

BUILDING INFORMATION						
Building Footprint:	943 square metres					
Tower Floorplate:	710 and 592 square metres					
Building GFA:	10 025,7 square metres					
Percentage of Site Landscaping	35%					
Proposed Use:	High-Rise Apartment					
Unit Breakdown	2nd to 3rd Floor	11 UNITS	2-STUDIO	5-1BED	4-2BED	0-3BED
	4th	10 UNITS	2-STUDIO	4-1BED	2-2BED	2-3BED
	5th	9 UNITS	0-STUDIO	7-1BED	2-2BED	0-3BED
	6th to 9th Floor	9 UNITS	0-STUDIO	7-1BED	2-2BED	0-3BED
	10th Floor	7 UNITS	0-STUDIO	5-1BED	2-2BED	0-3BED
	11th to 17th Floor	7 UNITS	0-STUDIO	5-1BED	2-2BED	0-3BED
	18th	4 UNITS	0-STUDIO	2-1BED	0-2BED	2-3BED
	Total:	137	6	91	36	4

Underground							
Building Area and Parking Space Summary							
	Gross Building Area m2		Parking Spaces Proposed			Bike Parking Required (By By-Law)	Bike Parking Provided
			Standard	Barrier Free	Total		
P1	1254.33	13489.76	10	3	13	50% of # of Dwelling Units	0
P2	1260.79	13571.02	19	4	23		19
P3	1381.03	14865.27	31	0	31		34
P4	1381.03	14865.27	31	0	31		34
P5	1381.03	14865.27	31	0	31		34
TOTAL	6658.21	71656.58	122	7	129	0	121

1 SITE PLAN
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SITE PLAN

9355-19-00

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NOT FOR CONSTRUCTION