

19 A010-site dwg IMPRIMÉ I E: 2025-02-0

rling						
ring lock A, Registered Plan 4M-98						
r: Annis, O'Sullivan, Vollebekk Ltd.						
ourse Gate, Suite 500						
ON, K2	2E 7S6					
-0850						
Survey u	ipdated Janua	iry 23, 2020				
uare me	etres					
(Carling	1)					
are metr	es					
	uare metres					
square	metres					
e Aparti	ment					
d Floor	11 UNITS	2-STUDIO	5-1BED	4-2BED	0-3BED	
	10 UNITS	2-STUDIO	4-1BED	2-2BED	2-3BED	
	9 UNITS	0-STUDIO	7-1BED	2-2BED	0-3BED	
n Floor	9 UNITS	0-STUDIO	7-1BED	2-2BED	0-3BED	
or 7th Floo	7 UNITS	0-STUDIO	5-1BED	2-2BED	0-3BED	
<i>i</i> ui FI00	7 01110	0-STUDIO	5-1BED	2-2BED	0-3BED	
	4 UNITS 137	0-STUDIO 6	2-1BED 91	0-2BED 36	2-3BED 4	
	107	U	91		1 4	
/a zon	ING BY-LAW	2008-250				
d			Provided			
ı: 0 m			3 m (front)			
			2 m (corner	side)		
50% of front and corner side lot be occupied by building within 4.5			Front (from Protected Right of Way Line): 42%			
			Corner: 76%			
50% of (ground floor fa	açade (up to				
			Corner: 56%			
			2.5 m			
	of street, 7.5					
-loor: 4.	5 m (total 7.5	m and 2	68.6 m			
na oook	of front and -	ornor oldo	68.6 m 1 (front)			
ng each of front and corner side			1 (corner side)			
m2 per ı	unit [137 x 6 =	822]	Total: 1704 m2			
nal: min. 50% required area: 396			Communal: 1 047 m2			
	ea of 54 m2					
ial: 0.5 per unit after first 12 units $x = 541$			Residential: 118 Visitor: 11			
x 0.5 = 54] .1/unit after the first 12 units =			Total: 129			
x 0.1 = ^	-					
	0 <u>% below-gra</u> unit [120 x 0.5		121			
ouble traffic lane)			MINIMUM 6			
,			MAXIMUM:	6.1 m		
			I			

e Summary							
Building Area m2		Parking Spaces Proposed			Bike	Bike Parking	
		Standard	Barrier Free	Total	Parking Required	Provided	
4,33	13489,76	10	3	13	50% of # of Dwelling Units	0	
),79	13571,02	19	4	23		19	
1,03	14865,27	31	0	31		34	
1,03	14865,27	31	0	31		34	
1,03	14865,27	31	0	31		34	
8,21	71656,58	122	7	129	0	121	

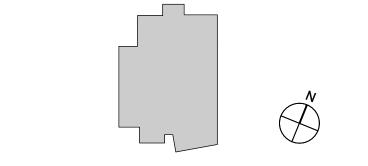
	Required		
2 =720m2	Total	1704	
a is communal	Communa	1 047	

ARCHITECTS: EVOQ

44 BYWARD MARKET SQUARE, SUITE 210 OTTAWA (ONTARIO) K1N 7A2 T. 613-518-2165 info@evoqarchitecture.com

ENGINEERS:

CLIENT: CLARIDGE 210 Gladstone Avenue, Suite 2001 Ottawa, Ontario K2P OY6 Tel : (613) 233 6030 Fax : (613) 233 8290 KEY PLAN:



6	ISSUED FOR COORDINATION	NG	2024-08-29
5	ISSUED FOR COORDINATION	NG	2021-10-06
4	ISSUED FOR CLIENT REVIEW	JG	2021-04-20
3	ISSUED FOR COORDINATION	JG	2020-12-24
2	ISSUED FOR COORDINATION	JG	2020-11-30
1	ISSUED FOR COORDINATION	JG	2020-07-07
0	ISSUED FOR SITE PLAN APPLICATION	JG	2020-04-16
Nº:	DESCRIPTION:	BY	DATE

THE GENERAL CONTRACTOR :

SEAL

 SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
SHALL BE RESPONSIBLE TO IMMEDIATELY SUBMIT A REPORT TO THE ARCHITECT OR ENGINEER OUTLINING ANY INACCURACIES.

3. SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS. ANY INDIVIDUAL OR FIRM THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, MAY BE USED FOR CONSTRUCTION.

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PROJECT: 1995 CARLING AVE.

DRAWING TIT				-004
DESIGN:	NG	APPROVED:	XX	2-20
DRAWN:	MSTP	DATE:	2020-11-30	
VERIFIED:	ХХ	SCALE:	1:150	
PROJECT N°:	9355-19-0	DRAWING N°:	A-010	

NOT FOR CONSTRUCTION