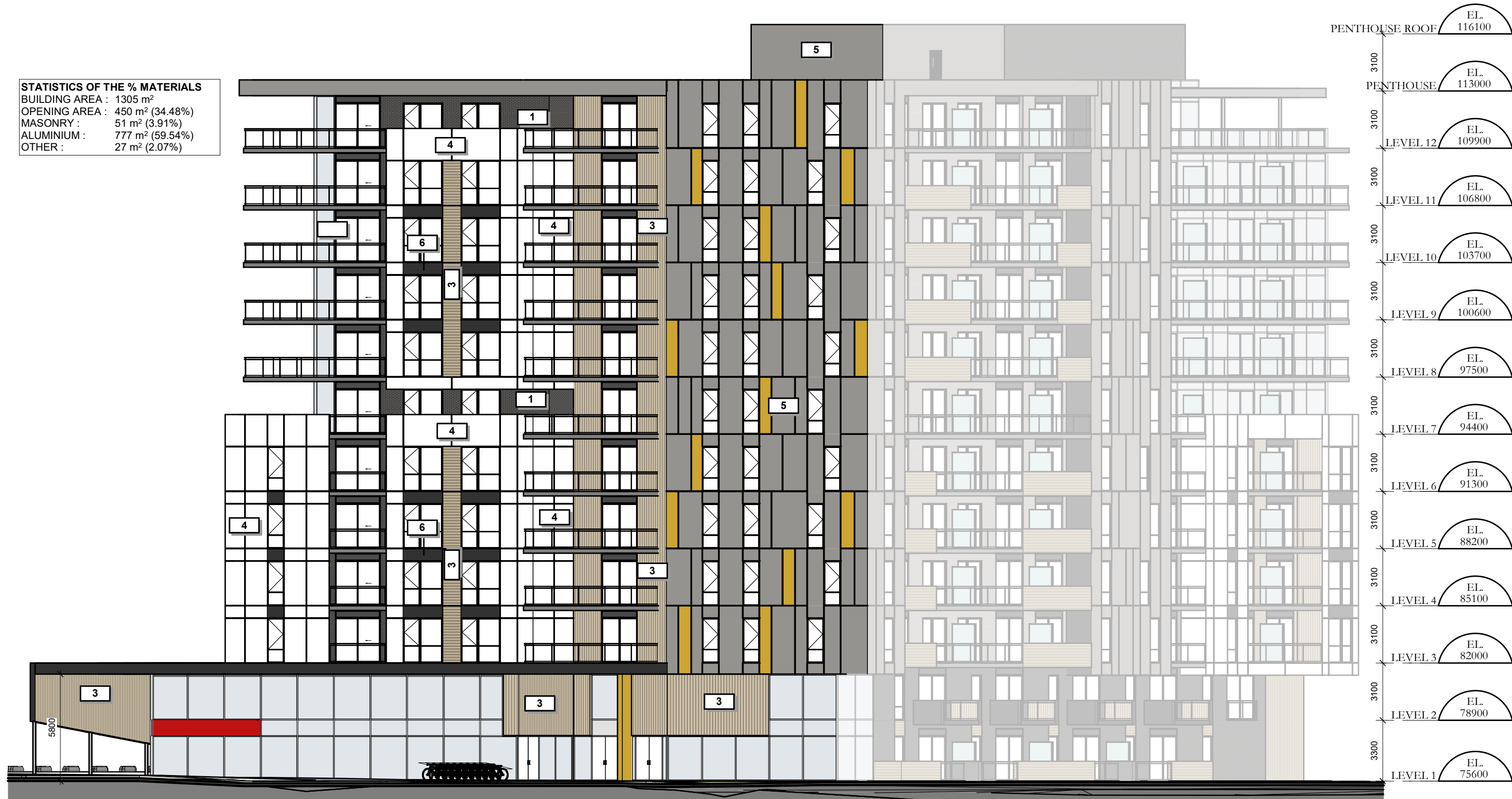


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**STATISTICS OF THE % MATERIALS**  
 BUILDING AREA : 1305 m<sup>2</sup>  
 OPENING AREA : 450 m<sup>2</sup> (34.48%)  
 MASONRY : 51 m<sup>2</sup> (3.91%)  
 ALUMINIUM : 777 m<sup>2</sup> (59.54%)  
 OTHER : 27 m<sup>2</sup> (2.07%)



TOWER A - LEFT SIDE ELEVATION (RICHMOND ROAD)

GROUP HEAFEY



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 Conçu par : Christian Rheault

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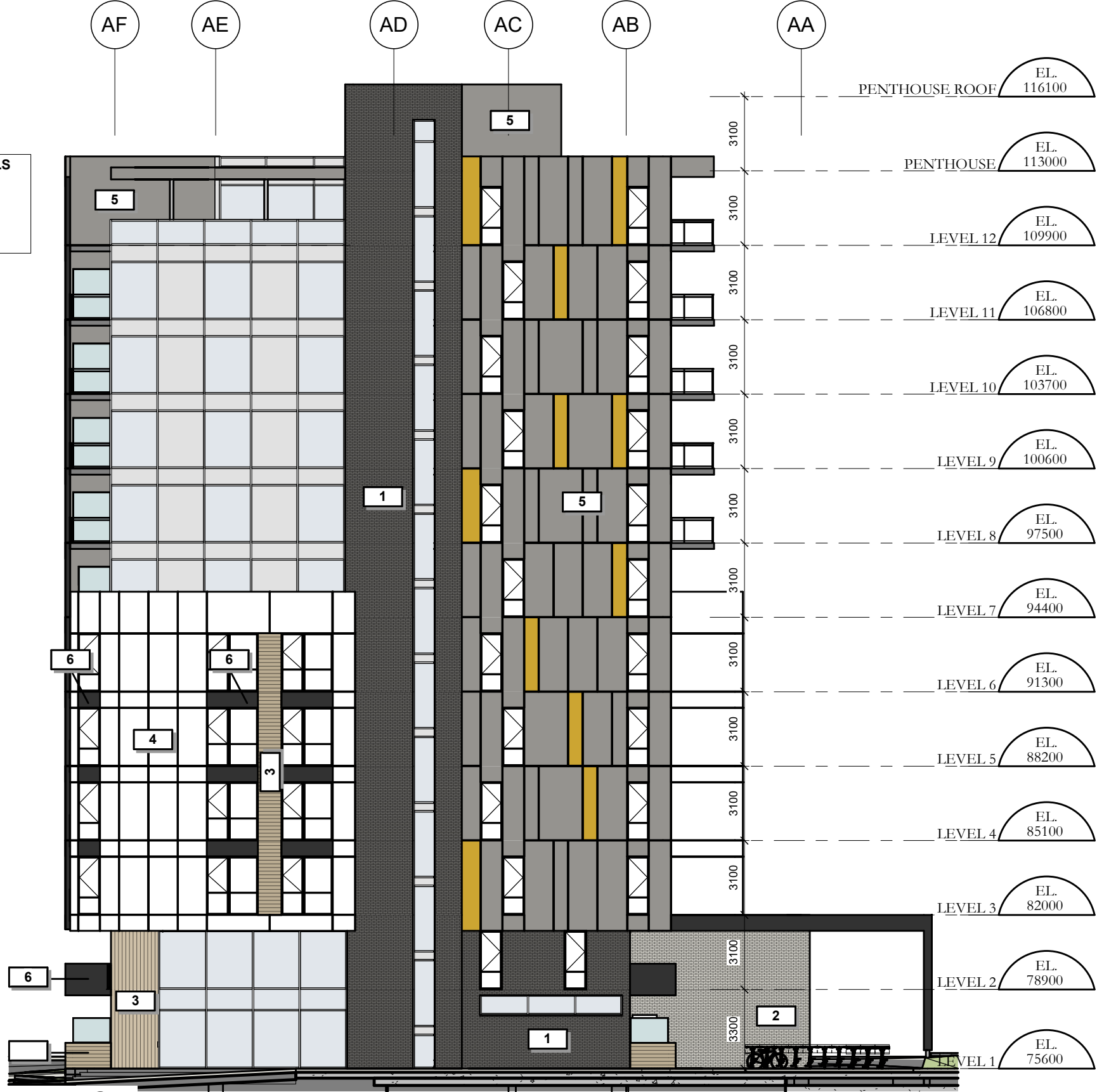
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**STATISTICS OF THE % MATÉRIALS**  
 BUILDING AREA : 1059 m<sup>2</sup>  
 OPENING AREA : 353 m<sup>2</sup> (33.33%)  
 MASONRY : 231 m<sup>2</sup> (21.81%)  
 ALUMINIUM : 473 m<sup>2</sup> (44.66%)  
 OTHER : 2 m<sup>2</sup> (0.19%)



TOWER A - RIGHT SIDE ELEVATION

GROUP HEAFEY

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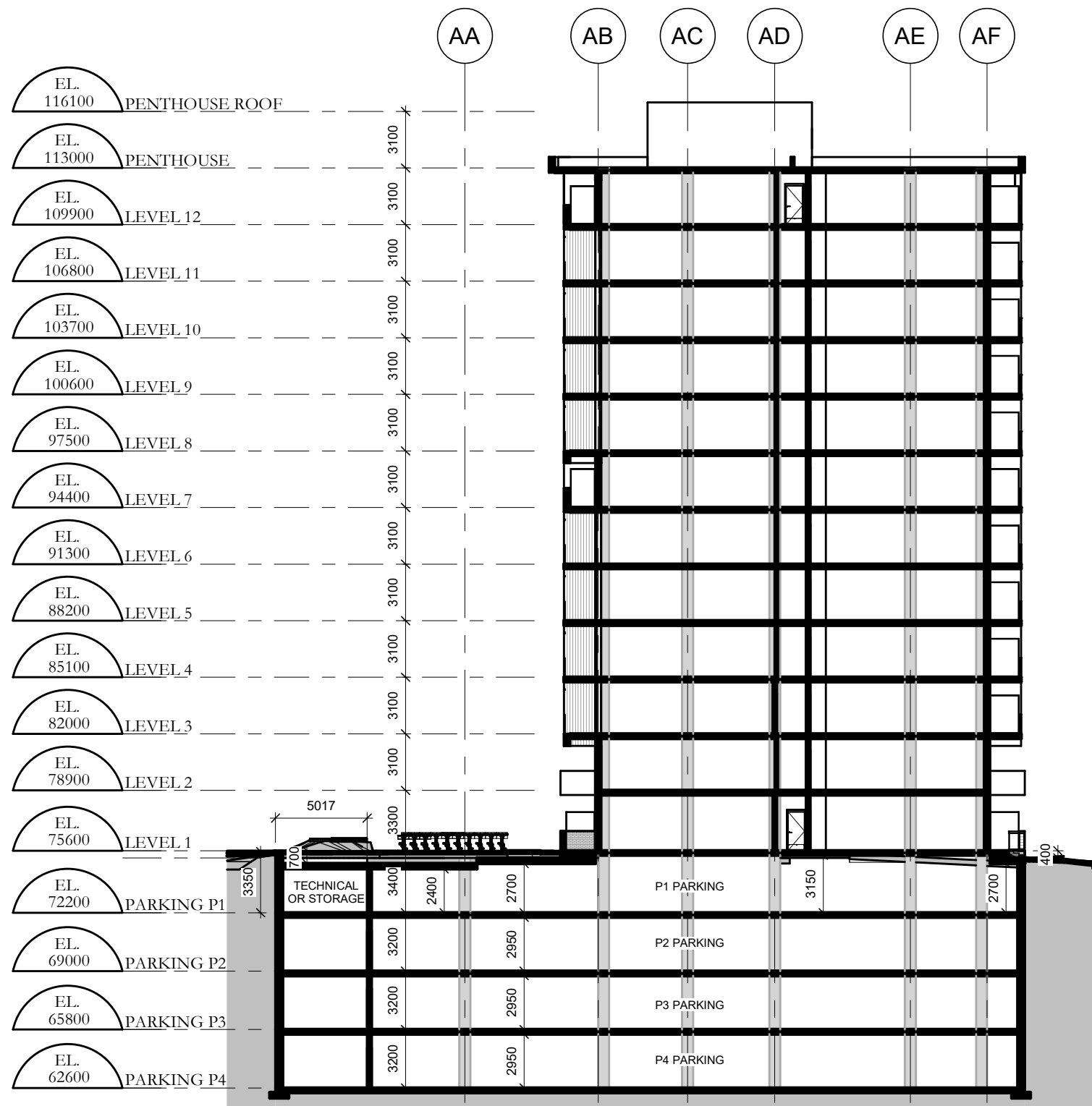


Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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# TOWER A - SECTION

GROUP HEAFEY



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 Conçu par : Christian Rheault

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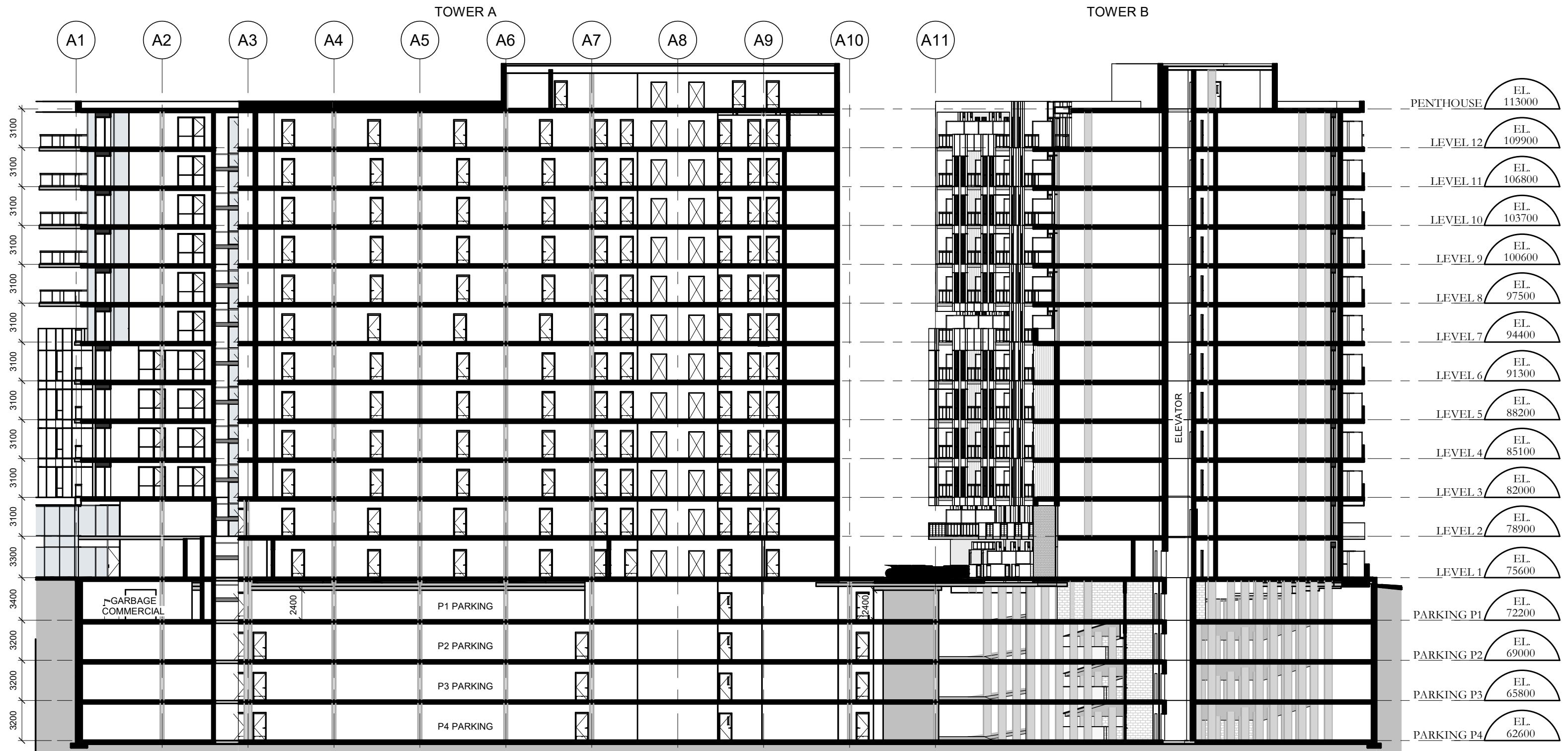


365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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# TOWER A & B - SECTION

GROUP HEAFEY



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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# TOWER B



GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

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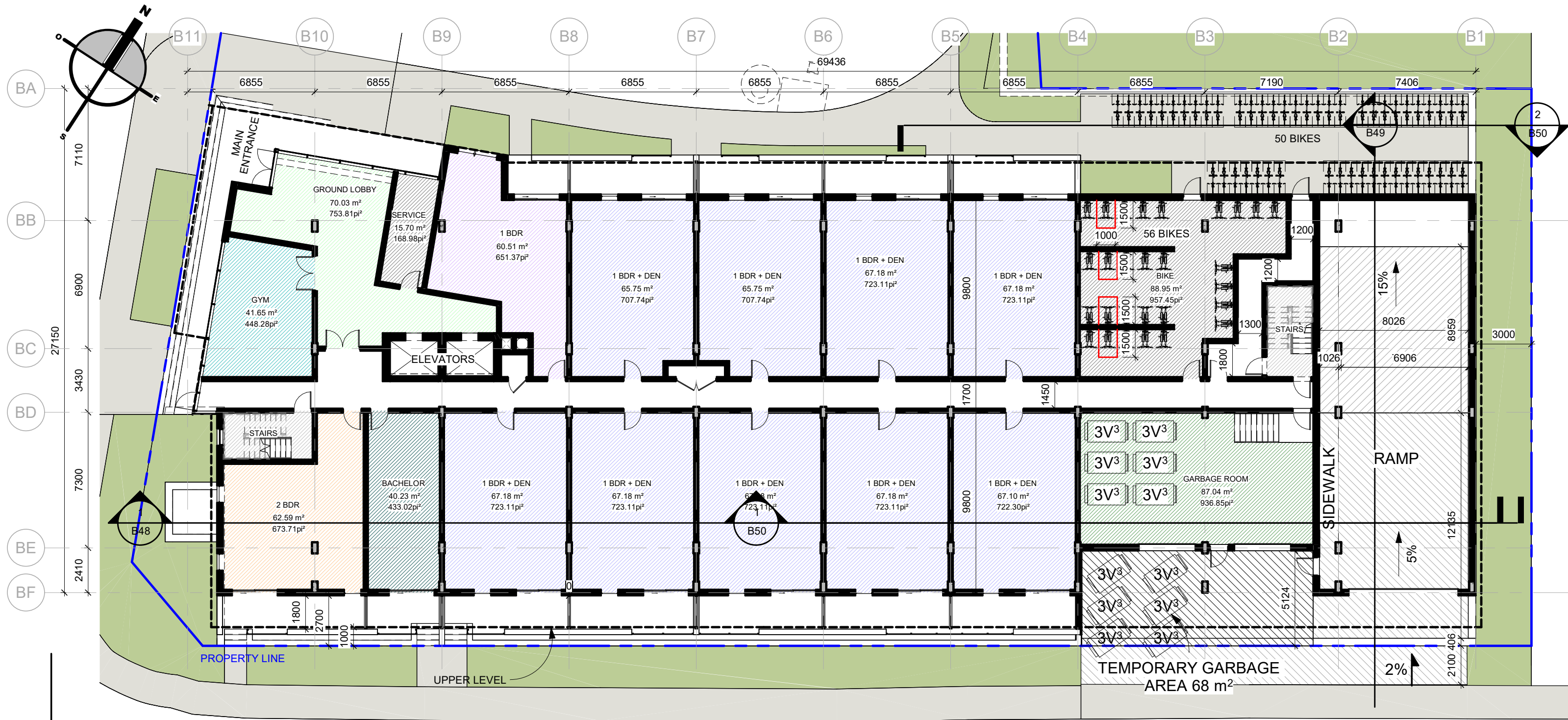
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| REVISION 04 | 2023-08-03 |
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Dessiné par : Tanya Nadeau  
Conçu par : Christian Rheault

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Gatineau, QC J8Y 1R8  
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**GROSS AREA LEGEND**



**TOWER B - LEVEL 1**

**GROUP HEAFEY**



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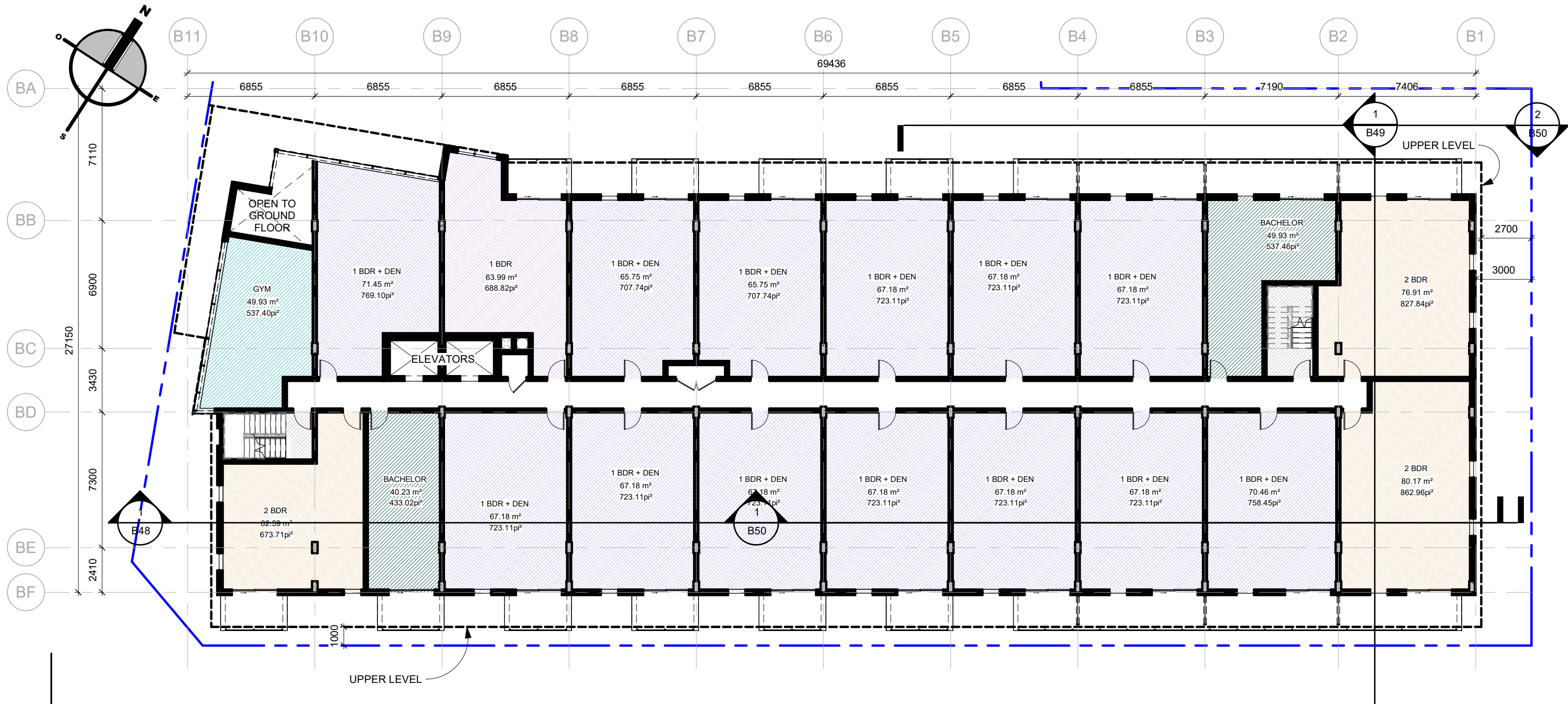
365 Forest Street, Ottawa, ON K2B 7Z7

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**GROSS AREA LEGEND**



**TOWER B - LEVEL 2**

**GROUP HEAFEY**



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**GROSS AREA LEGEND**



**TOWER B - LEVEL 3 TO 6**

**GROUP HEAFEY**



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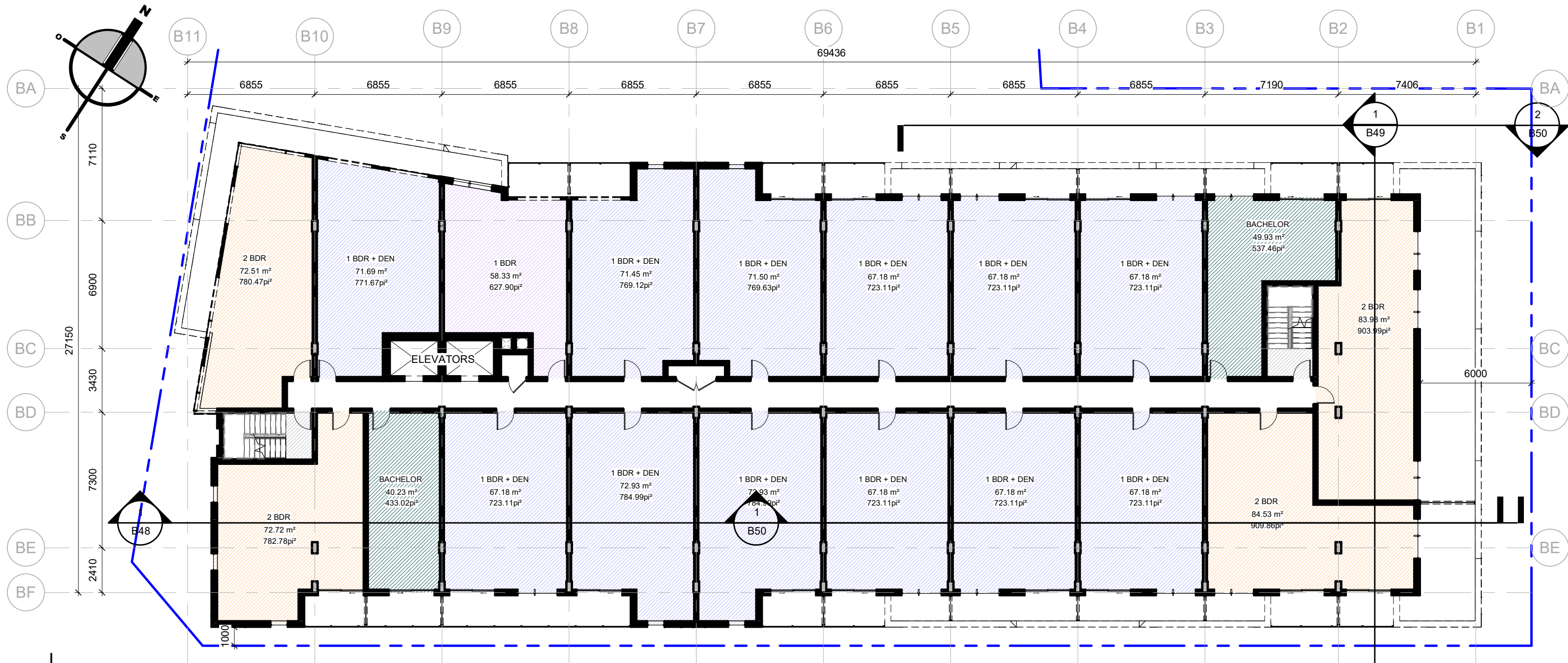


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**GROSS AREA LEGEND**



**TOWER B - LEVEL 7**

**GROUP HEAFEY**



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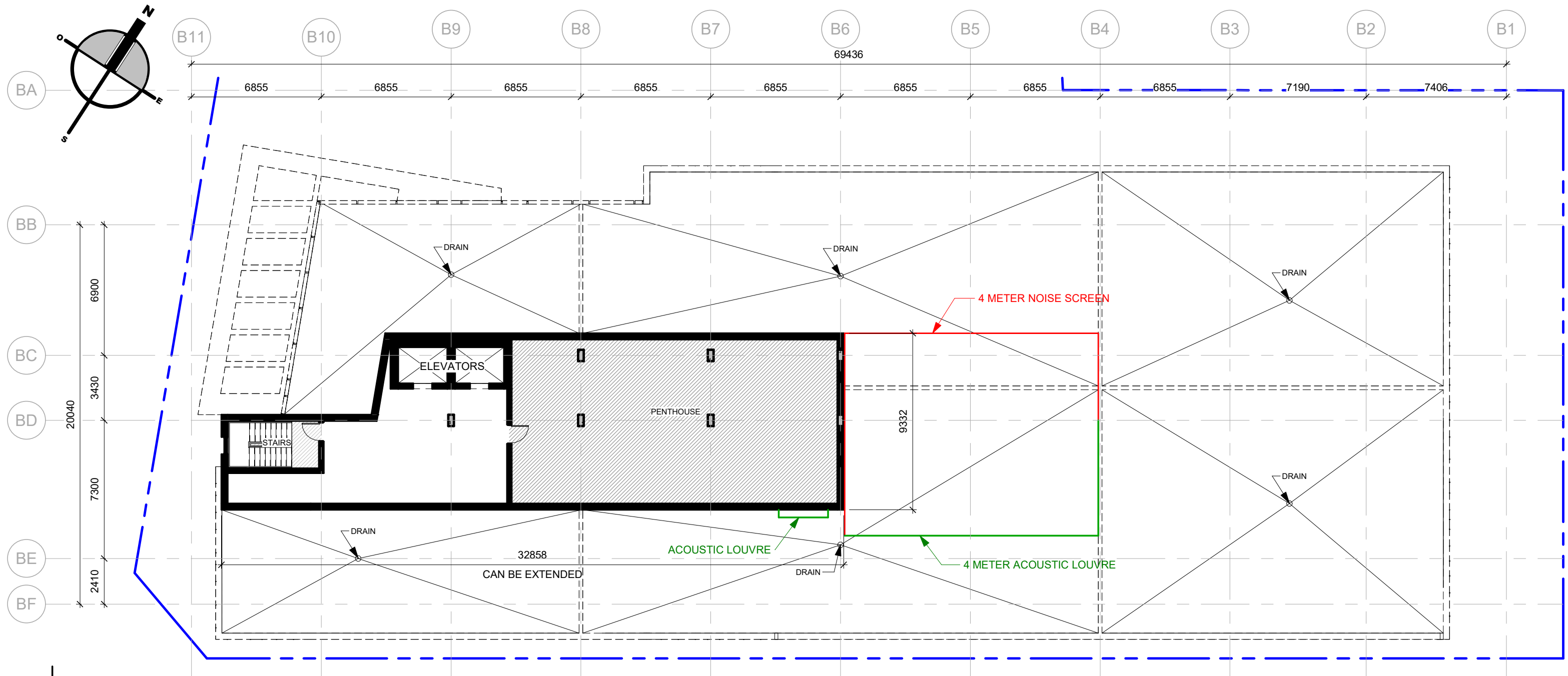


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**GROSS AREA LEGEND**



**TOWER B - LEVEL PENTHOUSE**

**GROUP HEAFEY**

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| ROOM TYPOLOGY - TOWER B |             |     |
|-------------------------|-------------|-----|
| LEVEL                   | NAME        | QTY |
| LEVEL 1                 | 1 BDR       | 1   |
| LEVEL 1                 | 1 BDR + DEN | 9   |
| LEVEL 1                 | 2 BDR       | 1   |
| LEVEL 1                 | BACHELOR    | 1   |
| LEVEL 2                 | 1 BDR       | 1   |
| LEVEL 2                 | 1 BDR + DEN | 13  |
| LEVEL 2                 | 2 BDR       | 3   |
| LEVEL 2                 | BACHELOR    | 2   |
| LEVEL 3                 | 1 BDR       | 1   |
| LEVEL 3                 | 1 BDR + DEN | 13  |
| LEVEL 3                 | 2 BDR       | 4   |
| LEVEL 3                 | BACHELOR    | 2   |
| LEVEL 4                 | 1 BDR       | 1   |
| LEVEL 4                 | 1 BDR + DEN | 13  |
| LEVEL 4                 | 2 BDR       | 4   |
| LEVEL 4                 | BACHELOR    | 2   |
| LEVEL 5                 | 1 BDR       | 1   |
| LEVEL 5                 | 1 BDR + DEN | 13  |
| LEVEL 5                 | 2 BDR       | 4   |
| LEVEL 5                 | BACHELOR    | 2   |
| LEVEL 6                 | 1 BDR       | 1   |
| LEVEL 6                 | 1 BDR + DEN | 13  |
| LEVEL 6                 | 2 BDR       | 4   |
| LEVEL 6                 | BACHELOR    | 2   |
| LEVEL 7                 | 1 BDR       | 1   |
| LEVEL 7                 | 1 BDR + DEN | 12  |
| LEVEL 7                 | 2 BDR       | 4   |
| LEVEL 7                 | BACHELOR    | 2   |
| LEVEL 8                 | 1 BDR       | 1   |
| LEVEL 8                 | 1 BDR + DEN | 12  |
| LEVEL 8                 | 2 BDR       | 4   |
| LEVEL 8                 | BACHELOR    | 2   |
| LEVEL 9                 | 1 BDR       | 1   |
| LEVEL 9                 | 1 BDR + DEN | 12  |
| LEVEL 9                 | 2 BDR       | 4   |
| LEVEL 9                 | BACHELOR    | 2   |
| LEVEL 10                | 1 BDR       | 1   |
| LEVEL 10                | 1 BDR + DEN | 12  |
| LEVEL 10                | 2 BDR       | 4   |
| LEVEL 10                | BACHELOR    | 2   |
| LEVEL 11                | 1 BDR       | 1   |
| LEVEL 11                | 1 BDR + DEN | 12  |
| LEVEL 11                | 2 BDR       | 4   |
| LEVEL 11                | BACHELOR    | 2   |
| LEVEL 12                | 1 BDR       | 1   |
| LEVEL 12                | 1 BDR + DEN | 11  |
| LEVEL 12                | 2 BDR       | 3   |
| LEVEL 12                | BACHELOR    | 2   |
| TOTAL DE LOGEMENTS: 223 |             |     |

| 1 BDR - TOWER B |       |     |
|-----------------|-------|-----|
| LEVEL           | NAME  | QTY |
| LEVEL 1         | 1 BDR | 1   |
| LEVEL 2         | 1 BDR | 1   |
| LEVEL 3         | 1 BDR | 1   |
| LEVEL 4         | 1 BDR | 1   |
| LEVEL 5         | 1 BDR | 1   |
| LEVEL 6         | 1 BDR | 1   |
| LEVEL 7         | 1 BDR | 1   |
| LEVEL 8         | 1 BDR | 1   |
| LEVEL 9         | 1 BDR | 1   |
| LEVEL 10        | 1 BDR | 1   |
| LEVEL 11        | 1 BDR | 1   |
| LEVEL 12        | 1 BDR | 1   |
| TOTAL: 12       |       |     |

| 2 BDR - TOWER B |       |     |
|-----------------|-------|-----|
| LEVEL           | NAME  | QTY |
| LEVEL 1         | 2 BDR | 1   |
| LEVEL 2         | 2 BDR | 3   |
| LEVEL 3         | 2 BDR | 4   |
| LEVEL 4         | 2 BDR | 4   |
| LEVEL 5         | 2 BDR | 4   |
| LEVEL 6         | 2 BDR | 4   |
| LEVEL 7         | 2 BDR | 4   |
| LEVEL 8         | 2 BDR | 4   |
| LEVEL 9         | 2 BDR | 4   |
| LEVEL 10        | 2 BDR | 4   |
| LEVEL 11        | 2 BDR | 4   |
| LEVEL 12        | 2 BDR | 3   |
| TOTAL: 43       |       |     |

| TYPOLOGY - TOWER B      |     |      |
|-------------------------|-----|------|
| NAME                    | QTY | %    |
| 1 BDR                   | 12  | 5%   |
| 1 BDR + DEN             | 145 | 66%  |
| 2 BDR                   | 43  | 22%  |
| BACHELOR                | 23  | 7%   |
| TOTAL DE LOGEMENTS: 223 |     | 100% |

| 1 BDR + DEN - TOWER B |             |     |
|-----------------------|-------------|-----|
| LEVEL                 | NAME        | QTY |
| LEVEL 1               | 1 BDR + DEN | 9   |
| LEVEL 2               | 1 BDR + DEN | 13  |
| LEVEL 3               | 1 BDR + DEN | 13  |
| LEVEL 4               | 1 BDR + DEN | 13  |
| LEVEL 5               | 1 BDR + DEN | 13  |
| LEVEL 6               | 1 BDR + DEN | 13  |
| LEVEL 7               | 1 BDR + DEN | 12  |
| LEVEL 8               | 1 BDR + DEN | 12  |
| LEVEL 9               | 1 BDR + DEN | 12  |
| LEVEL 10              | 1 BDR + DEN | 12  |
| LEVEL 11              | 1 BDR + DEN | 12  |
| LEVEL 12              | 1 BDR + DEN | 11  |
| TOTAL: 145            |             |     |

| 2 BDR + DEN - TOWER B |      |     |
|-----------------------|------|-----|
| LEVEL                 | NAME | QTY |

GROUP HEAFEY

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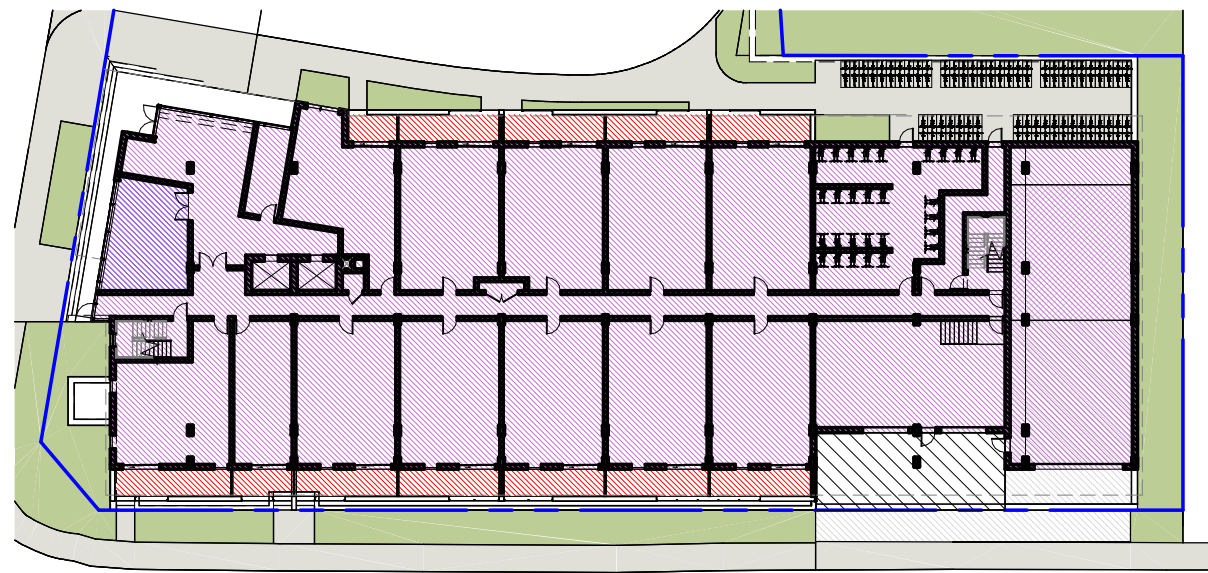
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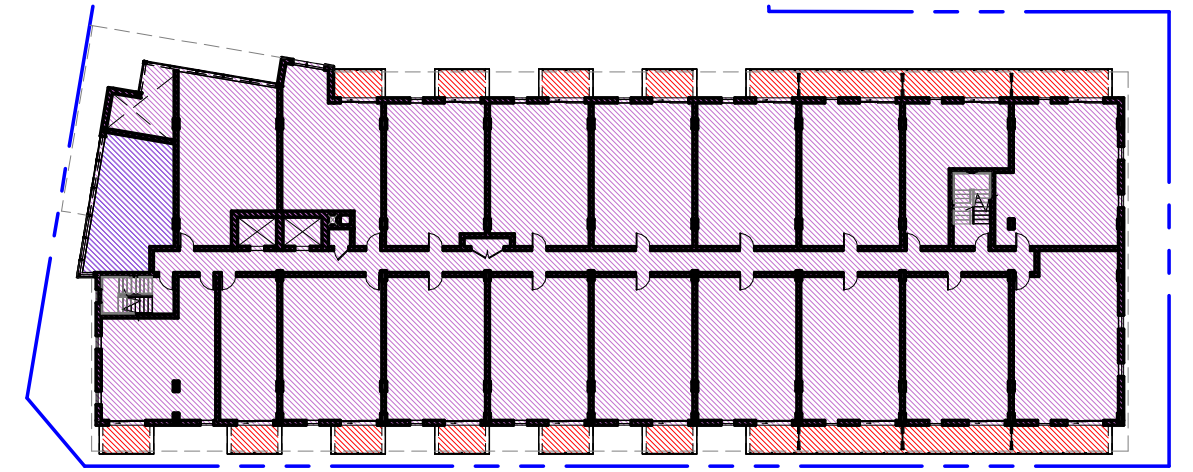
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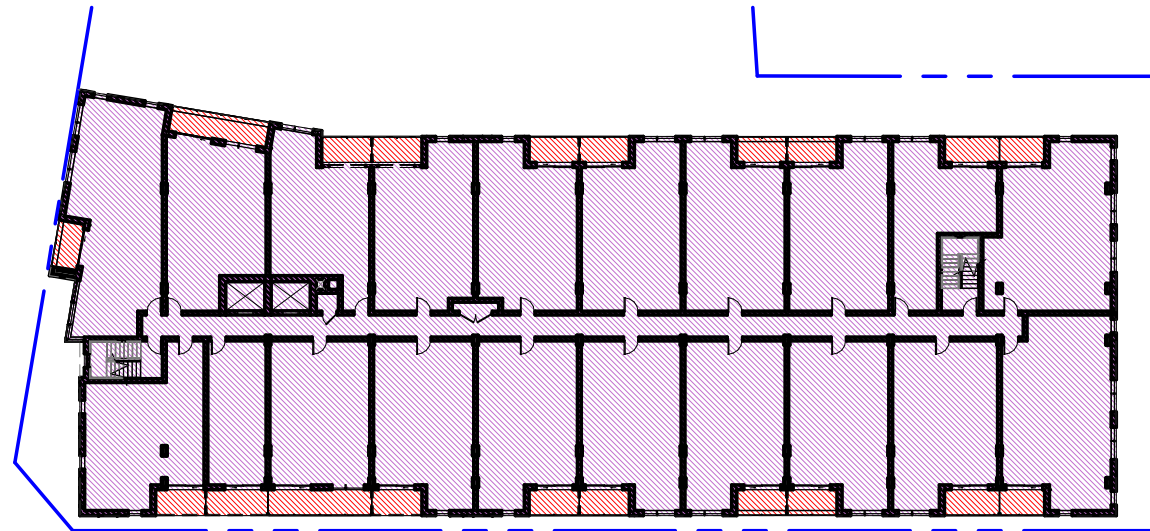
■ BALCONY AREA LEVEL 1 : 137 m<sup>2</sup> / 12 UNITS = 11.42 m<sup>2</sup>  
■ COMMON AREA LEVEL 1 : 37 m<sup>2</sup>  
■ GROSS AREA LEVEL 1 : 1466.78 m<sup>2</sup>

### TOWER B - AMENITIES AREA LEVEL 1



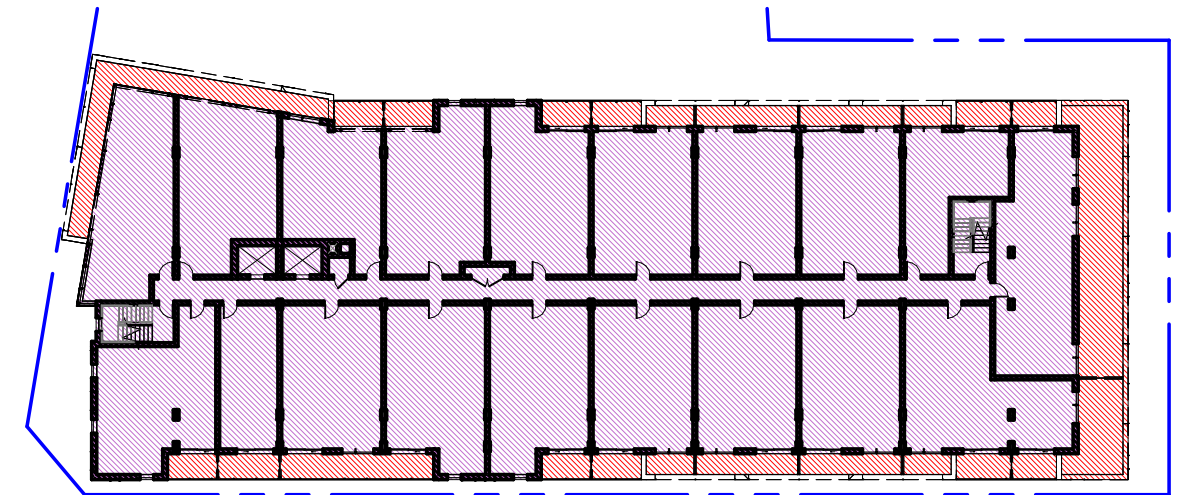
■ BALCONY AREA LEVEL 2 : 149 m<sup>2</sup> / 19 UNITS = 7.84 m<sup>2</sup>  
■ COMMON AREA LEVEL 2 : 45 m<sup>2</sup>  
■ GROSS AREA LEVEL 2 : 1497.04 m<sup>2</sup>

### TOWER B - AMENITIES AREA LEVEL 2



■ BALCONY AREA LEVEL 3 : 125 m<sup>2</sup> / 20 UNITS = 6.25 m<sup>2</sup>  
■ GROSS AREA LEVEL 3 TO 6 : 1629.32 m<sup>2</sup>

### TOWER B - AMENITIES AREA LEVEL 3 TO 6



■ BALCONY AREA LEVEL 7 : 264 m<sup>2</sup> / 19 UNITS = 13.89 m<sup>2</sup>  
■ GROSS AREA LEVEL 7 : 1465.16 m<sup>2</sup>

### TOWER B - AMENITIES AREA LEVEL 7

GROUP HEAFEY

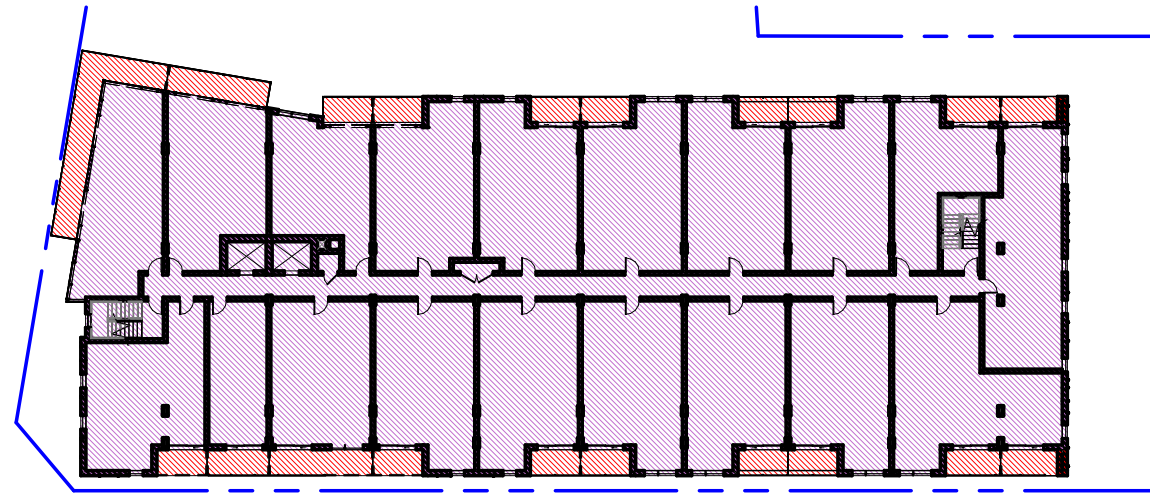
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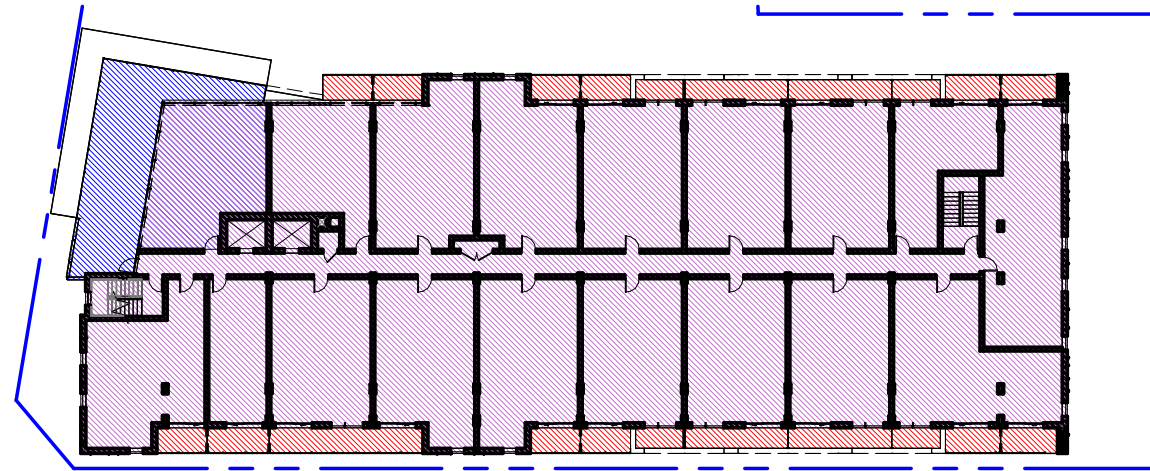
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■ BALCONY AREA LEVEL 8 : 153 m<sup>2</sup> / 19 UNITS = 8.05 m<sup>2</sup>  
■ GROSS AREA LEVEL 8 TO 11 : 1513.39 m<sup>2</sup>

### TOWER B - AMENITIES AREA LEVEL 8 TO 11



■ BALCONY AREA LEVEL 12 : 144 m<sup>2</sup> / 17 UNITS = 8.47 m<sup>2</sup>  
■ GROSS AREA LEVEL 12 : 1390.80 m<sup>2</sup>  
■ COMMON AREA LEVEL 12 : 140 m<sup>2</sup>

### TOWER B - AMENITIES AREA LEVEL 12

### PRIVATE AMENITIES AREA

BALCONY AREA LEVEL 1 : 137 m<sup>2</sup> / 12 UNITS = 11.42 m<sup>2</sup>  
 BALCONY AREA LEVEL 2 : 149 m<sup>2</sup> / 19 UNITS = 7.84 m<sup>2</sup>  
 BALCONY AREA LEVEL 3 : 125 m<sup>2</sup> / 20 UNITS = 6.25 m<sup>2</sup>  
 BALCONY AREA LEVEL 4 : 125 m<sup>2</sup> / 20 UNITS = 6.25 m<sup>2</sup>  
 BALCONY AREA LEVEL 5 : 125 m<sup>2</sup> / 20 UNITS = 6.25 m<sup>2</sup>  
 BALCONY AREA LEVEL 6 : 125 m<sup>2</sup> / 20 UNITS = 6.25 m<sup>2</sup>  
 BALCONY AREA LEVEL 7 : 264 m<sup>2</sup> / 19 UNITS = 13.89 m<sup>2</sup>  
 BALCONY AREA LEVEL 8 : 153 m<sup>2</sup> / 19 UNITS = 8.05 m<sup>2</sup>  
 BALCONY AREA LEVEL 9 : 151 m<sup>2</sup> / 19 UNITS = 7.95 m<sup>2</sup>  
 BALCONY AREA LEVEL 10 : 151 m<sup>2</sup> / 19 UNITS = 7.95 m<sup>2</sup>  
 BALCONY AREA LEVEL 11 : 151 m<sup>2</sup> / 19 UNITS = 7.95 m<sup>2</sup>  
 BALCONY AREA LEVEL 12 : 144 m<sup>2</sup> / 17 UNITS = 8.47 m<sup>2</sup>

**TOTAL PRIVATE AREA :** 1800 m<sup>2</sup> / 223 UNITS = 8.07 m<sup>2</sup>  
*REQUIRED 6 m<sup>2</sup>/ UNITS*

### COMMON AMENITIES AREA

COMMON AREA LEVEL 1 : 37 m<sup>2</sup>  
 COMMON AREA LEVEL 2 : 45 m<sup>2</sup>  
 COMMON AREA LEVEL 12 : 140 m<sup>2</sup>  
**TOTAL COMMON AREA :** 222 m<sup>2</sup>

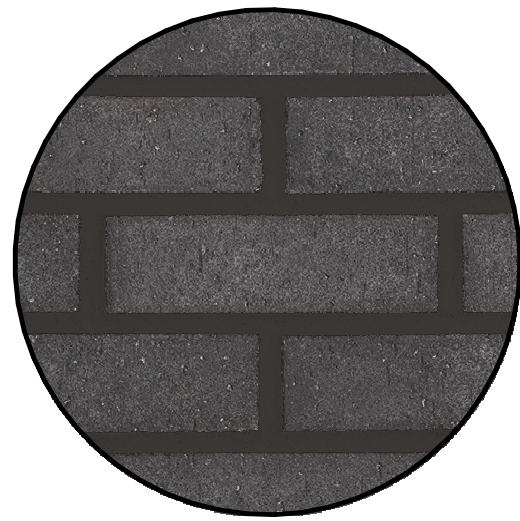
### GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

As indicated

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1

**MASONRY**  
GLEN-GERY  
COLOR VINTAGE  
BLACK VELOUR



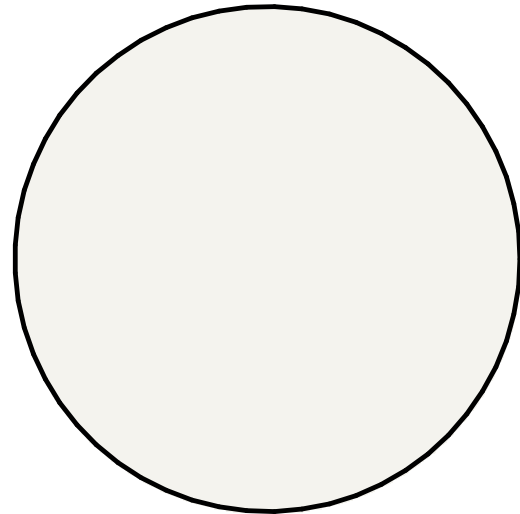
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**MASONRY**  
GLEN-GERY  
COLOR REVERE  
PEWTER VELOUR



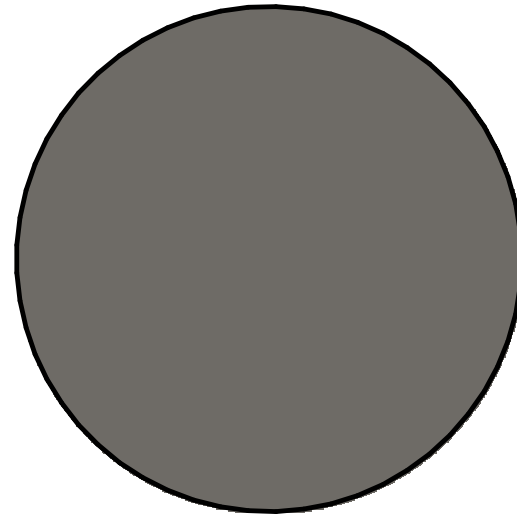
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**ALUMINIUM SIDING**  
ALUPLANK  
COLOR ACADIA  
AXOTIC HONEY



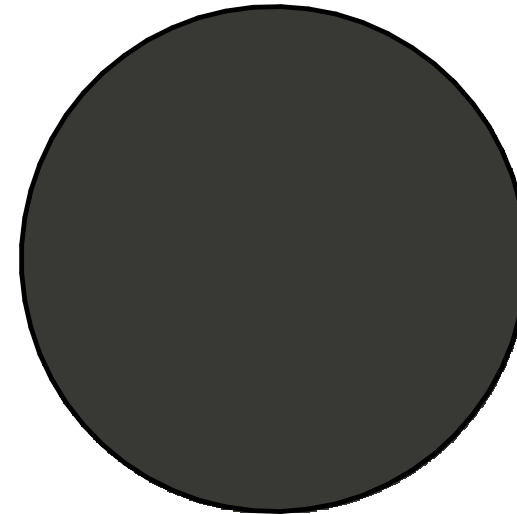
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**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR NATURAL  
WHITE 6000-11



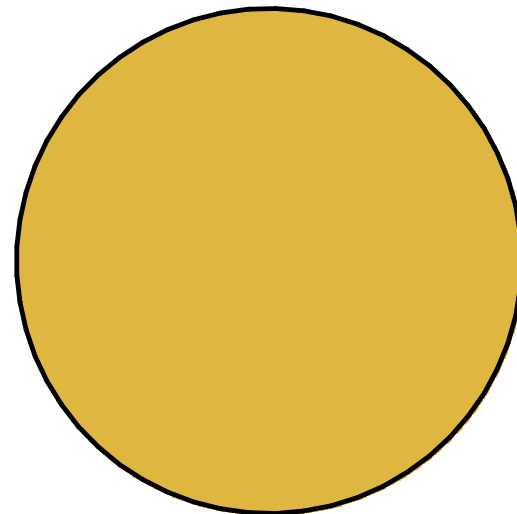
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**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR NIGHT  
OWL 6183-63



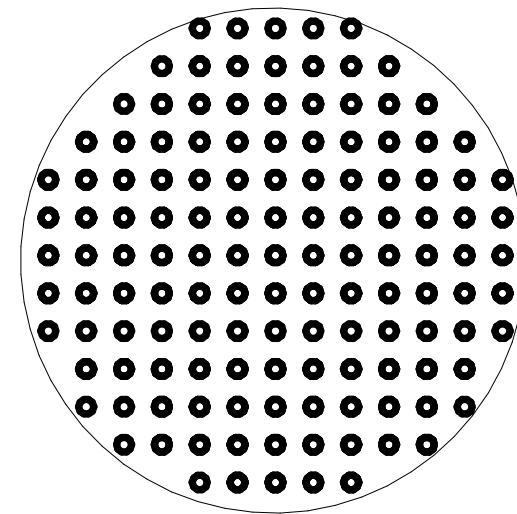
6

**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR BLACK  
PEPPER 6182-83



7

**ALUMINIUM PANELS**  
ALUTECH  
SICO COLOR GREEN  
TOMATO RELISH 6097-64



8

**DOT SAFETY WINDOW FILM**  
DOTS WITH MAXIMUM  
SPACING OF 50 MM BY 50  
MM, MINIMUM OF 4 MM  
DIAMETER. TO BE APPLY ON  
THE GLASS BALCONIES FOR  
THE FIRST 4 FLOORS.

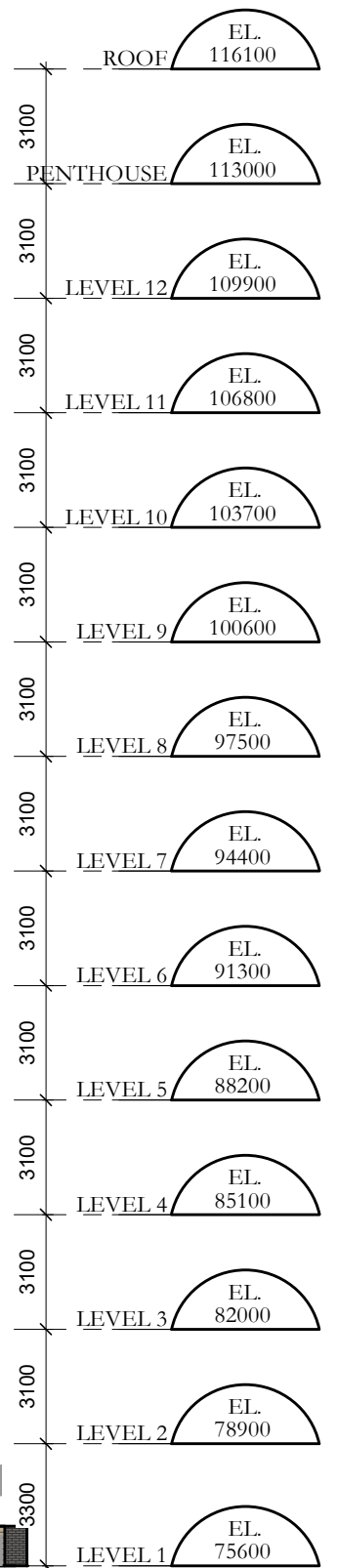
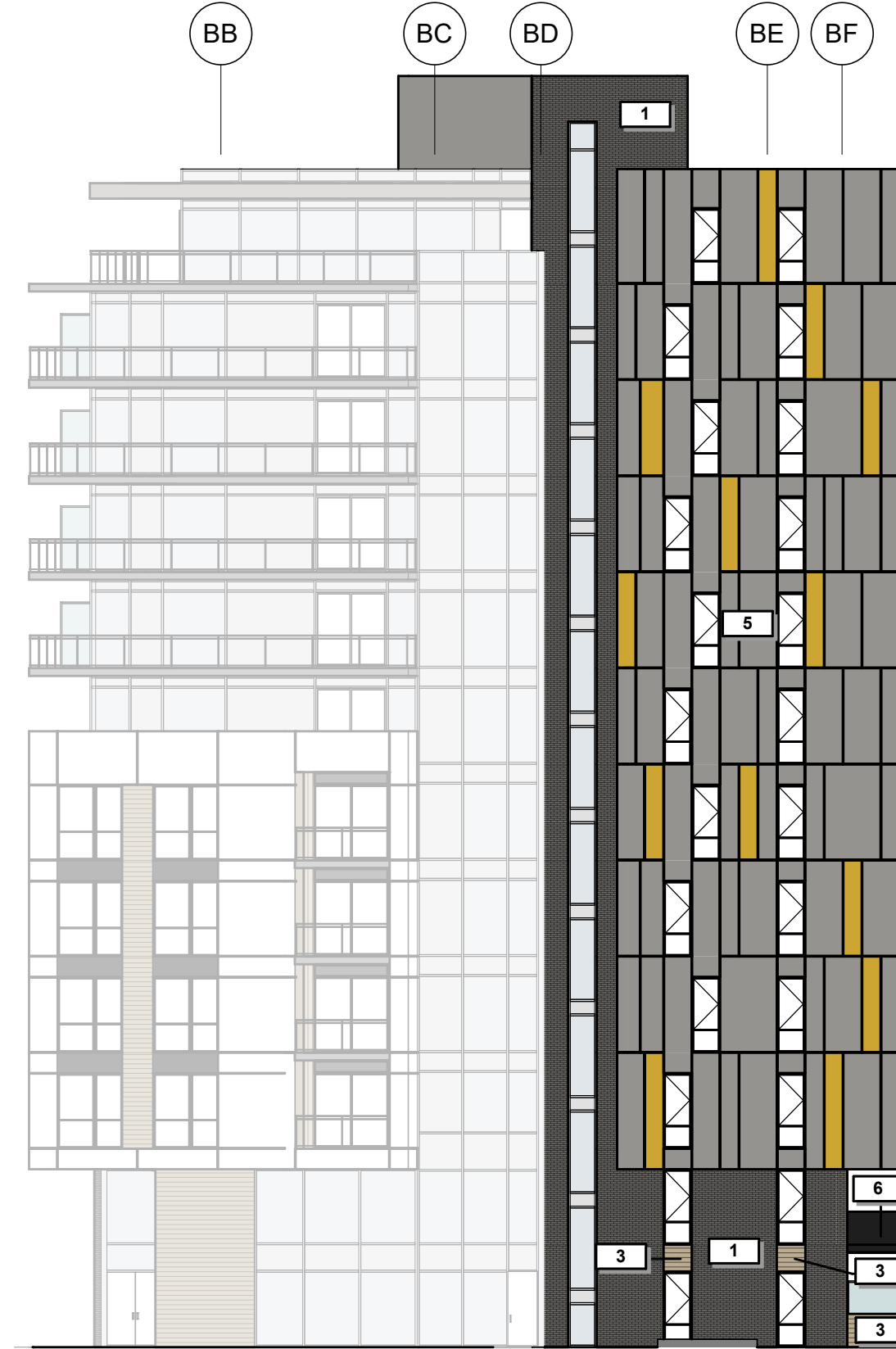
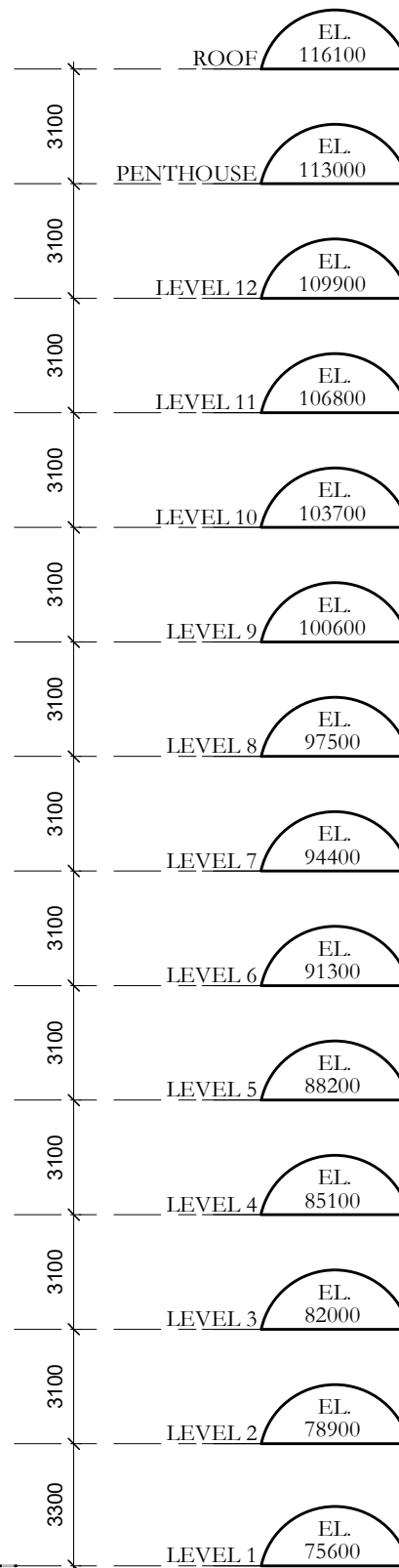
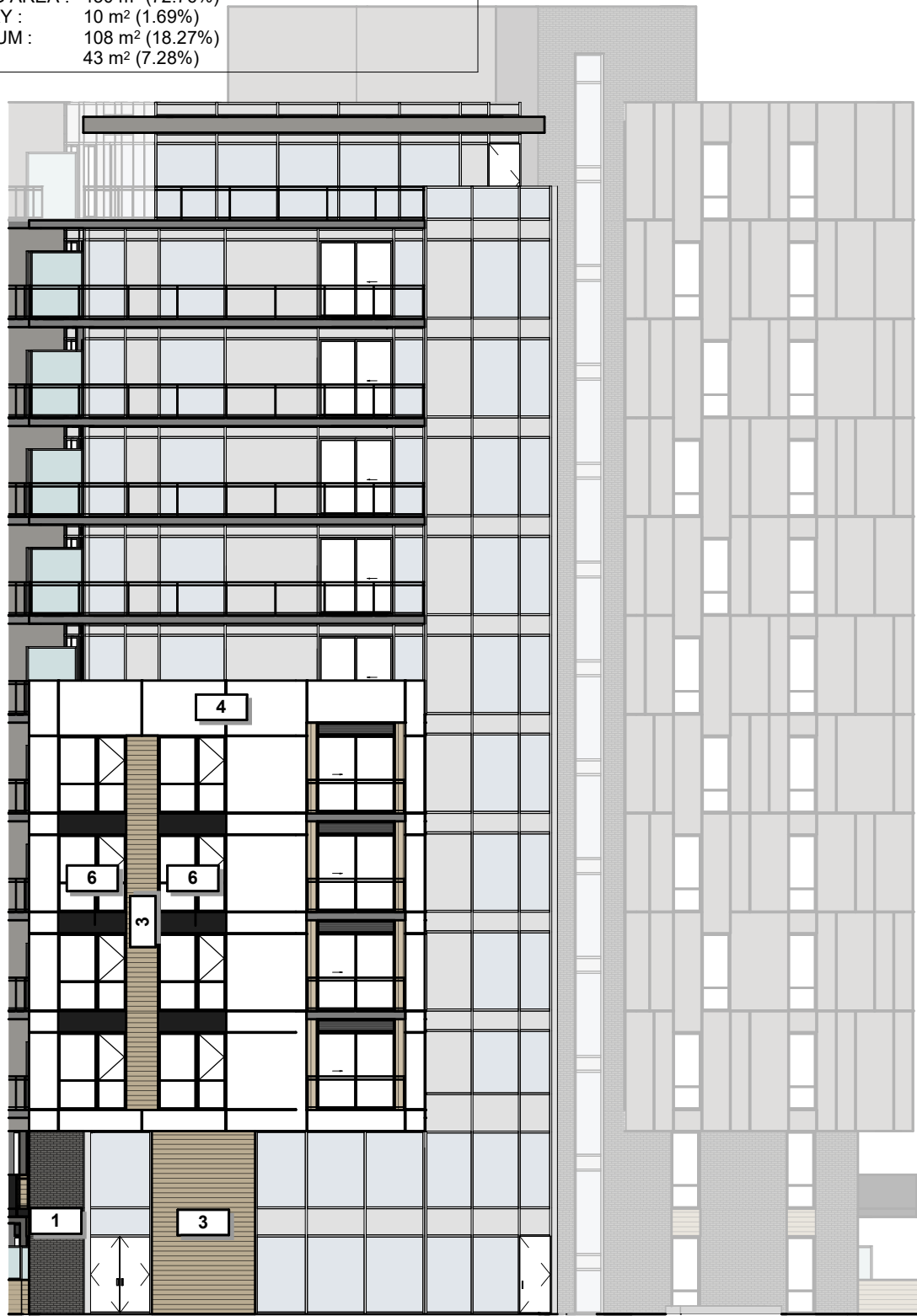
NOTE : COLORS SHOWN MAY VARY DUE TO SCREEN RESOLUTION. PLEASE SEE ACTUAL PRODUCTS SAMPLE FOR TRUE COLOR.

## EXTERIOR MATERIALS

GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

**STATISTICS OF THE % MATERIALS**  
 BUILDING AREA : 591 m<sup>2</sup>  
 OPENING AREA : 430 m<sup>2</sup> (72.76%)  
 MASONRY : 10 m<sup>2</sup> (1.69%)  
 ALUMINIUM : 108 m<sup>2</sup> (18.27%)  
 OTHER : 43 m<sup>2</sup> (7.28%)



**TOWER B - FRONT ELEVATIONS (FOREST STREET)**

**STATISTICS OF THE % MATERIALS**  
 BUILDING AREA : 460 m<sup>2</sup>  
 OPENING AREA : 90 m<sup>2</sup> (19.57%)  
 MASONRY : 103 m<sup>2</sup> (22.39%)  
 ALUMINIUM : 267 m<sup>2</sup> (58.04%)

**GROUP HEAFEY**



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1 : 200

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**STATISTICS OF THE % MATERIALS**  
 BUILDING AREA : 979 m<sup>2</sup>  
 OPENING AREA : 198 m<sup>2</sup> (20.22%)  
 MASONRY : 148 m<sup>2</sup> (15.12%)  
 ALUMINIUM : 633 m<sup>2</sup> (64.66%)



**TOWER B - BACK ELEVATION**

**GROUP HEAFEY**

365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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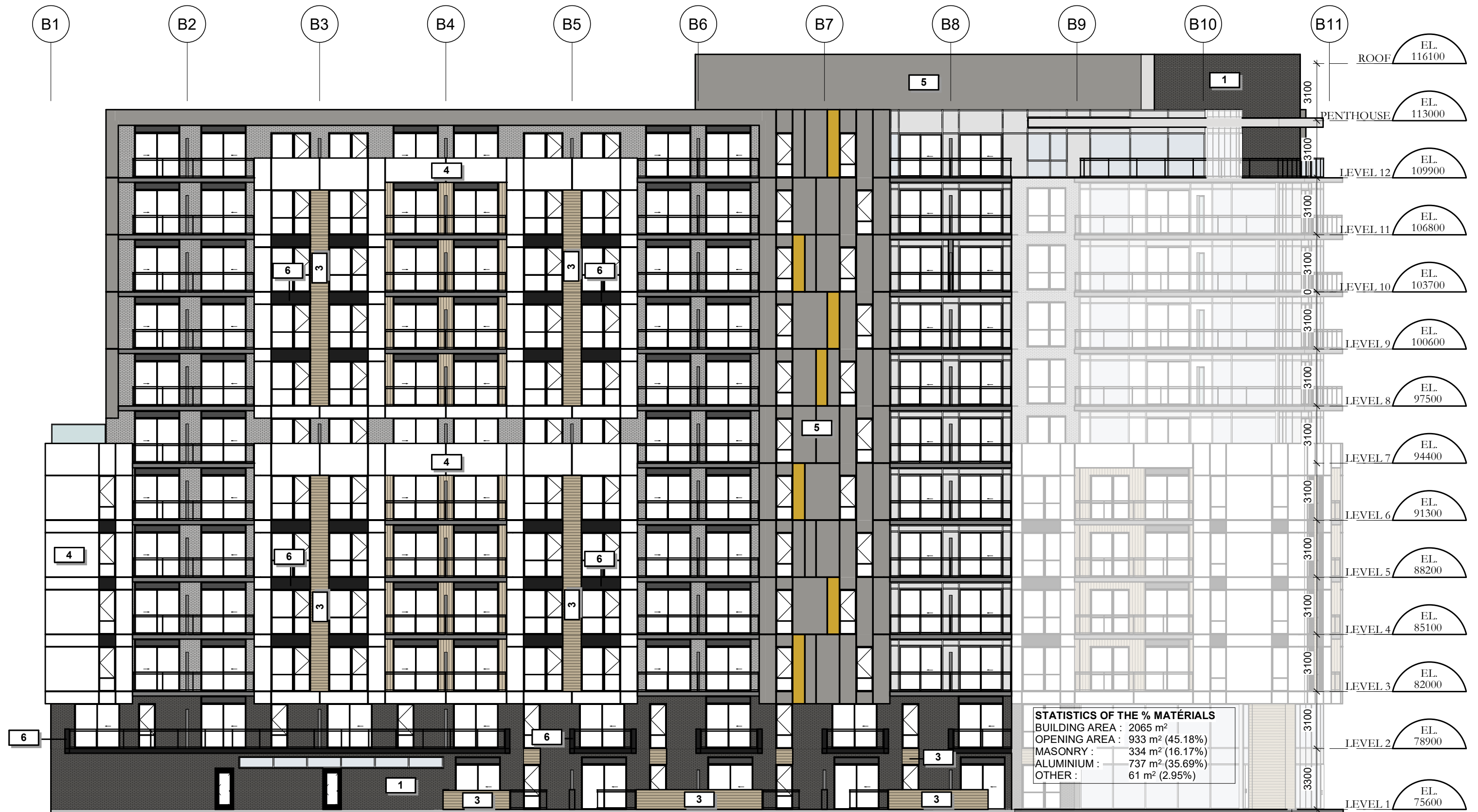
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TOWER B - LEFT SIDE ELEVATION

GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

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| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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**STATISTICS OF THE % MATÉRIALS**  
 BUILDING AREA : 532 m<sup>2</sup>  
 OPENING AREA : 314 m<sup>2</sup> (59.02%)  
 MASONRY : 38 m<sup>2</sup> (7.14%)  
 ALUMINIUM : 160 m<sup>2</sup> (30.08%)  
 OTHER : 20 m<sup>2</sup> (3.76%)



- ROOF EL. 116100
- PENTHOUSE EL. 113000
- LEVEL 12 EL. 109900
- LEVEL 11 EL. 106800
- LEVEL 10 EL. 103700
- LEVEL 9 EL. 100600
- LEVEL 8 EL. 97500
- LEVEL 7 EL. 94400
- LEVEL 6 EL. 91300
- LEVEL 5 EL. 88200
- LEVEL 4 EL. 85100
- LEVEL 3 EL. 82000
- LEVEL 2 EL. 78900
- LEVEL 1 EL. 75600

**TOWER B - LEFT SIDE ELEVATION**

**GROUP HEAFEY**



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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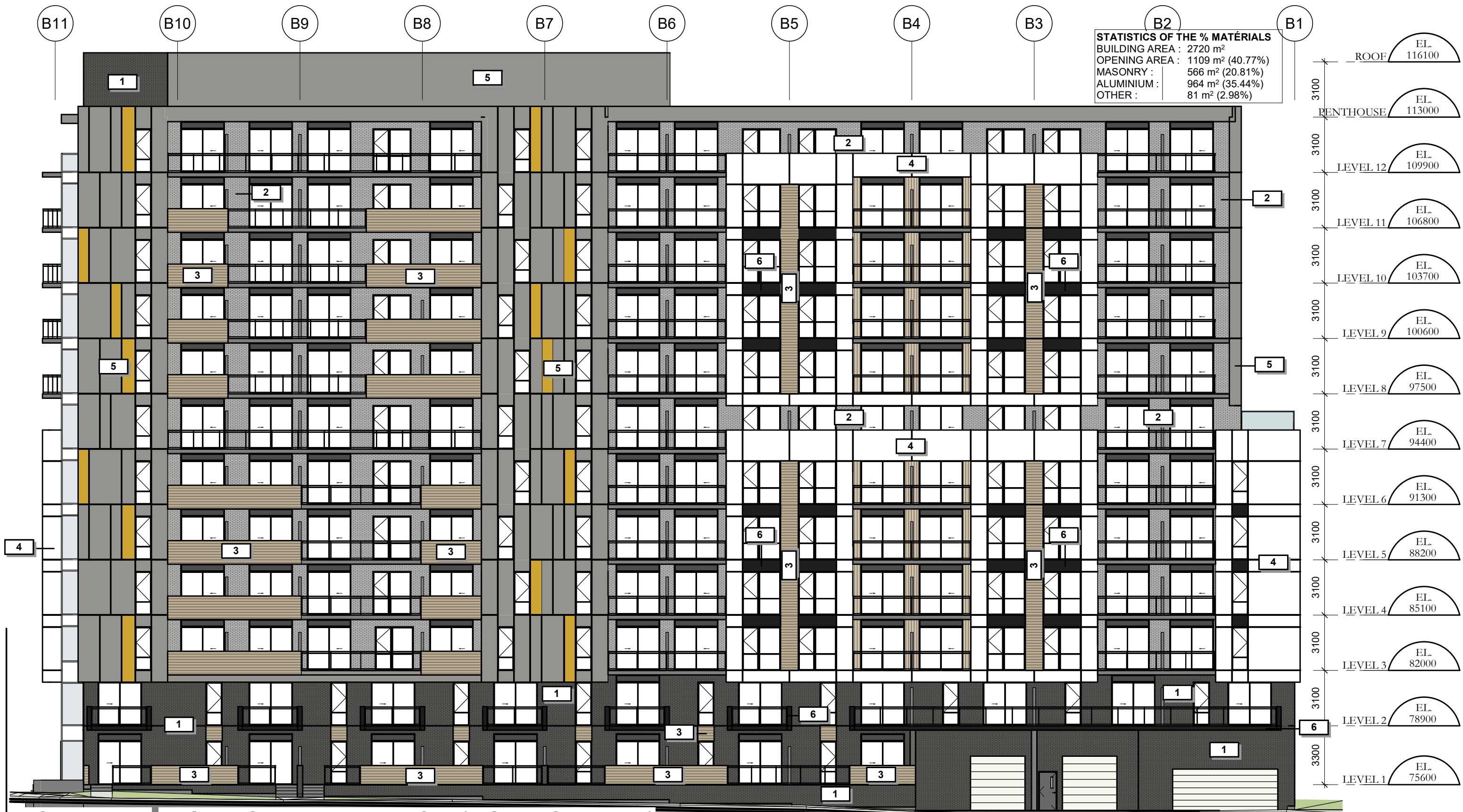


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

D07-12-20-0041 1887-2303-19

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| REVISION 01 | 2020-12-18 |
| REVISION 02 | 2022-08-29 |
| REVISION 03 | 2022-12-09 |
| REVISION 04 | 2023-08-03 |
| REVISION 05 | 2023-10-18 |
| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



TOWER B - RIGHT SIDE ELEVATION (BOND STREET)

GROUP HEAFEY



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

53 blvd Saint-Raymond, Suite 200-A  
 Gatineau, QC J8Y 1R8  
 www.lrarch.ca

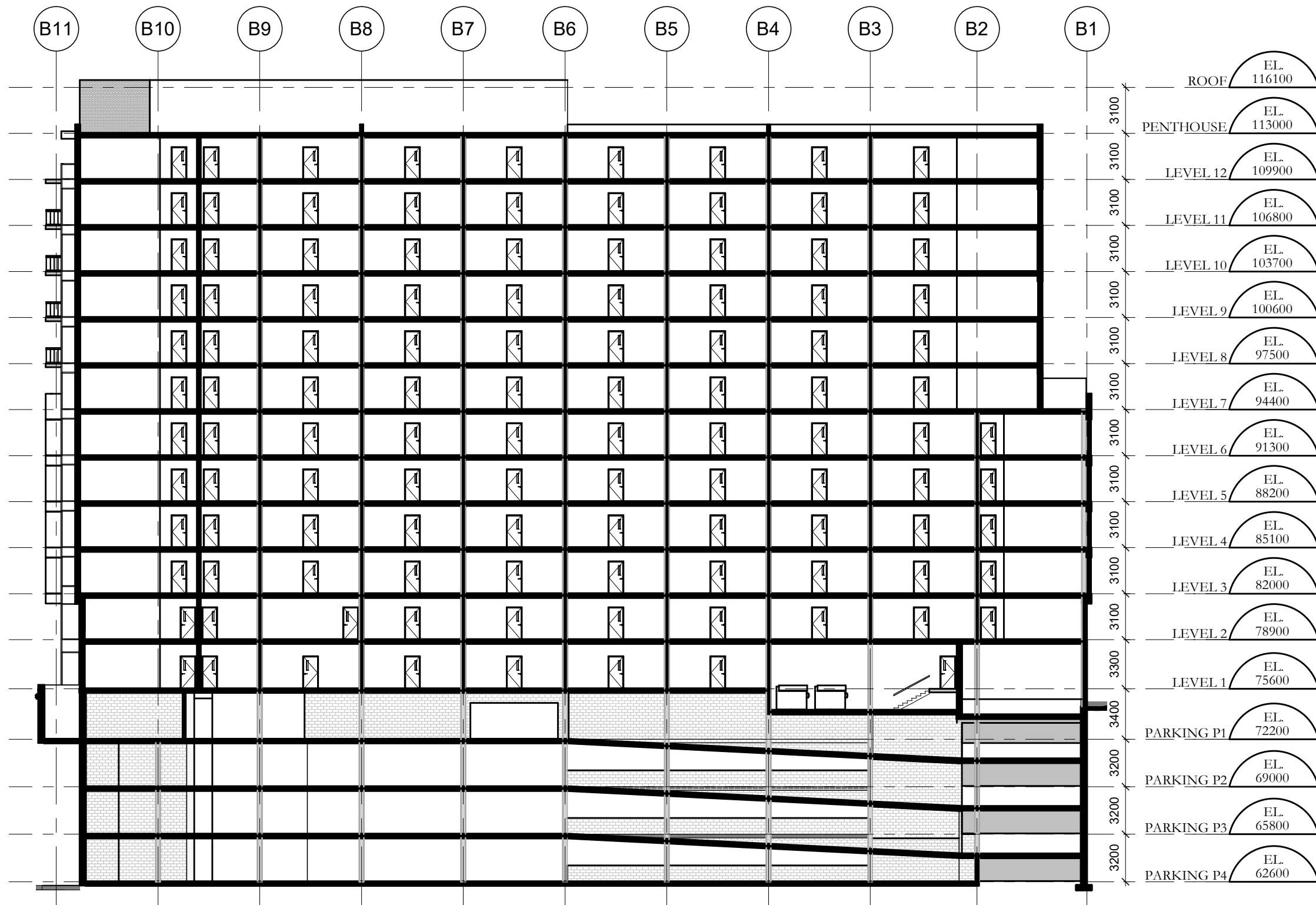


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

D07-12-20-0041 1887-2303-19

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| REVISION 06 | 2023-12-06 |
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## TOWER B - SECTION

GROUP HEAFEY



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Conçu par : Christian Rheault

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Gatineau, QC J8Y 1R8  
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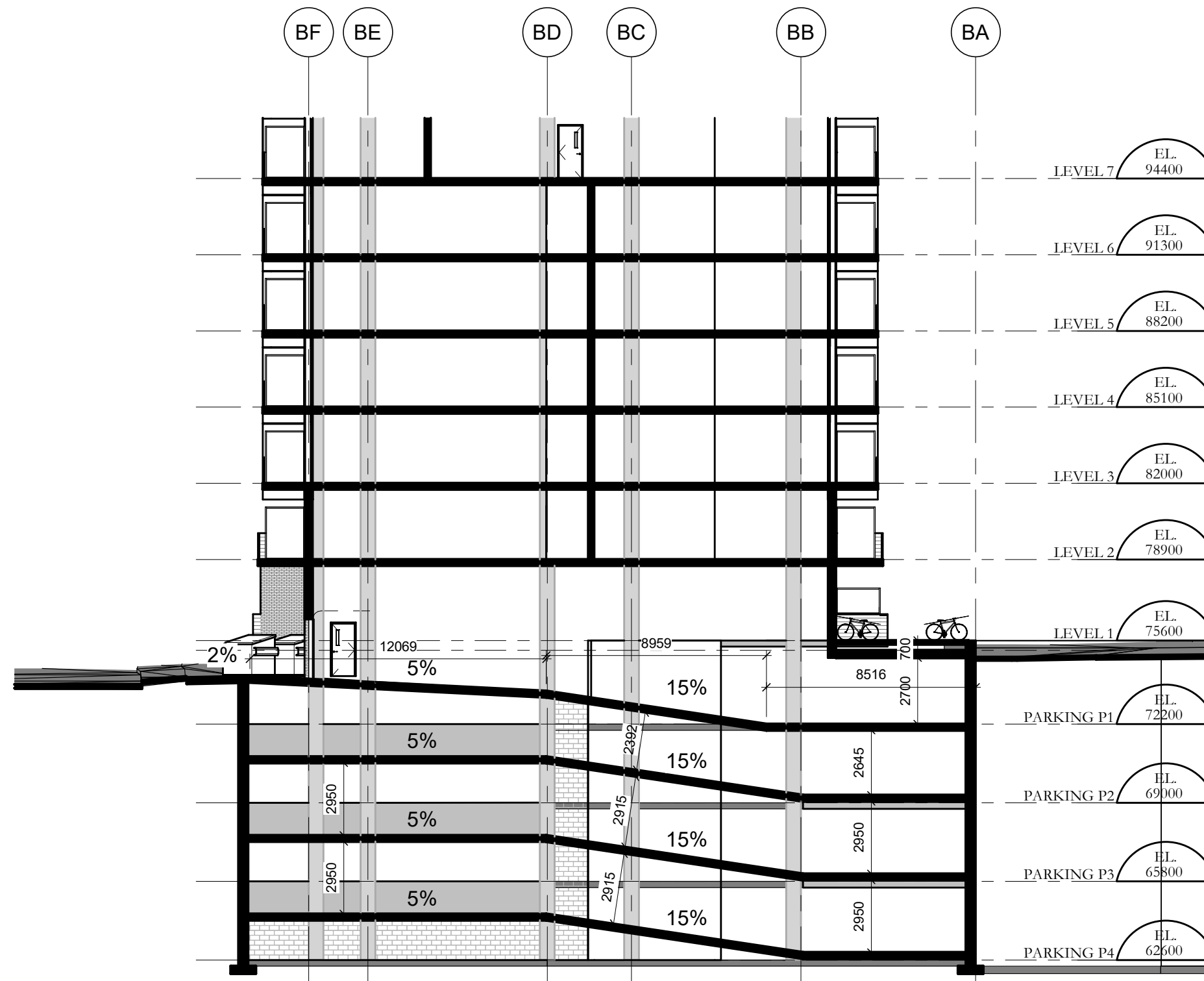
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1 : 300

D07-12-20-0041 1887-2303-19

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| REVISION 05 | 2023-10-18 |
| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |





# TOWER B - RAMP SECTION

GROUP HEAFEY



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 Conçu par : Christian Rheault

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 Gatineau, QC J8Y 1R8  
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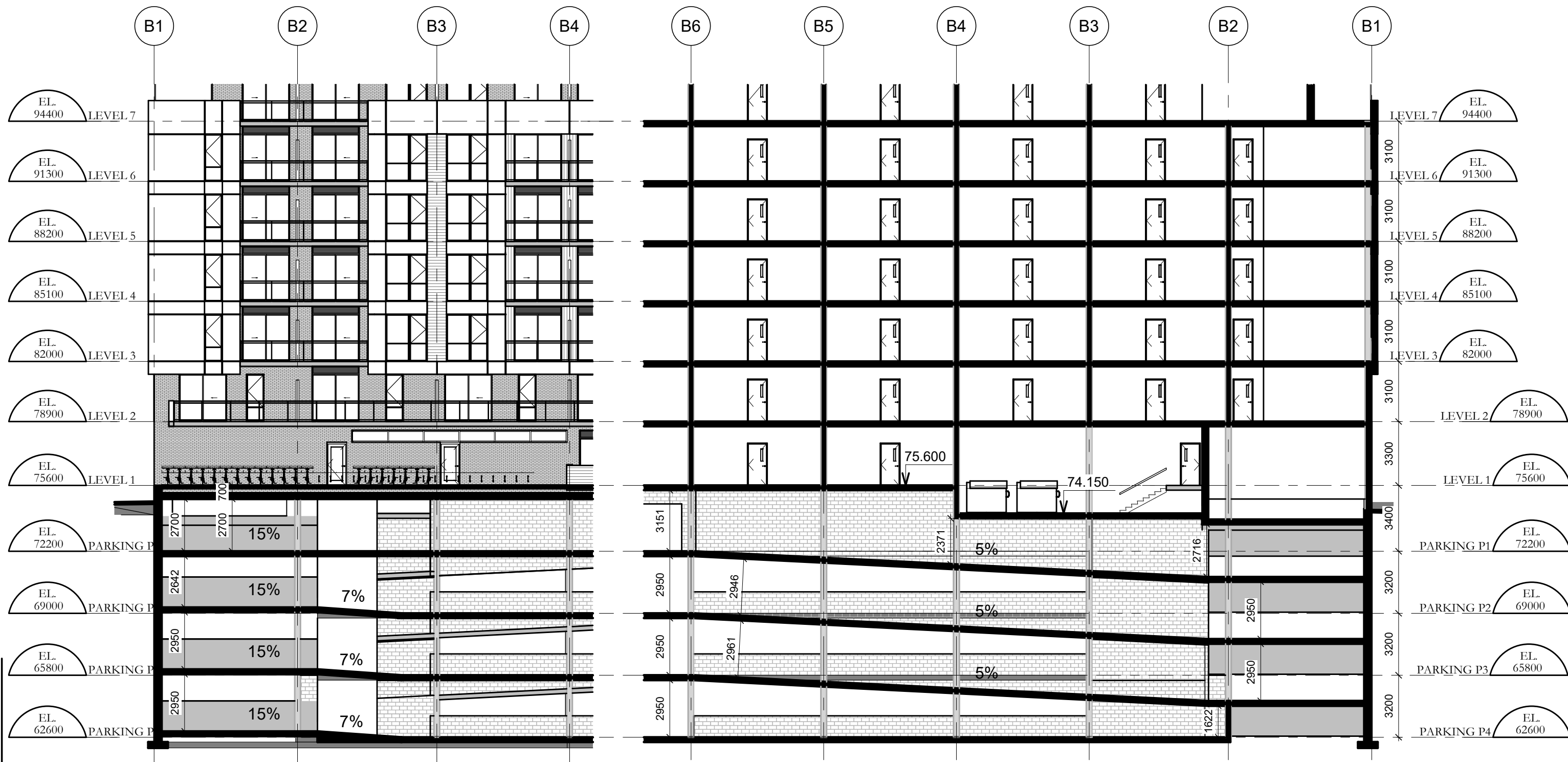


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

D07-12-20-0041 1887-2303-19

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| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



# TOWER B - RAMP SECTIONS

GROUP HEAFEY



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 Conçu par : Christian Rheault

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 Gatineau, QC J8Y 1R8  
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1 : 200

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# SHADOWS STUDY

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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| REVISION 05 | 2023-10-18 |
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| REVISION 07 | 2024-01-18 |



Dessiné par : Tanya Nadeau  
Conçu par : Christian Rheault

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TOWER A & B - AERIAL VIEW FROM FOREST STREET

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

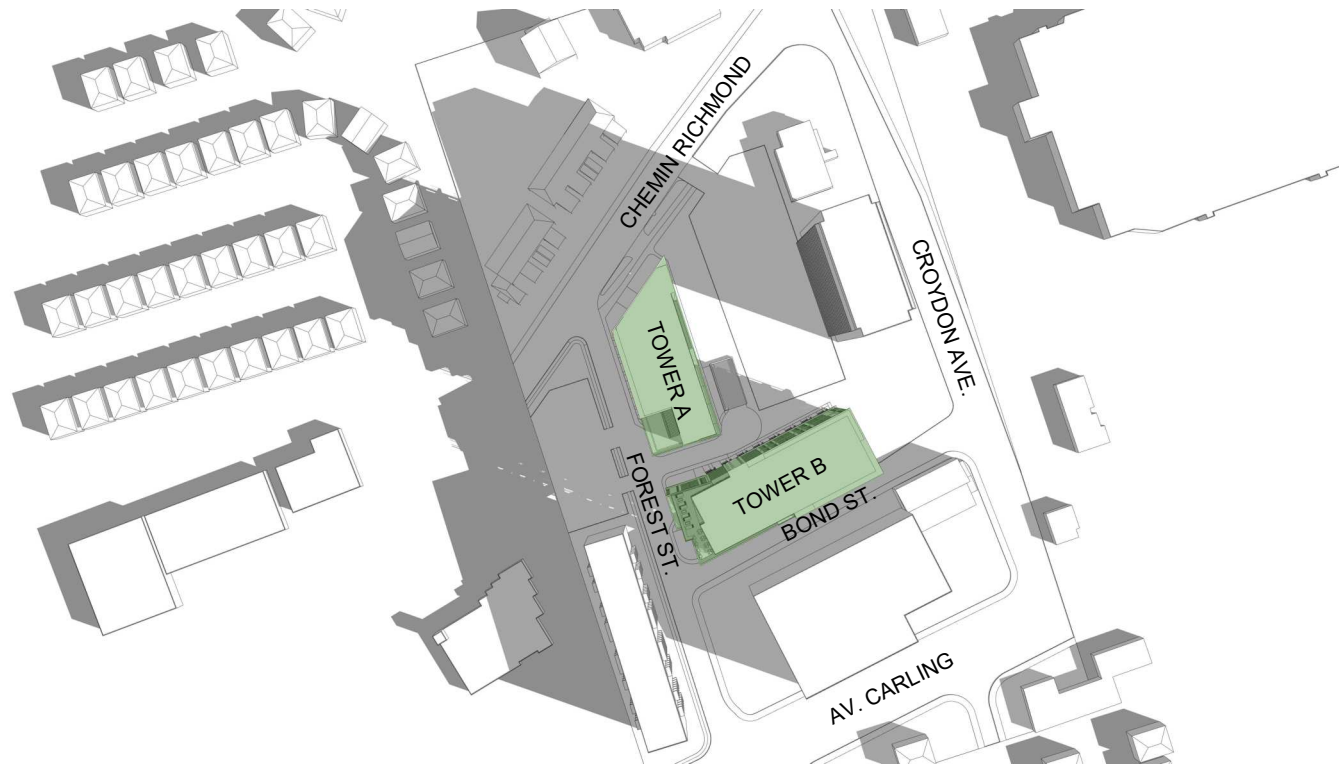


Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

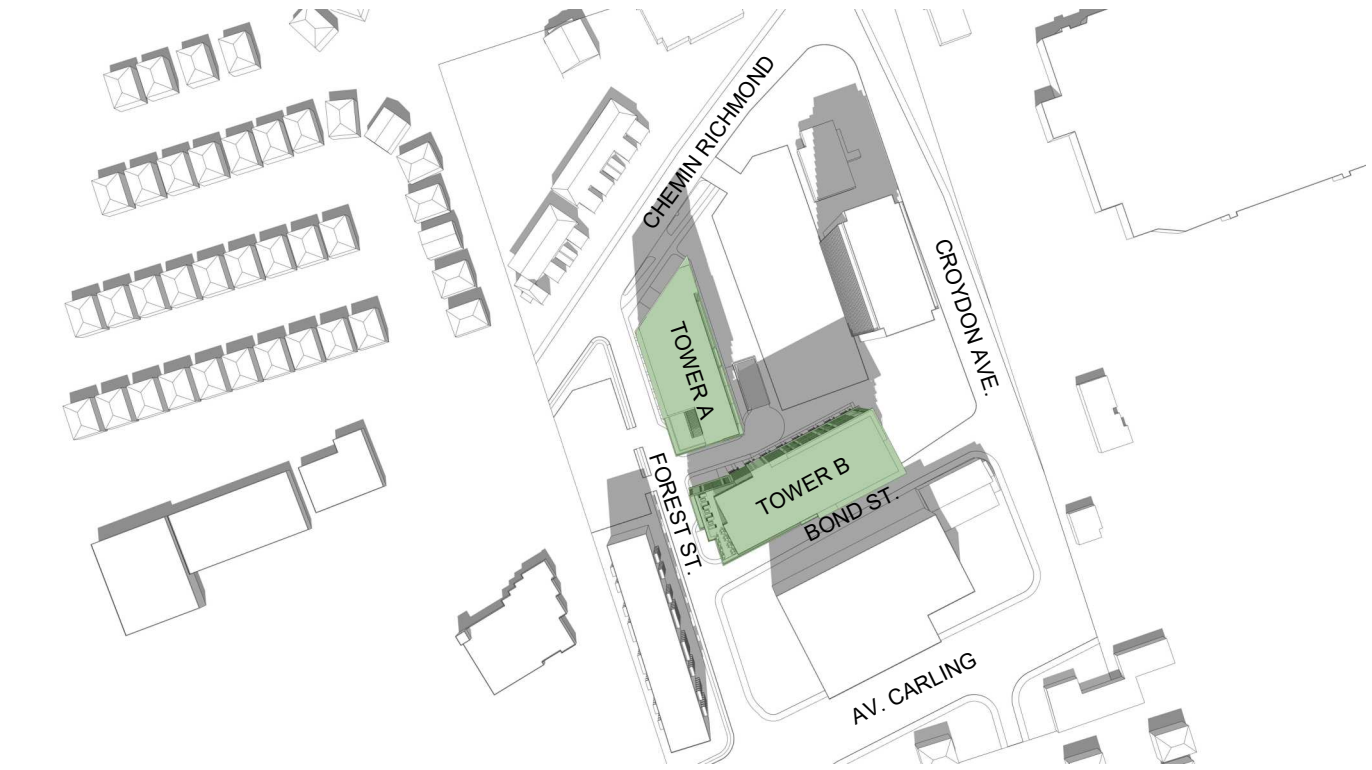
53 blvd Saint-Raymond, Suite 200-A  
 Gatineau, QC J8Y 1R8  
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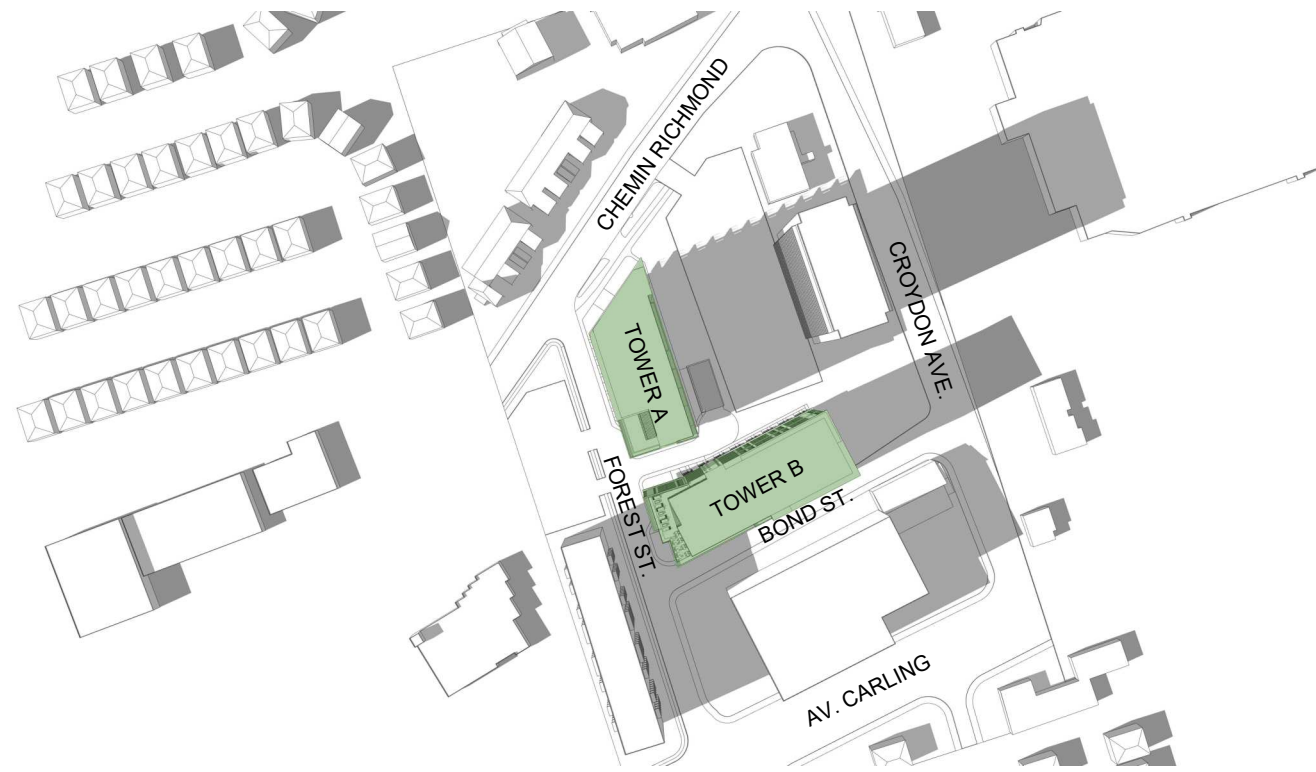
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| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



MARCH 21 AT 8H00



MARCH 21 AT 12H00



MARCH 21 AT 16H00

**SHADOWING STUDY**

**GROUP HEAFEY**

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

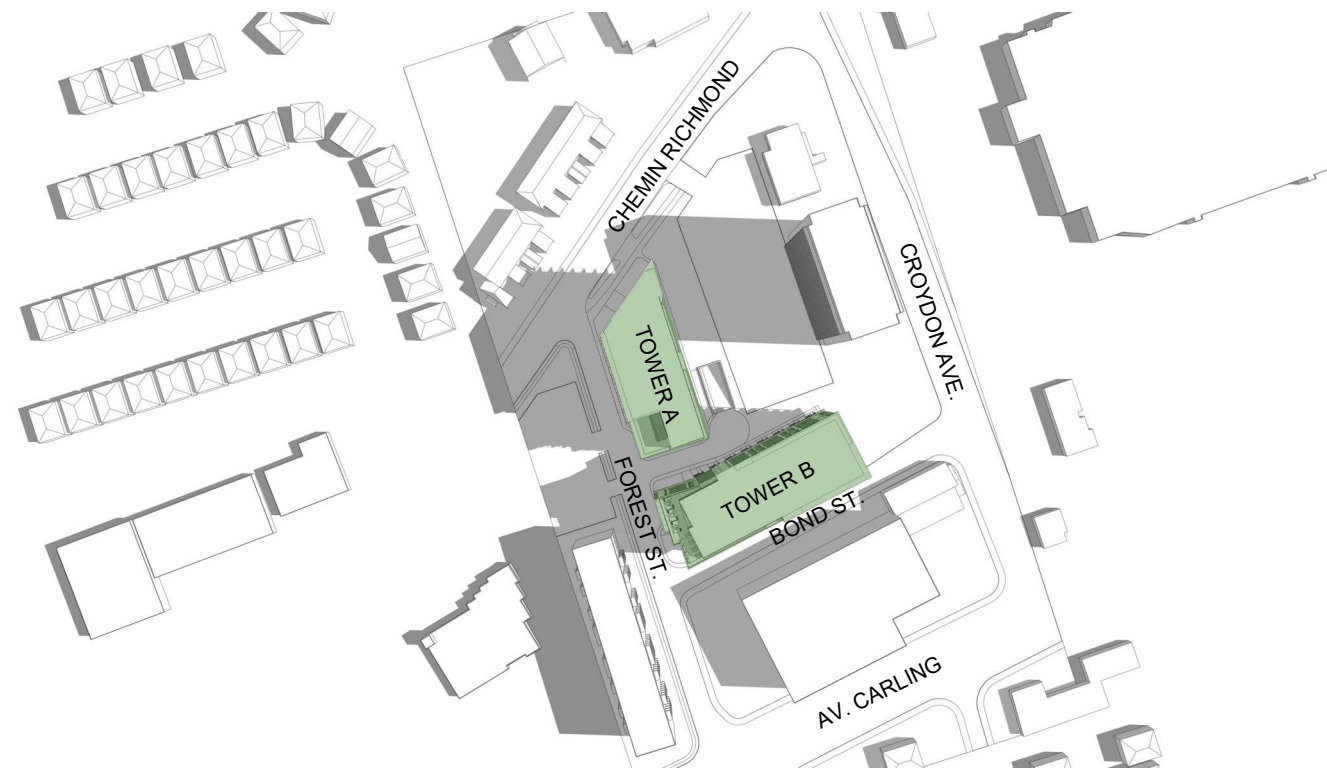


Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

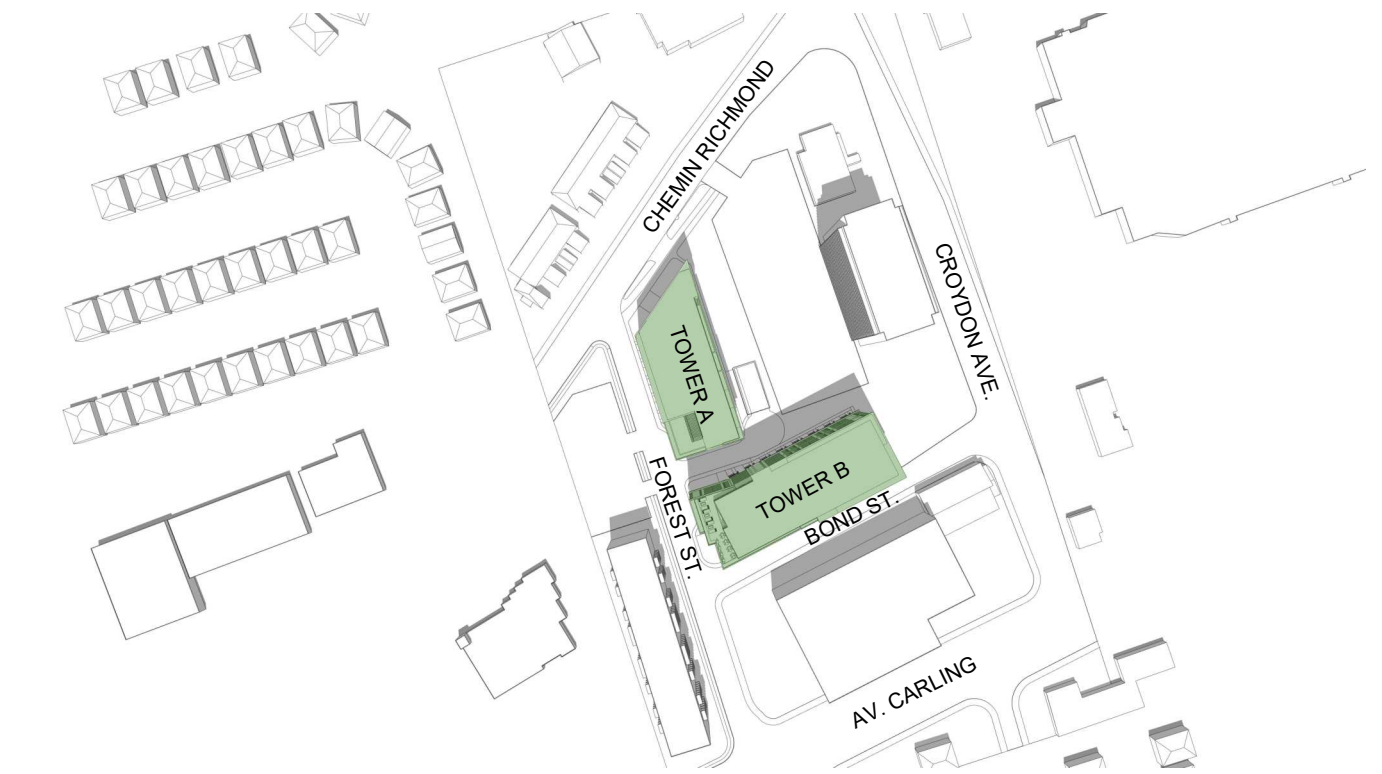
53 blvd Saint-Raymond, Suite 200-A  
 Gatineau, QC J8Y 1R8  
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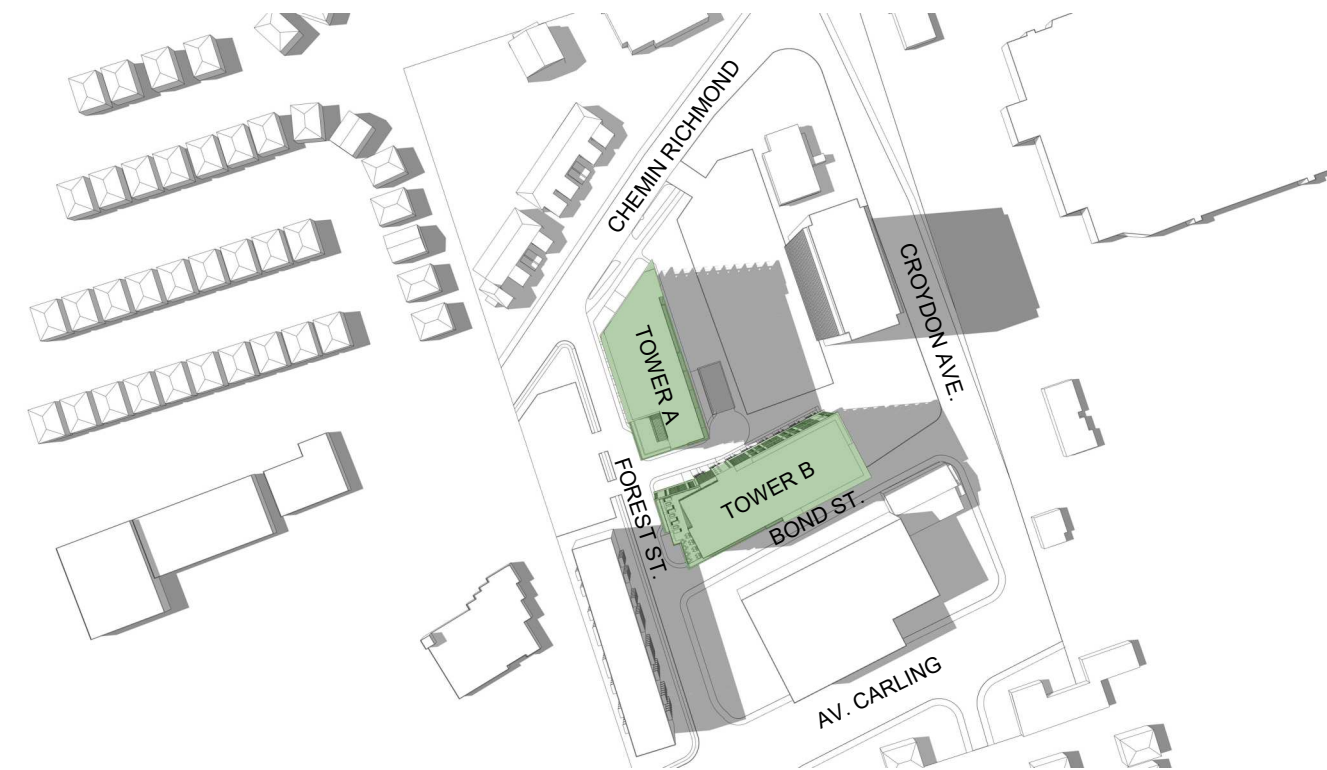
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| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



JUNE 21 AT 8H00



JUNE 21 AT 12H00



JUNE 21 AT 16H00

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

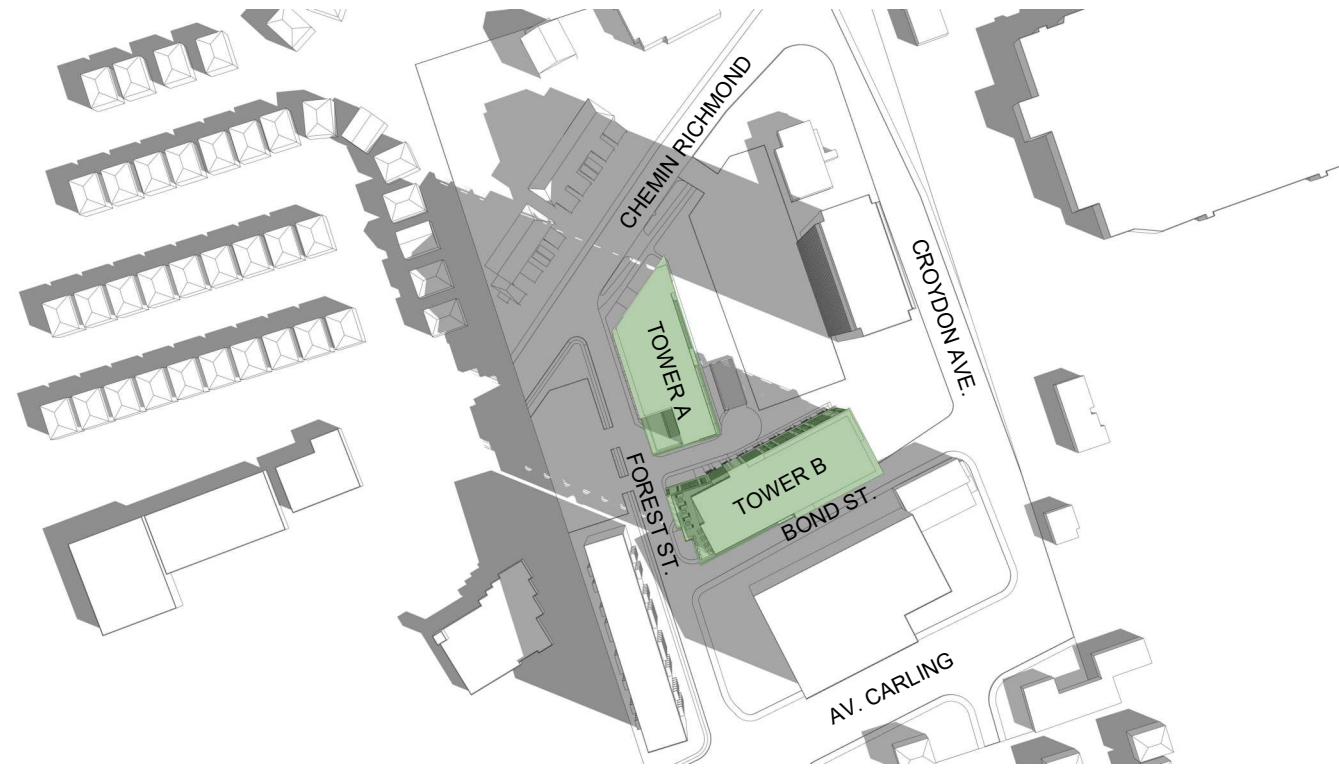


Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

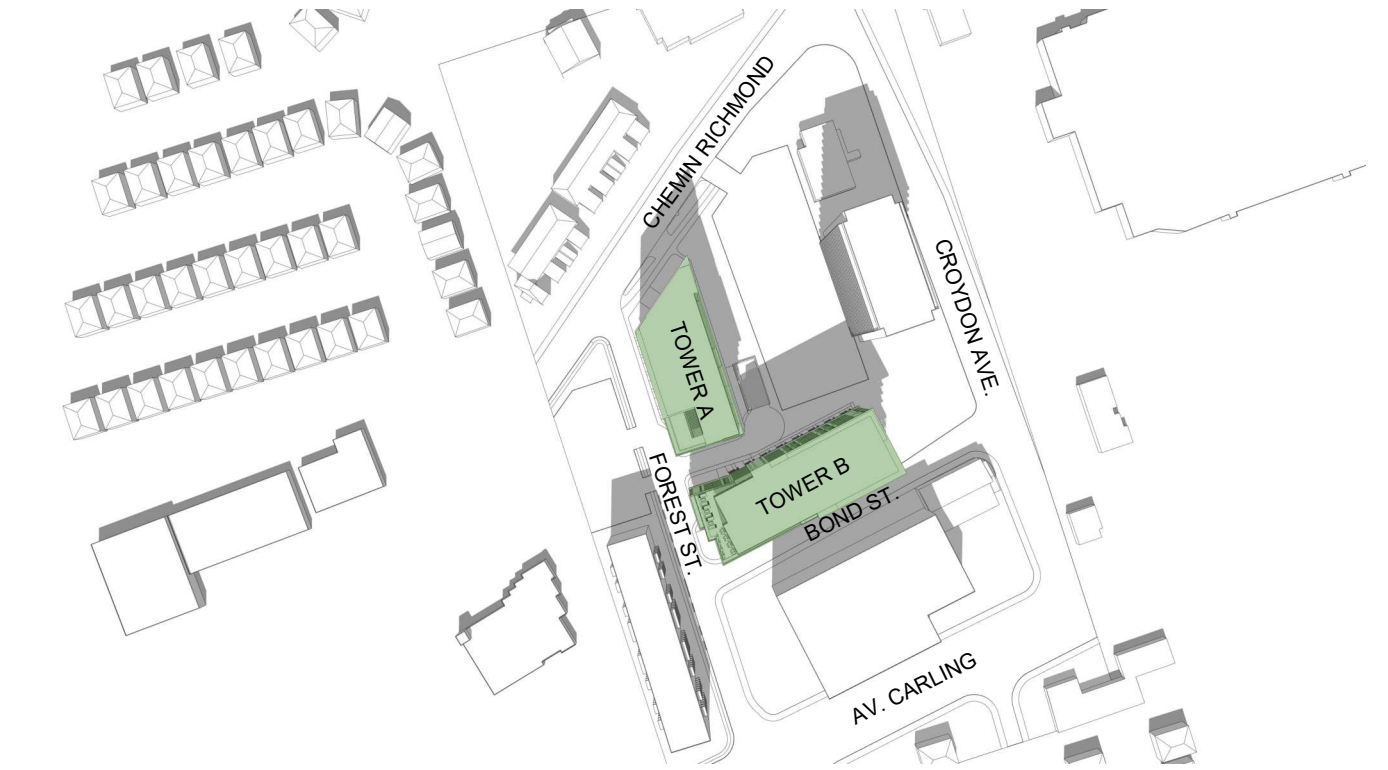
53 blvd Saint-Raymond, Suite 200-A  
 Gatineau, QC J8Y 1R8  
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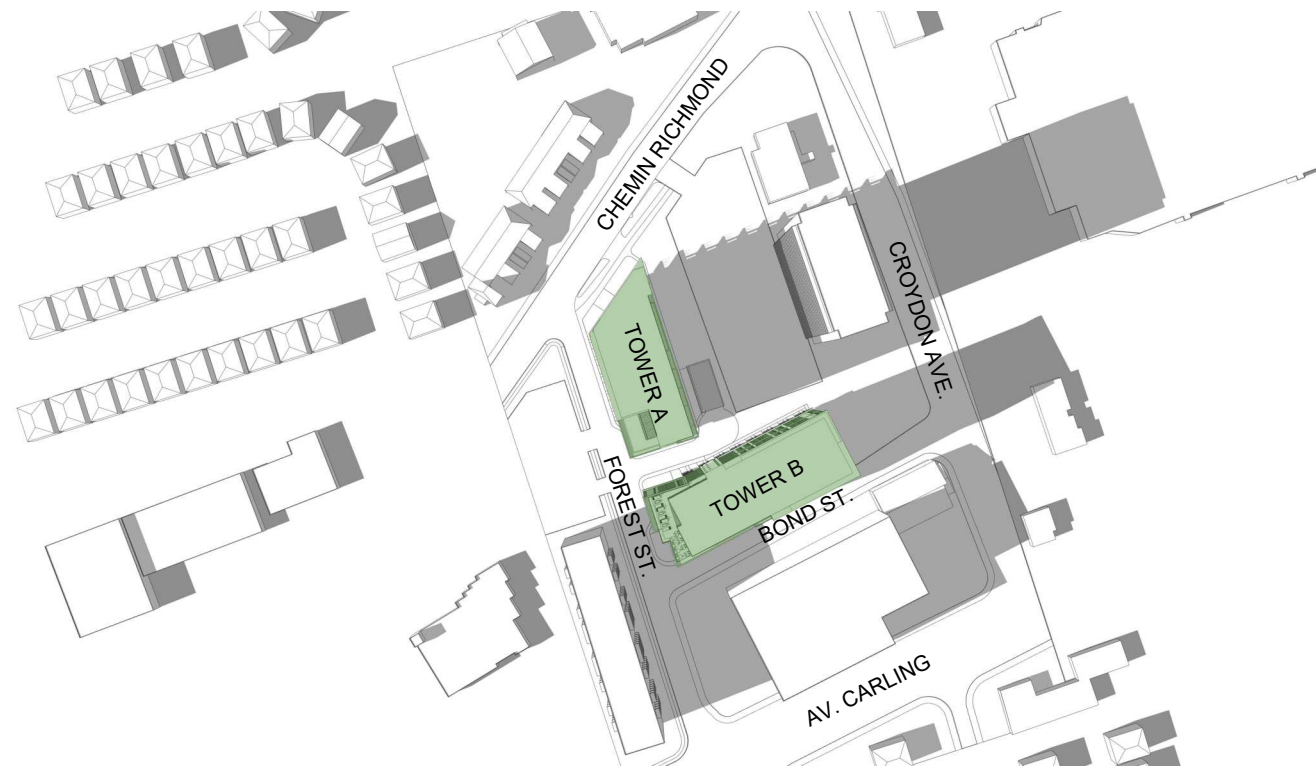
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| REVISION 05 | 2023-10-18 |
| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



SEPTEMBER 21 AT 8H00



SEPTEMBER 21 AT 12H00



SEPTEMBER 21 AT 16H00

**SHADOWING STUDY**

**GROUP HEAFEY**

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

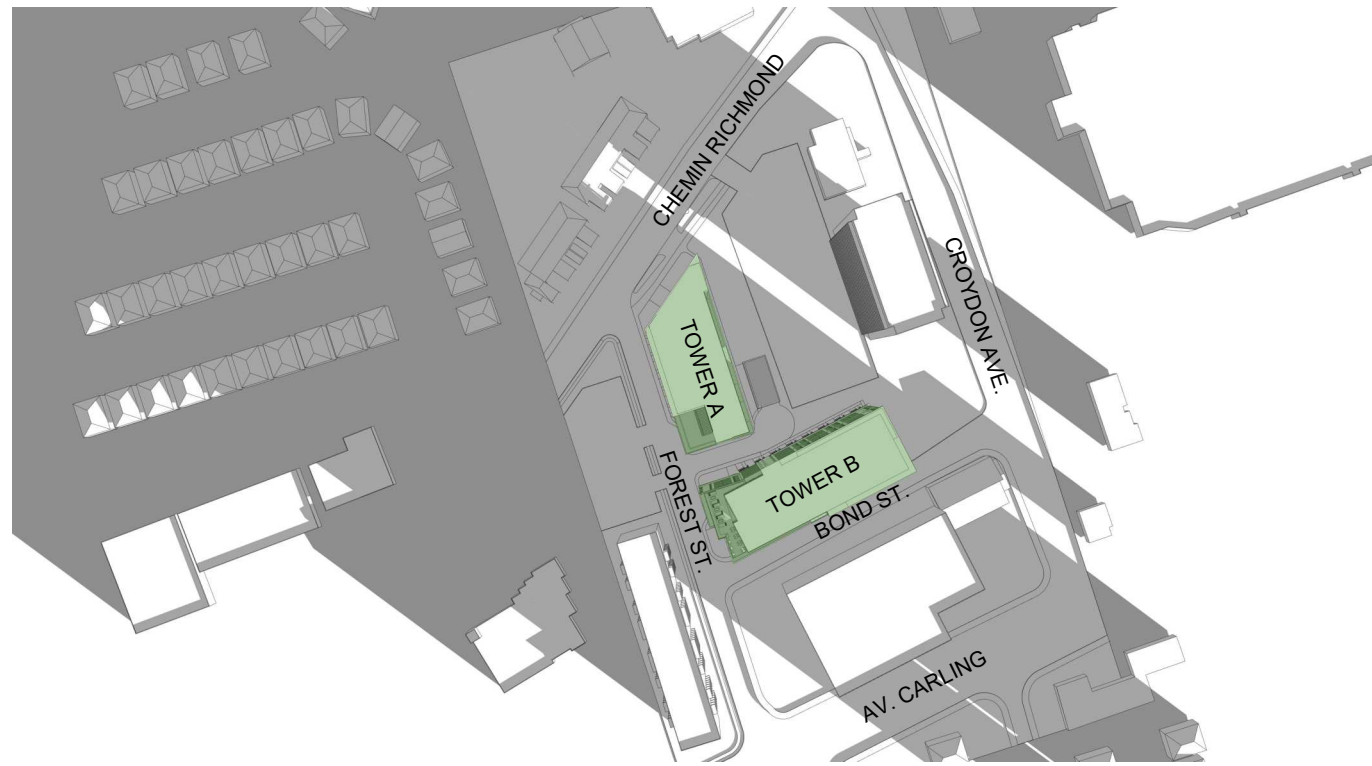


Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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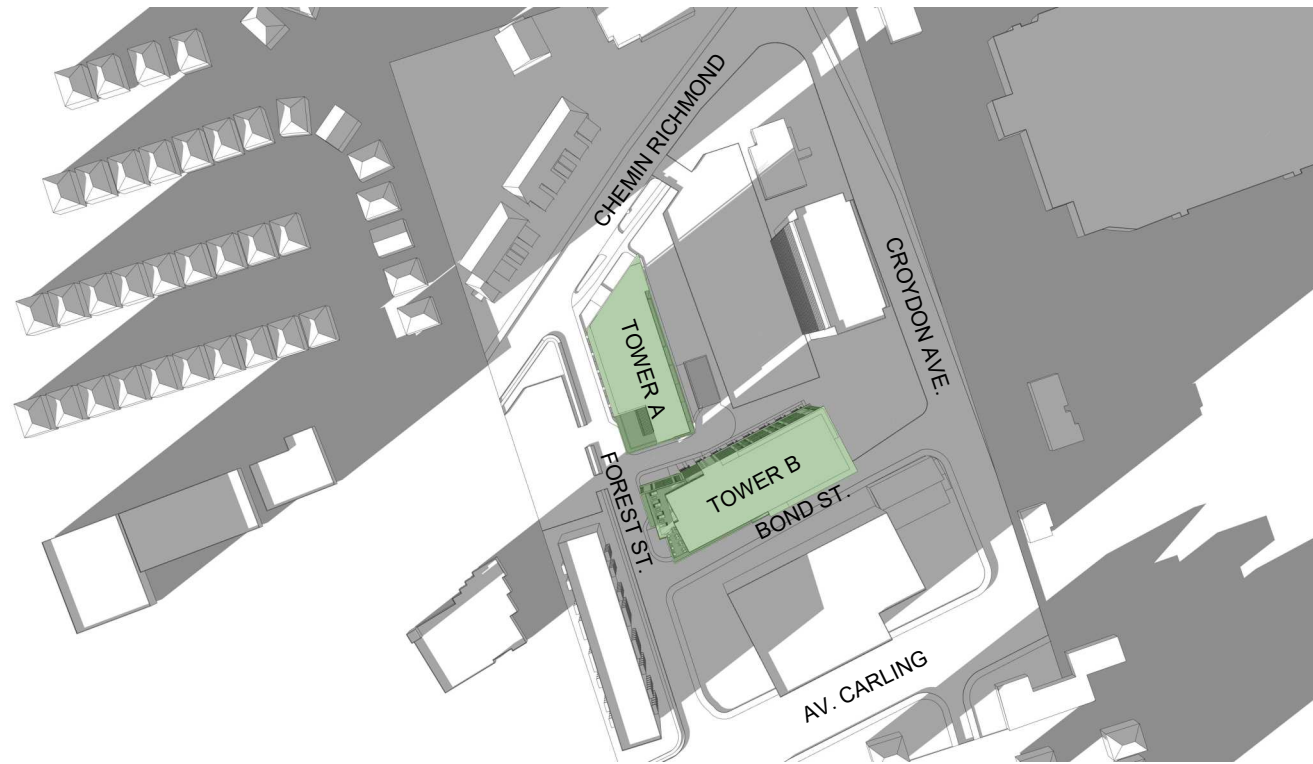
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| REVISION 05 | 2023-10-18 |             |
| REVISION 06 | 2023-12-06 |             |
| REVISION 07 | 2024-01-18 |             |



DECEMBER 21 AT 8H00



DECEMBER 21 AT 12H00



DECEMBER 21 AT 15H00

**SHADOWING STUDY**

**GROUP HEAFEY**



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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# PROJECT RENDERINGS

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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Conçu par : Christian Rheault

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Gatineau, QC J8Y 1R8  
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TOWER A - RICHMOND ROAD ELEVATION

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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 Conçu par : Christian Rheault

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| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



TOWER A & B - VIEW FROM RICHMOND ROAD

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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TOWER A & B - EAST SIDE VIEW

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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TOWER B - VIEW FROM BOND STREET (PARKING ENTRANCE)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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TOWER B - VIEW FROM FOREST AND BOND STREET

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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| REVISION 05 | 2023-10-18 |
| REVISION 06 | 2023-12-06 |
| REVISION 07 | 2024-01-18 |



TOWER A & B - LOBBY ENTRANCE FROM FOREST STREET

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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| REVISION 06 | 2023-12-06 |             |
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TOWER A - VIEW FROM FOREST STREET LOBBY ENTRANCE



TOWER B - VIEW FROM DROP OFF ZONE

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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 Conçu par : Christian Rheault

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| REVISION 06 | 2023-12-06 |             |
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TOWER A - VIEW FROM RICHMOND MAIN ENTRANCE

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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 Gatineau, QC J8Y 1R8  
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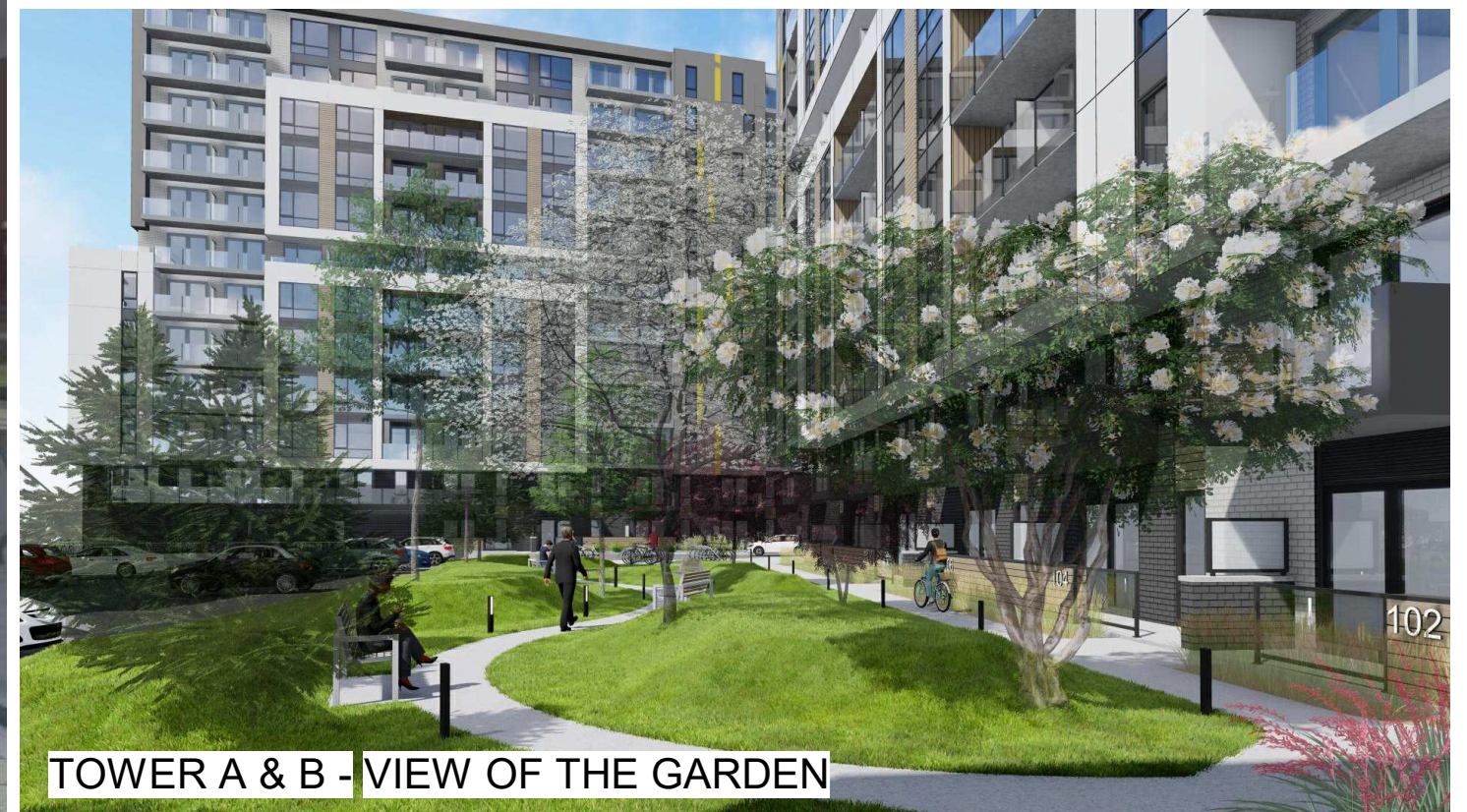
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TOWER A - VIEW OF THE COVERED EXTERIOR SPACE



TOWER A - COMMERCIAL VIEW FROM RICHMOND ROAD



TOWER A & B - VIEW OF THE GARDEN

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



TOWER A & B - VIEW FROM RICHMOND ROAD AND FOREST STREET (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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 Conçu par : Christian Rheault

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**GROUP HEAFEY**

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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TOWER A - VIEW FROM RICHMOND MAIN ENTRANCE (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

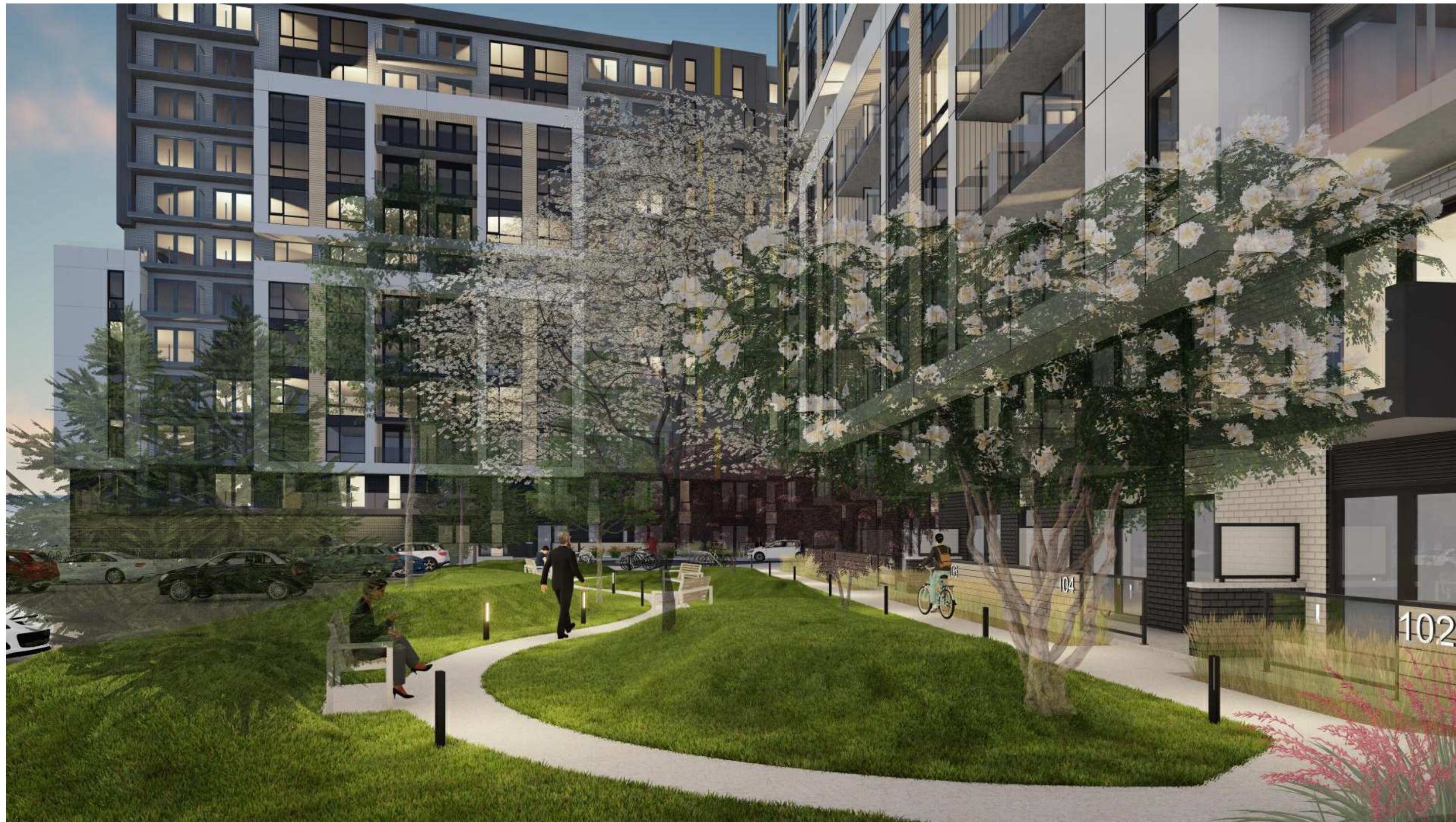


Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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TOWER A & B - VIEW OF THE GARDEN (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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 Conçu par : Christian Rheault

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TOWER A - COMMERCIAL VIEW FROM RICHMOND ROAD (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau  
 Conçu par : Christian Rheault

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