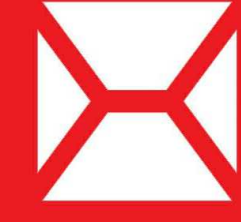




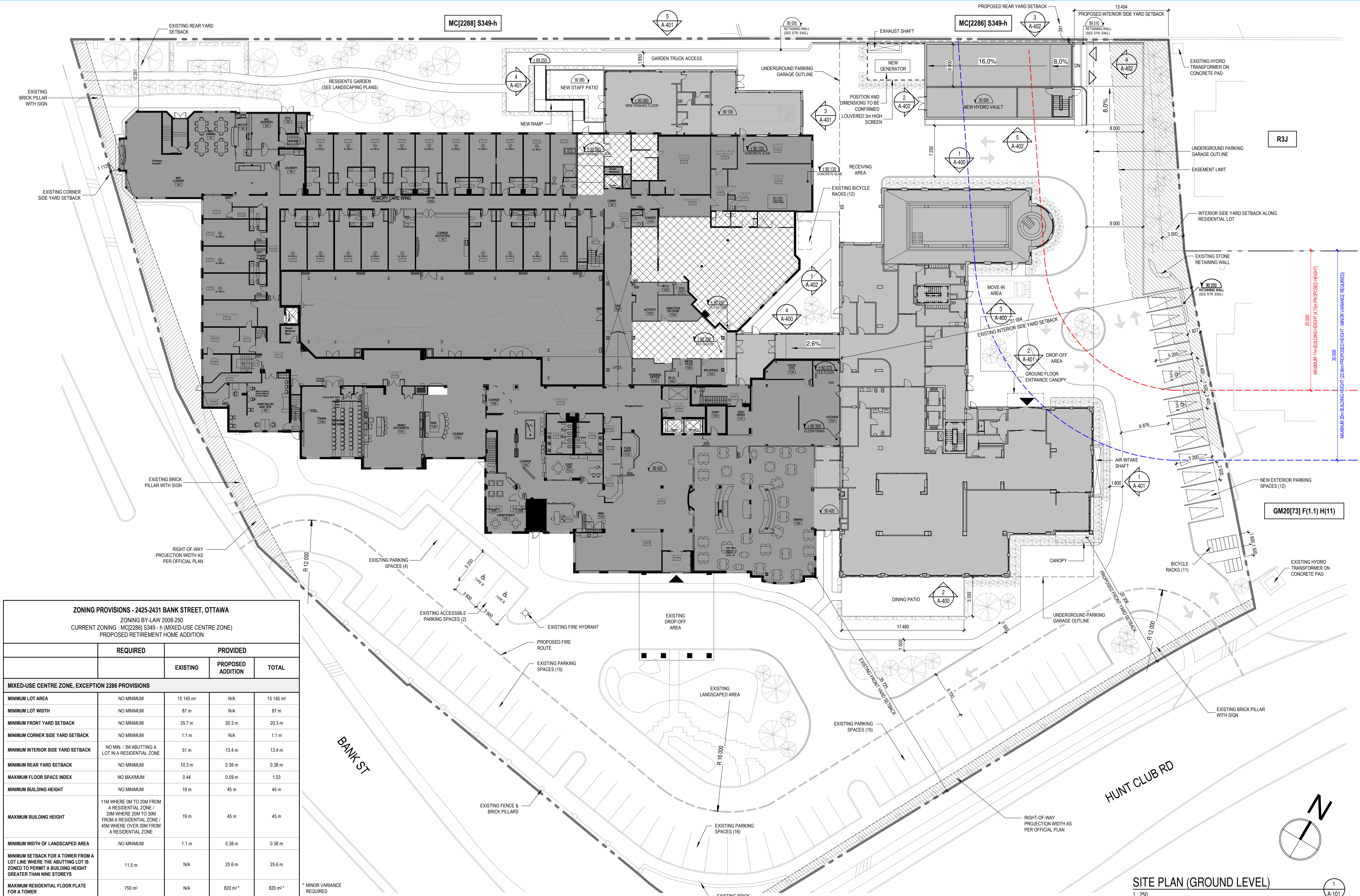
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ARCHITECT(E)S

PAGE	DRAWING INDEX	REV.	REVISION DESCRIPTION	DATE
A-000	COVER PAGE	F	SITE PLAN CONTROL	20/04/28
A-101	SITE PLAN (GROUND LEVEL)	F	SITE PLAN CONTROL	20/04/28
A-102	SITE PLAN (ROOF LEVEL)	F	SITE PLAN CONTROL	20/04/28
A-200	GARAGE LEVEL 1 & 2	F	SITE PLAN CONTROL	20/04/28
A-400	ELEVATIONS	F	SITE PLAN CONTROL	20/04/28
A-401	ELEVATIONS	F	SITE PLAN CONTROL	20/04/28
A-402	ELEVATIONS	F	SITE PLAN CONTROL	20/04/28
A-900	SHADOW ANALYSIS	F	SITE PLAN CONTROL	20/04/28



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ZONING PROVISIONS - 2425-2431 BANK STREET, OTTAWA
 ZONING BY-LAW 2008-250
 CURRENT ZONING : MC(Z286) S349 - h (MIXED-USE CENTRE ZONE)
 PROPOSED RETIREMENT HOME ADDITION

	REQUIRED	PROVIDED		TOTAL
		EXISTING	PROPOSED ADDITION	
MIXED-USE CENTRE ZONE, EXCEPTION 2286 PROVISIONS				
MINIMUM LOT AREA	NO MINIMUM	15 145 m ²	N/A	15 145 m ²
MINIMUM LOT WIDTH	NO MINIMUM	87 m	N/A	87 m
MINIMUM FRONT YARD SETBACK	NO MINIMUM	35.7 m	20.3 m	20.3 m
MINIMUM CORNER SIDE YARD SETBACK	NO MINIMUM	1.1 m	N/A	1.1 m
MINIMUM INTERIOR SIDE YARD SETBACK	NO MIN. / 3M ABUTTING A LOT IN A RESIDENTIAL ZONE	51 m	13.4 m	13.4 m
MINIMUM REAR YARD SETBACK	NO MINIMUM	10.3 m	0.38 m	0.38 m
MAXIMUM FLOOR SPACE INDEX	NO MAXIMUM	0.44	0.59 m	1.03
MINIMUM BUILDING HEIGHT	NO MINIMUM	19 m	45 m	45 m
MAXIMUM BUILDING HEIGHT	11M WHERE 0M TO 20M FROM A RESIDENTIAL ZONE / 20M WHERE 20M TO 30M FROM A RESIDENTIAL ZONE / 45M WHERE OVER 30M FROM A RESIDENTIAL ZONE	19 m	45 m	45 m
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM	1.1 m	0.38 m	0.38 m
MINIMUM SETBACK FOR A TOWER FROM A LOT LINE WHERE THE ABUTTING LOT IS ZONED TO PERMIT A BUILDING HEIGHT GREATER THAN NINE STOREYS	11.5 m	N/A	25.6 m	25.6 m
MAXIMUM RESIDENTIAL FLOOR PLATE FOR A TOWER	750 m ²	N/A	820 m ² *	820 m ² *
PARKING PROVISIONS (AREA Z)				
MINIMUM PARKING SPACES	NO MINIMUM	52	145	197
MINIMUM ACCESSIBLE PARKING SPACES	AT GRADE : 1 TYPE A & 2 TYPE B BELOW GRADE : 2 TYPE A & 3 TYPE B	AT GRADE : 2 TYPE B	AT GRADE : 1 TYPE A & 1 TYPE B BELOW GRADE : 2 TYPE A & 3 TYPE B	
MINIMUM BICYCLE PARKING SPACES	0.25 PER DWELLING OR ROOMING UNIT = 67	12	55	67
AMENITY AREA PROVISIONS				
TOTAL AMENITY AREA	6 m ² PER DWELLING UNIT AND 10% OF THE GFA OF EACH ROOMING UNIT = 1 515 m ²	2 524 m ²	2 914 m ²	5 438 m ²
COMMUNAL AMENITY AREA	50% OF REQUIRED TOTAL AMENITY AREA = 758 m ²	2 524 m ²	1 775 m ²	4 299 m ²

* MINOR VARIANCE REQUIRED

LEGEND

- PROPERTY LINE
- SET BACK LINE
- EXISTING BUILDING
- NEW CONSTRUCTION
- EXISTING BUILDING RENOVATIONS
- MAIN ENTRANCE
- VEHICULAR ENTRANCE
- PEDESTRIAN CROSSING

AREA SUMMARY

LOT AREA: 15 145 m²
 LOT COVERAGE: 6 176 m² (40.8%)
 EXISTING BUILDING GFA*: 6 710 m²
 NEW CONSTRUCTION GFA*: 8 860 m²
 PERCENTAGE OF LANDSCAPED AREA WITHIN PARKING LOTS: 24%
 TOTAL LANDSCAPED AREA: 27%

*AS DEFINED BY ZONING BY-LAW 2008-250

RESIDENTIAL UNITS SUMMARY

EXISTING BUILDING: 124 ROOMING UNITS
 NEW CONSTRUCTION: 144 DWELLING UNITS

GROUND FLOOR: 0 UNITS
 2ND TO 7TH FLOOR: (6x14) = 84 UNITS
 8TH TO 11TH FLOOR: (4x10) = 40 UNITS
 12TH TO 13TH FLOOR: (2x7) = 14 UNITS
 14TH FLOOR: 6 UNITS

TOTAL EXISTING + NEW: 268 UNITS

PARKING SUMMARY

VEHICULAR PARKING PROVIDED: 197*
 (133 INDOOR SPACES + 64 OUTDOOR SPACES)

*INCLUDES 9 ACCESSIBLE SPACES

BICYCLE PARKING

GARAGE LEVEL 2 (NEW): 44
 GARAGE LEVEL 1 (NEW): 0
 GRADE LEVEL (EXISTING): 12
 GRADE LEVEL (NEW): 11

TOTAL BICYCLE PARKING PROVIDED: 67
 (44 INDOOR SPACES + 23 OUTDOOR SPACES)

SITE PLAN (GROUND LEVEL)
 1:250

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CLIENT / Client
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OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS
 EMPLACEMENT / Location: 2425-2431 Bank Street, Ottawa
 NO PROJET No.: 12165

NO RÉVISION DATE (aa-mm-jj)
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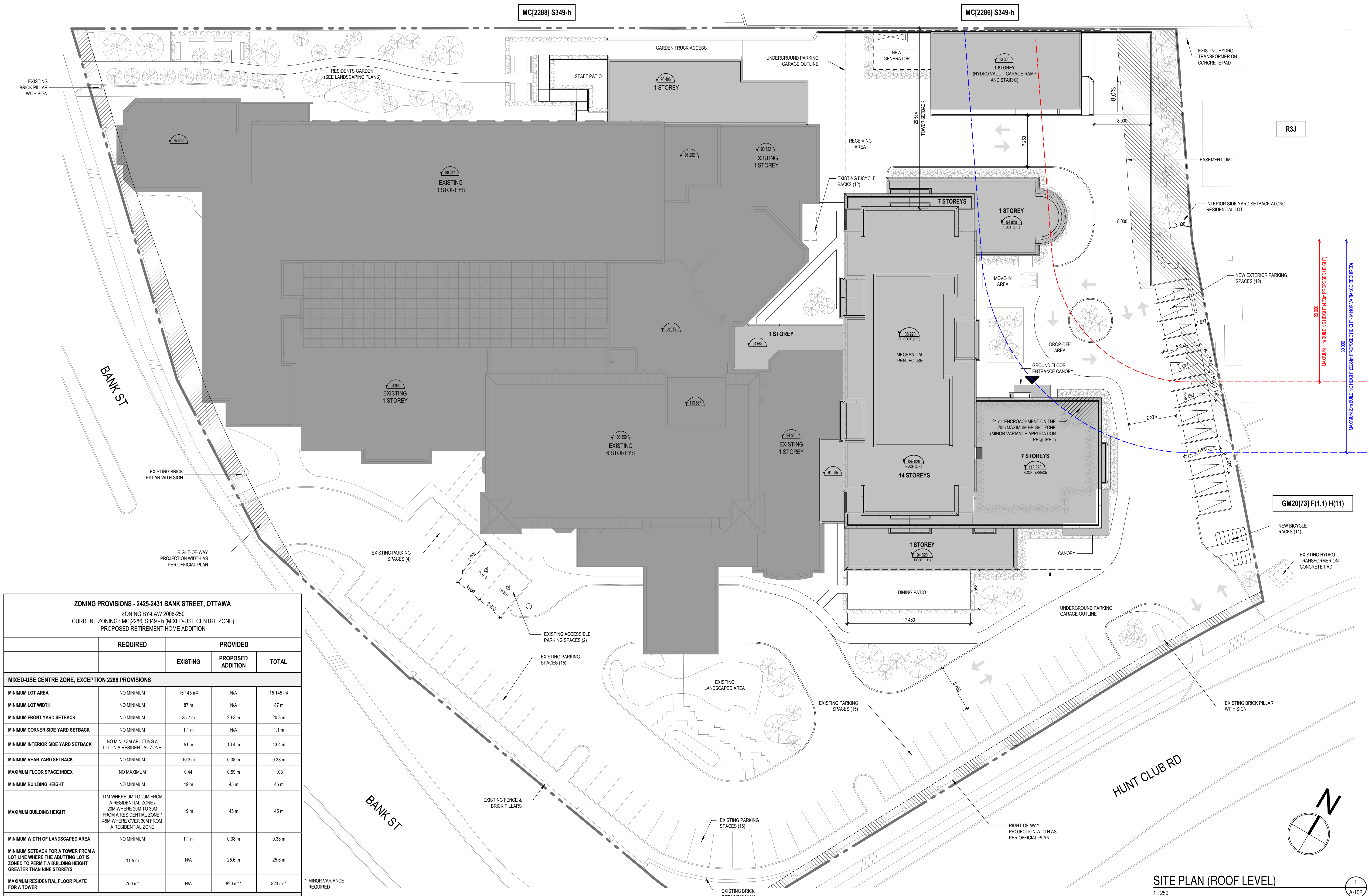
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VERIFIÉ PAR Checked by: HG
 ÉCHELLE Scale: Comme indiqué

SITE PLAN (GROUND LEVEL)

RÉVISION Revision: F
 NO. DESSIN Dwg Number: A-101

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ZONING PROVISIONS - 2425-2431 BANK STREET, OTTAWA
 ZONING BY-LAW 2008-250
 CURRENT ZONING : MC(2286) S349 - h (MIXED-USE CENTRE ZONE)
 PROPOSED RETIREMENT HOME ADDITION

	REQUIRED		PROVIDED	
		EXISTING	PROPOSED ADDITION	TOTAL
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COMMUNAL AMENITY AREA	50% OF REQUIRED TOTAL AMENITY AREA = 758 m ²	2 524 m ²	1 775 m ²	4 299 m ²

* MINOR VARIANCE REQUIRED

LEGEND

	PROPERTY LINE		EXISTING BUILDING
	SET BACK LINE		NEW CONSTRUCTION
	MAIN ENTRANCE		EXISTING BUILDING RENOVATIONS
	VEHICULAR ENTRANCE		
	PEDESTRIAN CROSSING		

AREA SUMMARY

LOT AREA :	15 145 m ²
LOT COVERAGE :	6 176 m ² (40.8%)
EXISTING BUILDING GFA* :	6 710 m ²
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*AS DEFINED BY ZONING BY-LAW 2008-250

RESIDENTIAL UNITS SUMMARY

EXISTING BUILDING :	124 ROOMING UNITS
NEW CONSTRUCTION :	144 DWELLING UNITS
GROUND FLOOR :	0 UNITS
2 ND TO 7 TH FLOOR :	(6x14) = 84 UNITS
8 TH TO 11 TH FLOOR :	(4x10) = 40 UNITS
12 TH TO 13 TH FLOOR :	(2x7) = 14 UNITS
14 TH FLOOR :	6 UNITS
TOTAL EXISTING + NEW :	268 UNITS

PARKING SUMMARY

VEHICULAR PARKING		BICYCLE PARKING	
GARAGE LEVEL 2 (NEW) :	72	GARAGE LEVEL 2 (NEW) :	44
GARAGE LEVEL 1 (NEW) :	61 (INCL. 5 ACCESSIBLE SPACES)	GARAGE LEVEL 1 (NEW) :	0
GRADE LEVEL (EXISTING) :	52 (INCL. 2 ACCESSIBLE SPACES)	GRADE LEVEL (EXISTING) :	12
GRADE LEVEL (NEW) :	12 (INCL. 2 ACCESSIBLE SPACES)	GRADE LEVEL (NEW) :	11
TOTAL VEHICULAR PARKING PROVIDED :	197*	TOTAL BICYCLE PARKING PROVIDED :	67
(133 INDOOR SPACES + 64 OUTDOOR SPACES)		(41 INDOOR SPACES + 23 OUTDOOR SPACES)	

*INCLUDES 9 ACCESSIBLE SPACES

SITE PLAN (ROOF LEVEL)
 1 : 250

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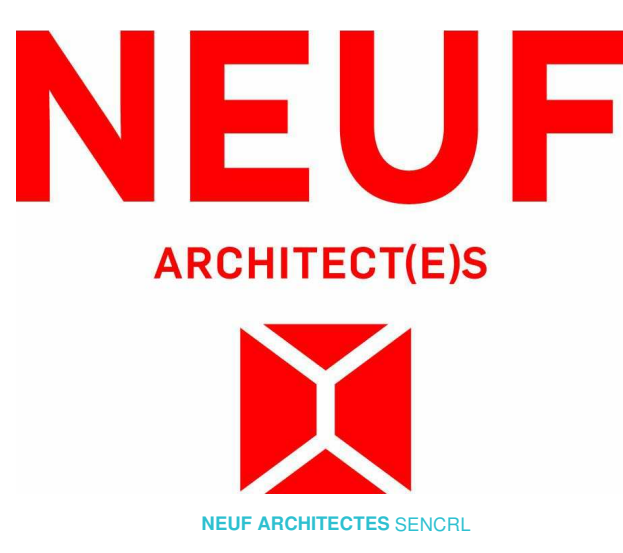
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OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS
 EMPLACEMENT / Location : 2425-2431 Bank Street, Ottawa
 NO PROJET / No. : 12165

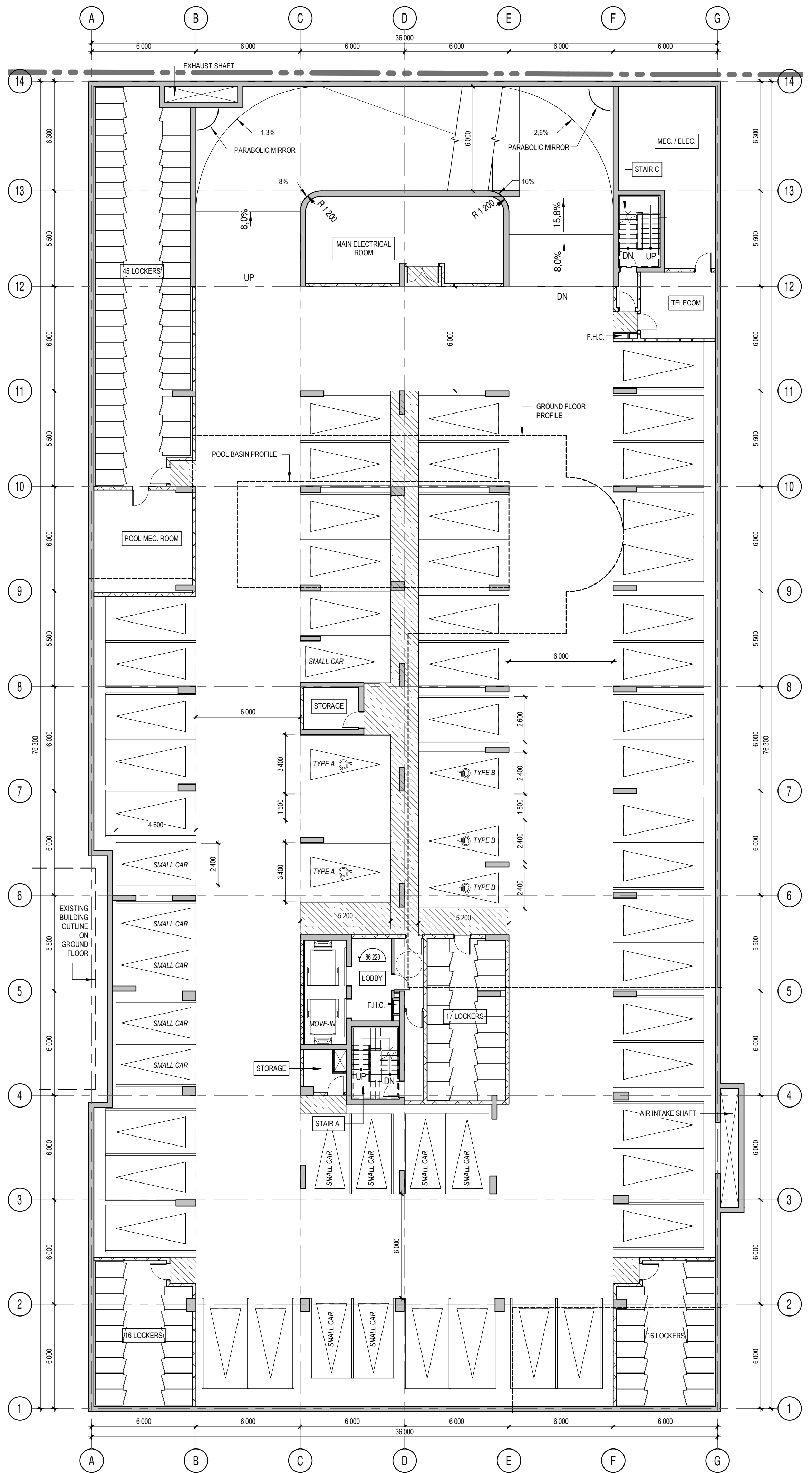
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 DATE (aa-mm-jj) : 20/04/28
 TITRE DU DESSIN / Drawing Title :
 VÉRIFIÉ PAR / Checked by : HG
 ÉCHELLE / Scale : Comme indiqué

SITE PLAN (ROOF LEVEL)

RÉVISION / Revision :
 NO. DESSIN / Dwg Number :
F A-102

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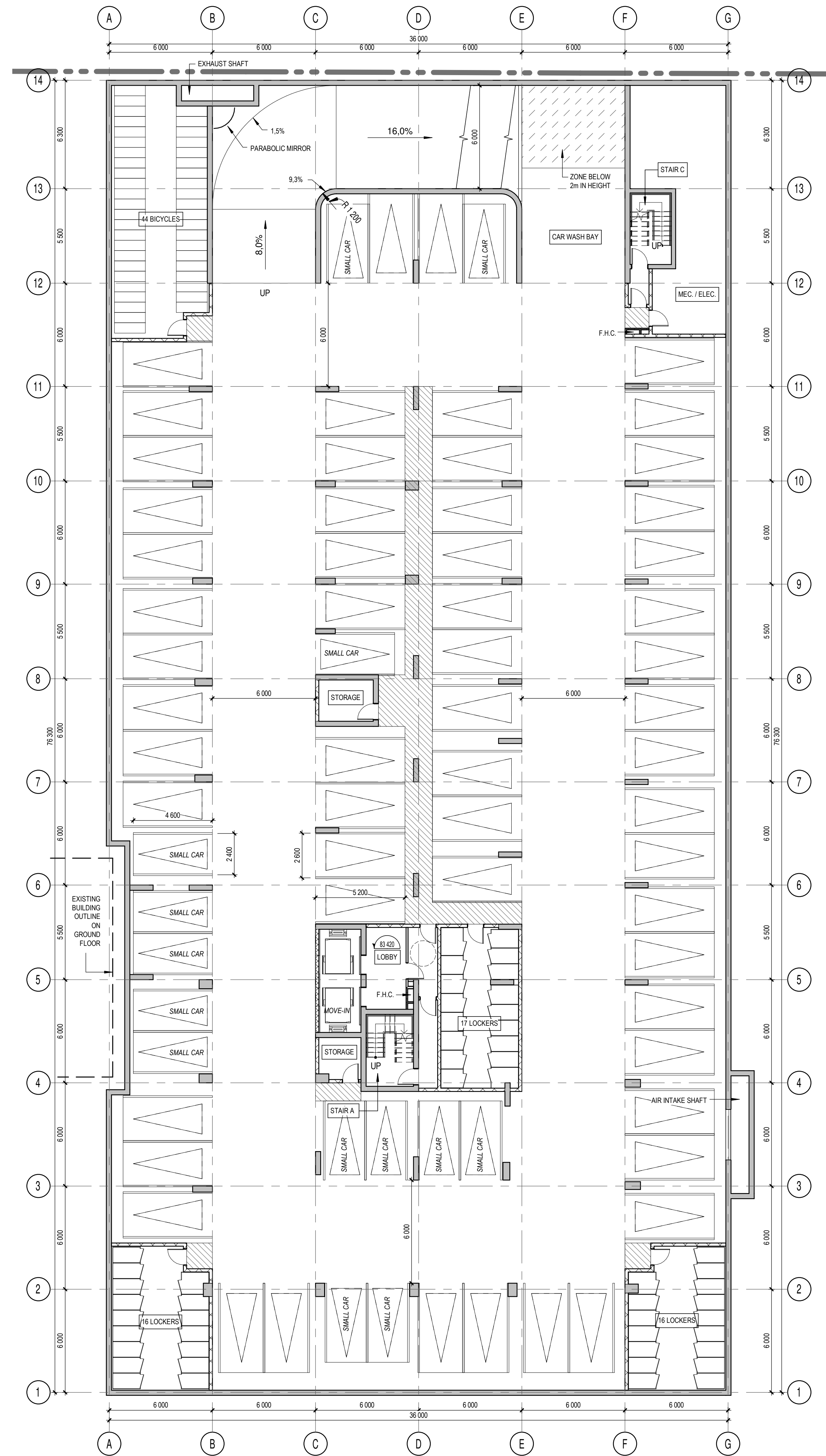


GARAGE LEVEL 1

STD PARKING SPACES :	44
SMALL CAR SPACES :	12
ACCESSIBLE SPACES :	5
TOTAL PARKING :	61
LOCKERS :	94
BICYCLE RACKS :	0

GARAGE LEVEL 1
1:150

2
A-200



GARAGE LEVEL 2

STD PARKING SPACES :	58
SMALL CAR SPACES :	14
ACCESSIBLE SPACES :	0
TOTAL PARKING :	72
LOCKERS :	50
BICYCLE RACKS :	44

GARAGE LEVEL 2
1:150

1
A-200

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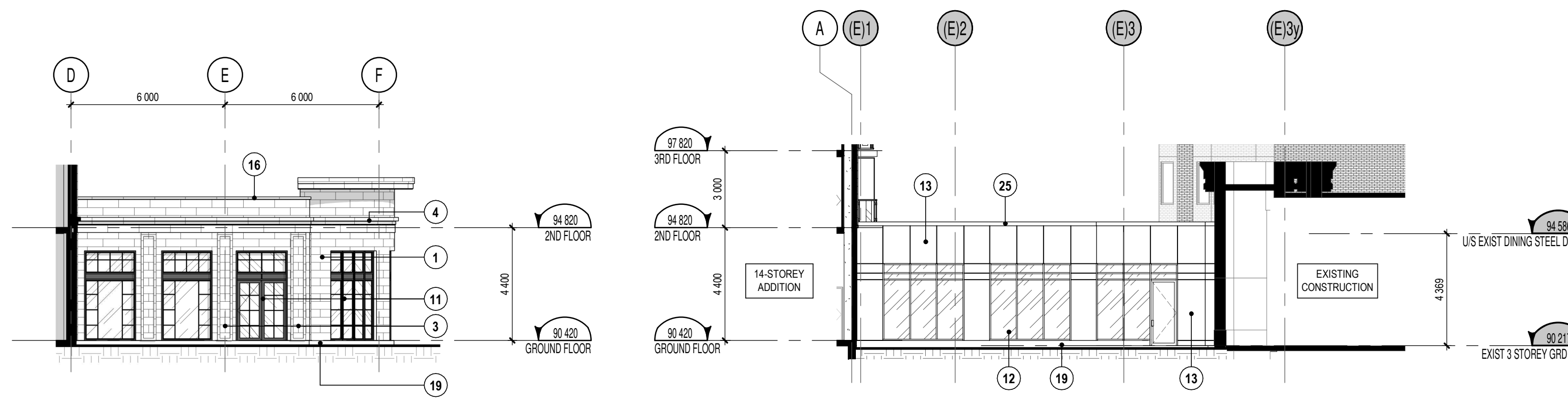
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20/04/28 1:150

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GARAGE LEVEL 1 & 2

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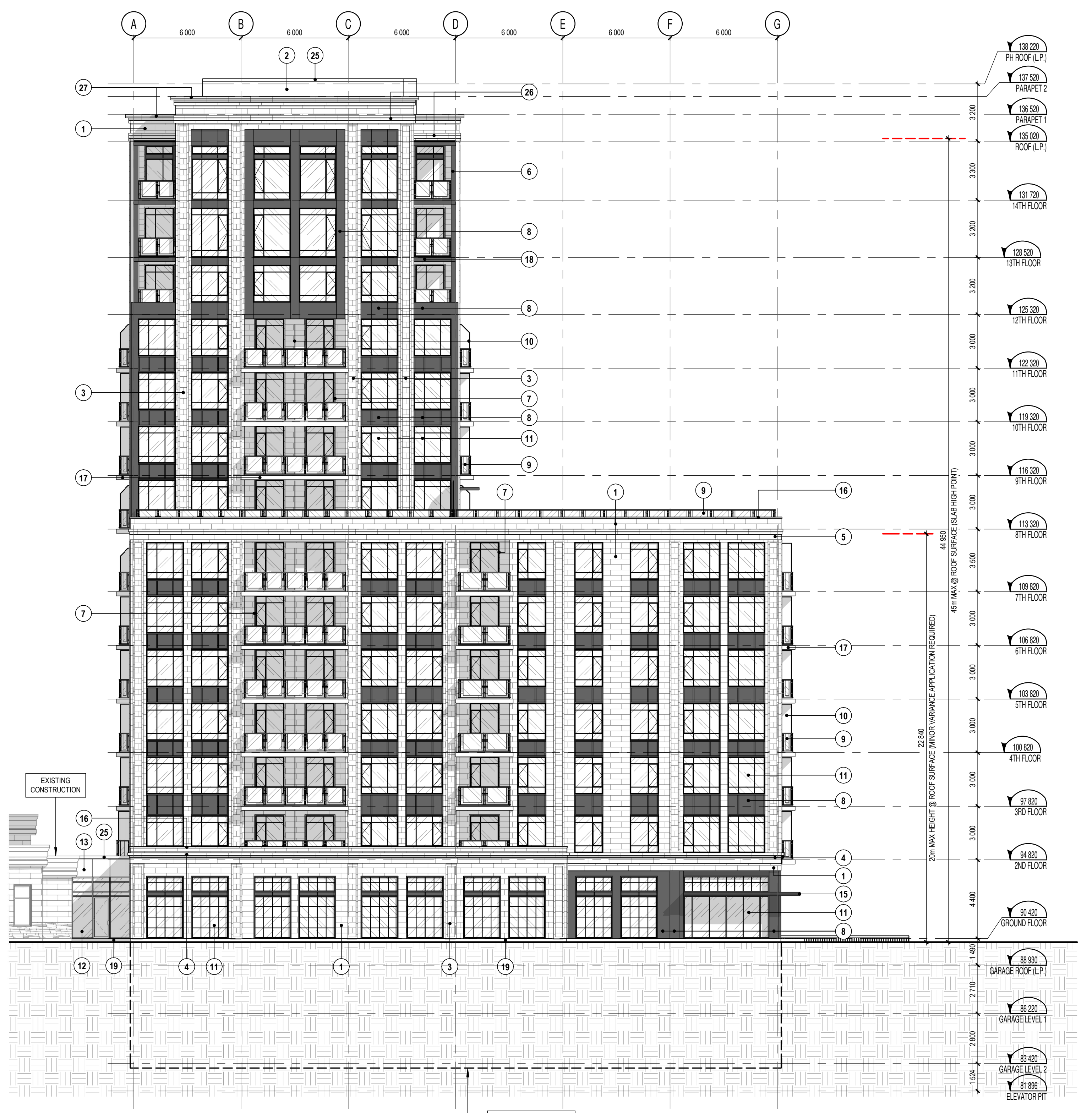


SOUTH ELEVATION (POOL)
1 : 150

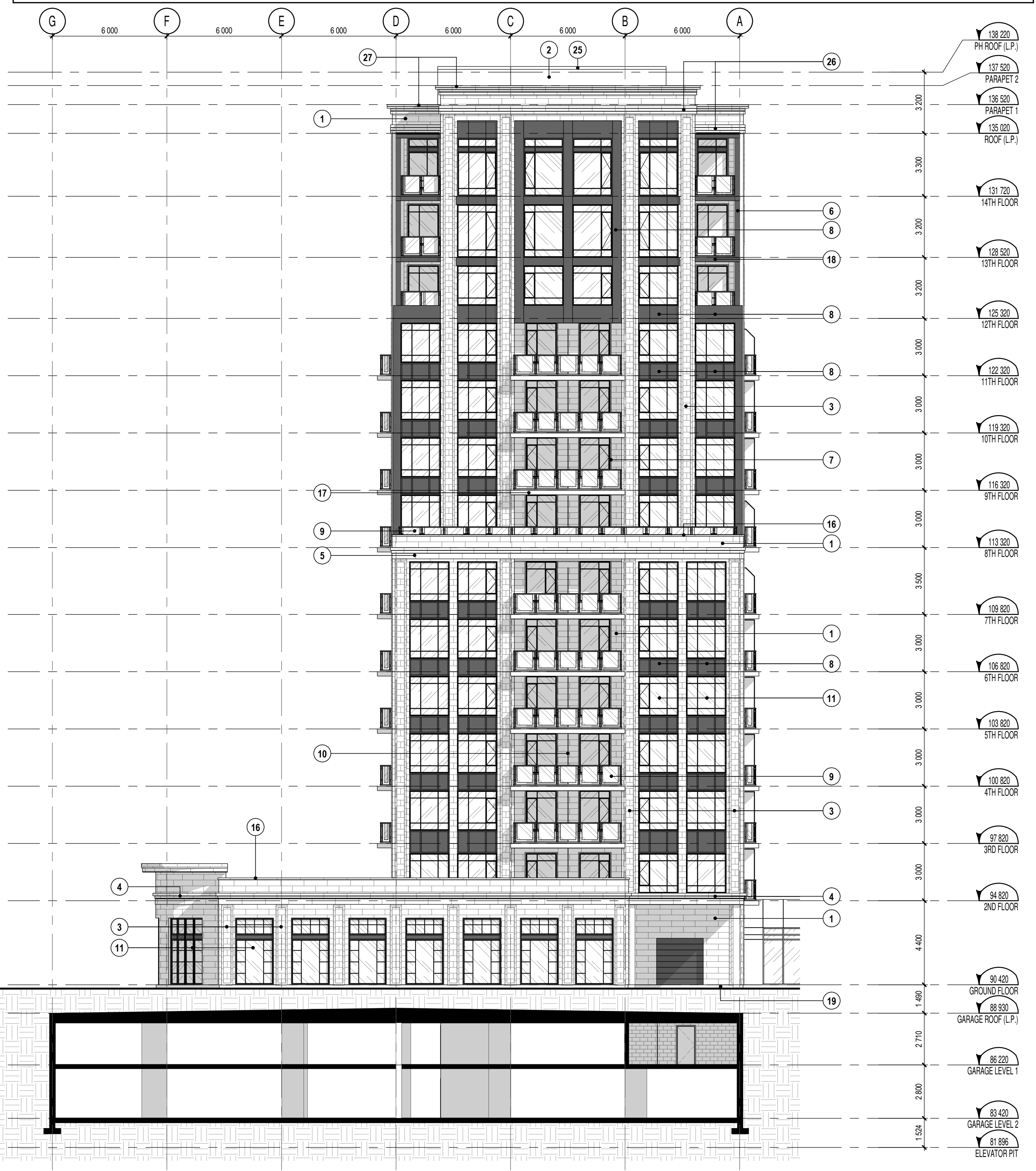
NORTH ELEVATION - NEW LINK GALLERY
1 : 150

MATERIALS LEGEND

1 CLADDING: ARCHITECTURAL MASONRY BLOCK (590mm x 290mm x 90mm), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR	13 SPANDRELS: ANODIZED ALUMINIUM, COLOR: NATURAL
1A RECESSED CLADDING: ARCHITECTURAL MASONRY BLOCK (590mm x 290mm x 90mm), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR	14 DOORS: PAINTED STEEL, COLOR: DARK BRONZE (SEE DOOR SCHEDULE)
2 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: NATURAL	15 MARQUEE: PRE-PAINTED ANODIZED ALUMINIUM PANELS, COLOR: DARK BRONZE
3 PILASTER: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED	16 CORNICE FASCIA AND PARAPET CAP: MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
4 CORNICE 1: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED	17 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH: SMOOTH, COLOR: NATURAL
5 CORNICE 2: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED	18 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH: SMOOTH, COLOR: DARK BRONZE
6 COLUMNS: PAINTED STEEL, COLOR: DARK BRONZE	19 FOUNDATION WALL (ABOVE GROUND): PARING, COLOR: TO BE CONFIRMED
7 WINDOW FRAME: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED	20 CLADDING: BRICK, COLOR AND FORMAT TO MATCH THE EXISTING ADJACENT BRICK
8 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE	21 METALLIC FLASHING: COLOR TO MATCH THE EXISTING BRICK FLASHING
9 GUARDRAIL: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS PANELS	22 WINDOWS: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
10 PRIVACY SCREEN: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & TRANSLUCENT TEMPERED GLASS PANELS	23 CURTAIN WALL: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
11 WINDOWS & ENTRY DOORS: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS	24 DOORS: PAINTED STEEL, COLOR: TO MATCH THE MASONRY BLOCK (SEE DOOR SCHEDULE)
12 CURTAIN WALL: ANODIZED ALUMINIUM FRAME (COLOR: NATURAL) & CLEAR TEMPERED GLASS	25 METALLIC FLASHING: COLOR TO MATCH THE ADJACENT ANODIZED ALUMINIUM FINISH
	26 CORNICE 3: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED
	27 CORNICE 4: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED



SOUTH ELEVATION
1 : 150



NORTH ELEVATION
1 : 150

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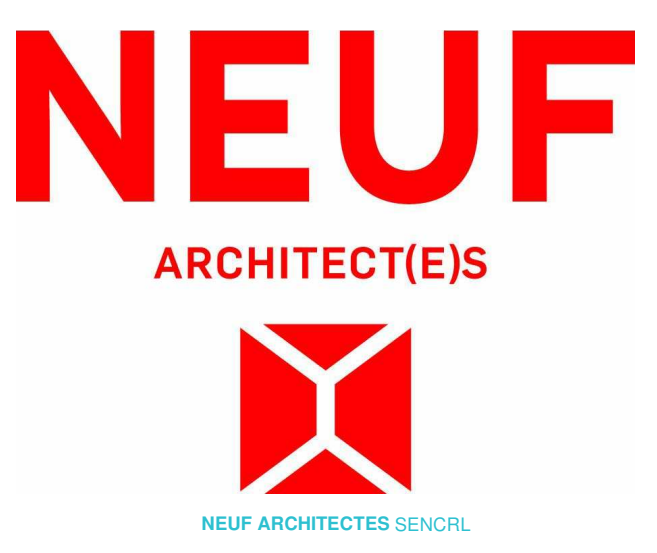
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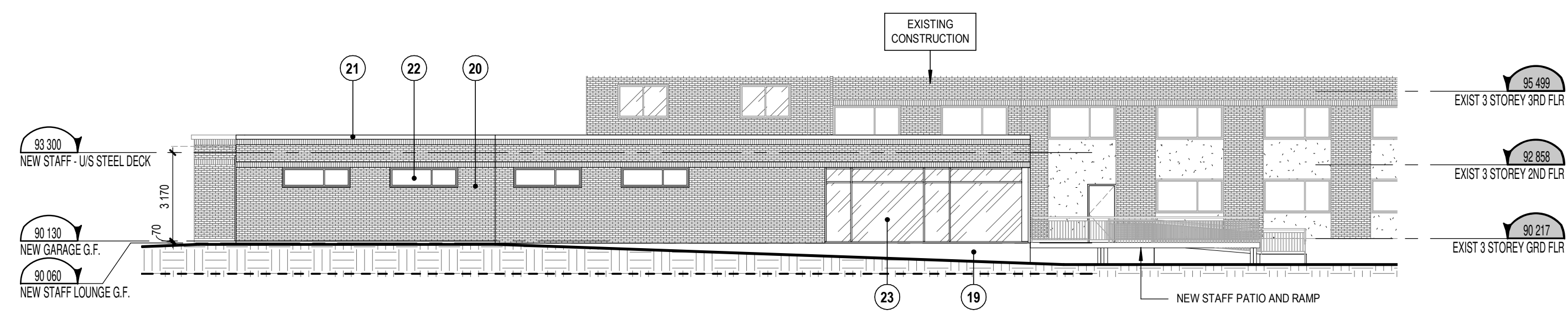
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F SITE PLAN CONTROL / 20/04/28

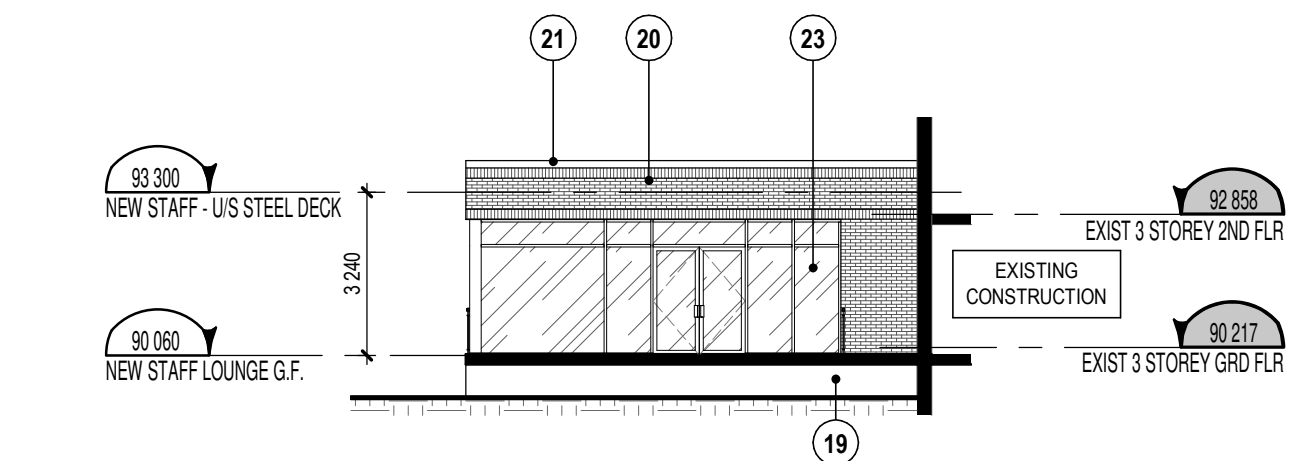
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Comme indiqué

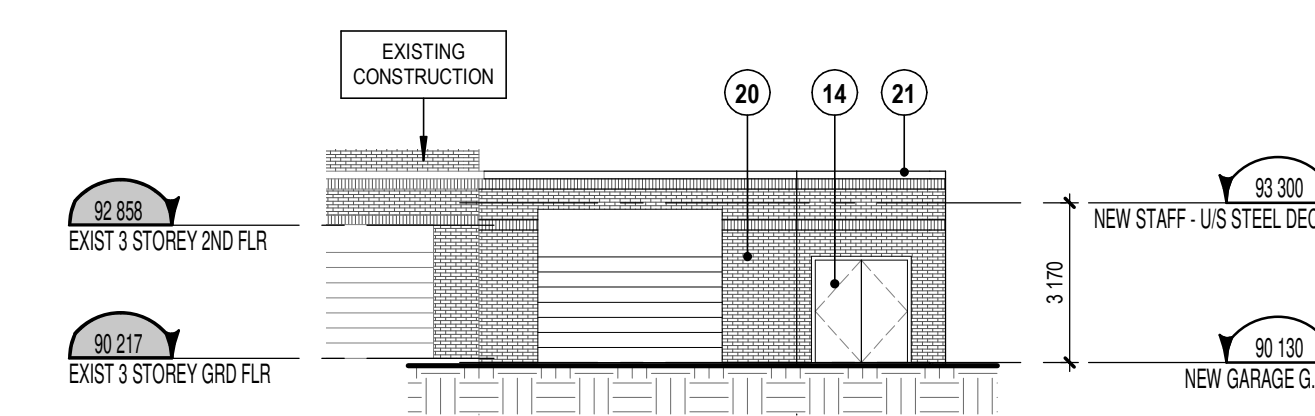
REVISION / Révision
F / **NO. DESSIN / Dwg Number**
A-400



NORTH ELEVATION - NEW GARAGE & STAFF LOUNGE
1: 150



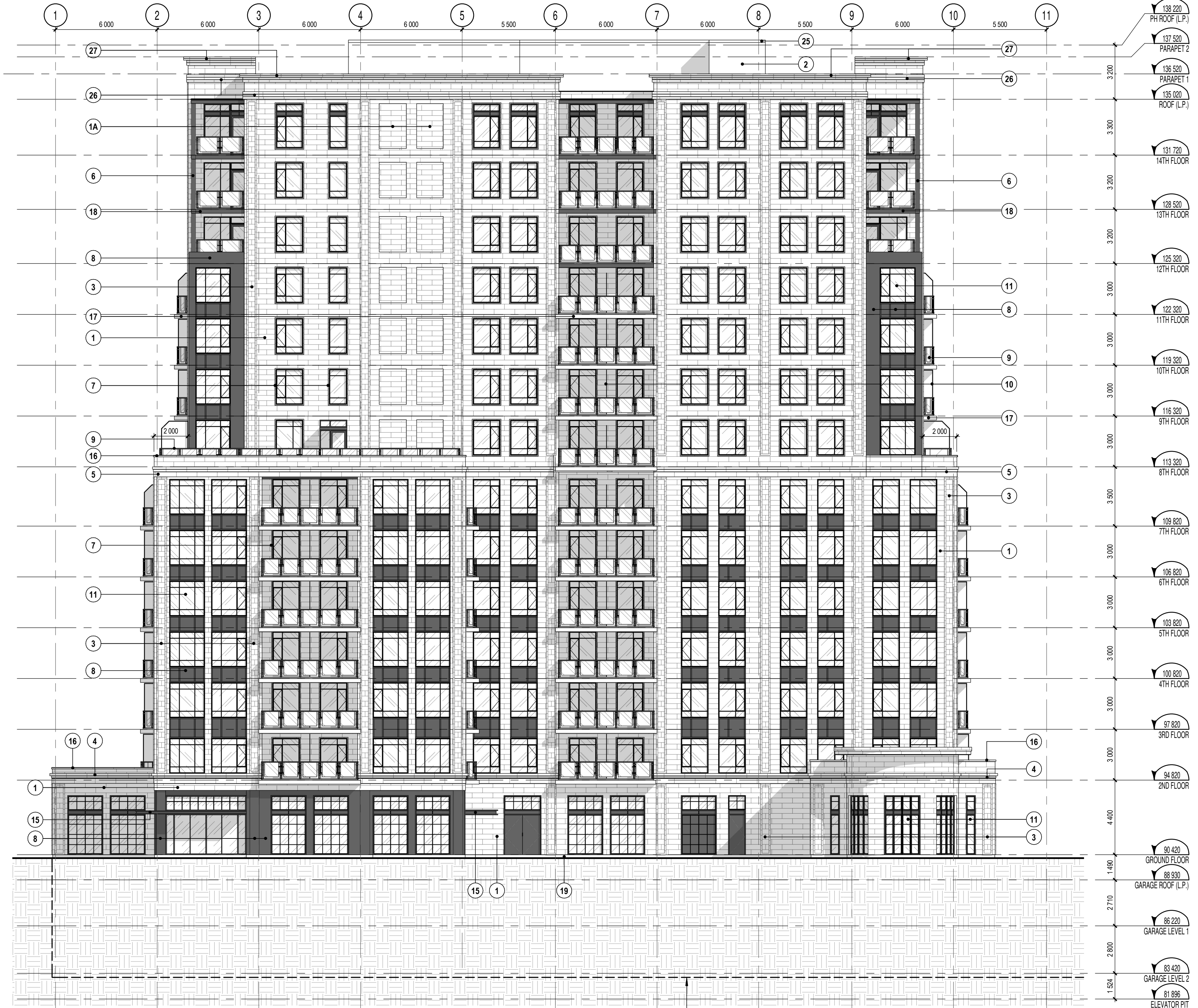
WEST ELEVATION - NEW STAFF LOUNGE
1: 150



EAST ELEVATION - NEW GARAGE
1: 150



NORTH ELEVATION (PARTIAL)
1: 150



EAST ELEVATION
1: 150

MATERIALS LEGEND

- 1 CLADDING: ARCHITECTURAL MASONRY BLOCK (590mm x 290mm x 90mm), FINISH AND COLOR TO BE CONFIRMED. CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1A RECESSED CLADDING: ARCHITECTURAL MASONRY BLOCK (590mm x 290mm x 90mm), FINISH AND COLOR TO BE CONFIRMED. CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 2 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: NATURAL
- 3 PILASTER: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 4 CORNICE 1: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED
- 5 CORNICE 2: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED
- 6 COLUMNS: PAINTED STEEL, COLOR: DARK BRONZE
- 7 WINDOW FRAME: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 8 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 9 GUARDRAIL: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS PANELS
- 10 PRIVACY SCREEN: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & TRANSLUCENT TEMPERED GLASS PANELS
- 11 WINDOWS & ENTRY DOORS: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS
- 12 CURTAIN WALL : ANODIZED ALUMINIUM FRAME (COLOR: NATURAL) & CLEAR TEMPERED GLASS
- 13 SPANDRELS: ANODIZED ALUMINIUM, COLOR: NATURAL
- 14 DOORS: PAINTED STEEL, COLOR: DARK BRONZE (SEE DOOR SCHEDULE)
- 15 MARQUEE: PRE-PAINTED ANODIZED ALUMINIUM PANELS, COLOR: DARK BRONZE
- 16 CORNICE FASCIA AND PARAPET CAP: MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 17 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH: SMOOTH, COLOR: NATURAL
- 18 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH: SMOOTH, COLOR: DARK BRONZE
- 19 FOUNDATION WALL (ABOVE GROUND) : PARKING, COLOR: TO BE CONFIRMED
- 20 CLADDING : BRICK, COLOR AND FORMAT TO MATCH THE EXISTING ADJACENT BRICK
- 21 METALLIC FLASHING : COLOR TO MATCH THE EXISTING BRICK FLASHING
- 22 WINDOWS : COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 23 CURTAIN WALL : COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 24 DOORS: PAINTED STEEL, COLOR: TO MATCH THE MASONRY BLOCK (SEE DOOR SCHEDULE)
- 25 METALLIC FLASHING : COLOR TO MATCH THE ADJACENT ANODIZED ALUMINIUM FINISH
- 26 CORNICE 3: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED
- 27 CORNICE 4: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED

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NO RÉVISION / REVISION
F SITE PLAN CONTROL

DATE (aa-mm-jj) / DATE (aa.mm.jj)
20/04/28

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SJD/YHL

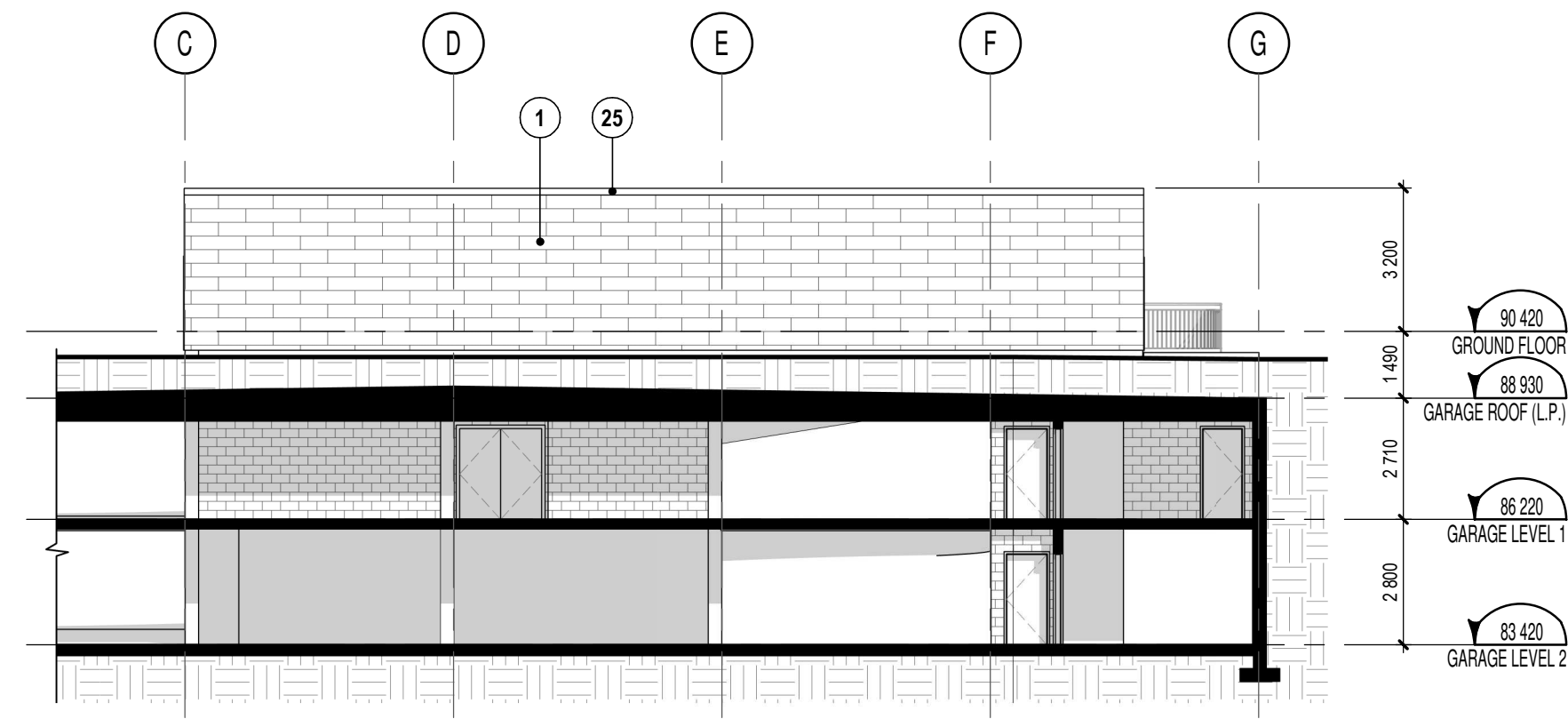
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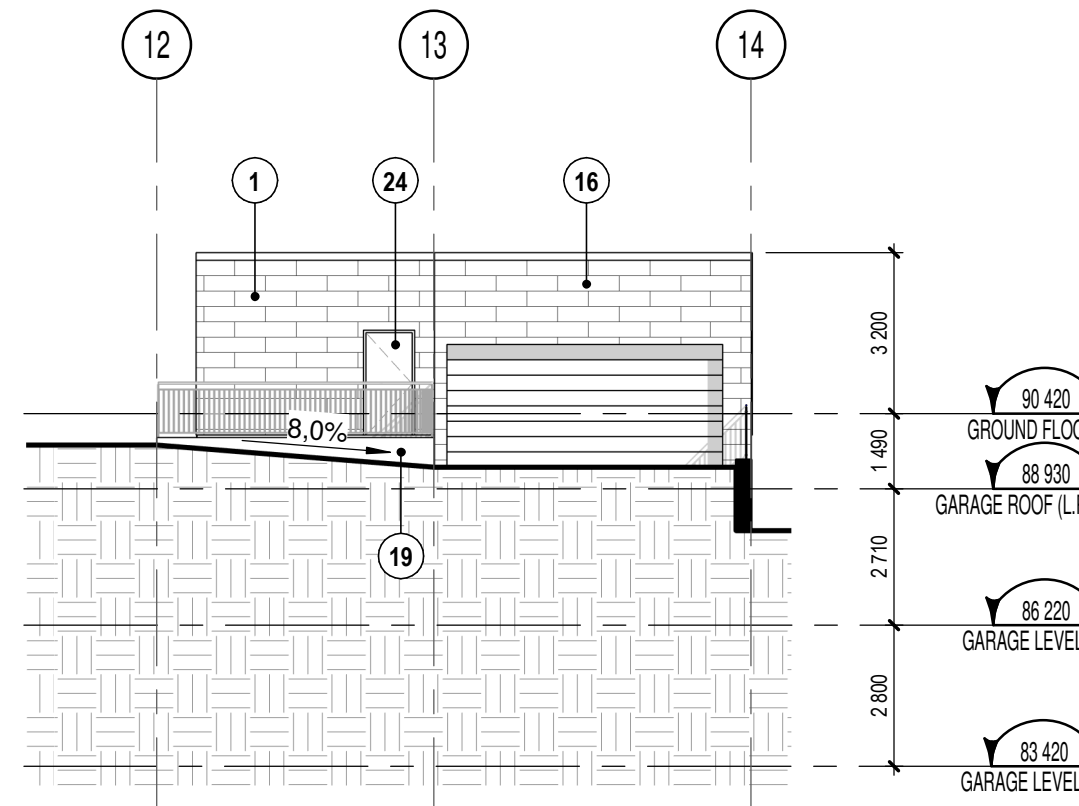
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ELEVATIONS

REVISION / Revision
F

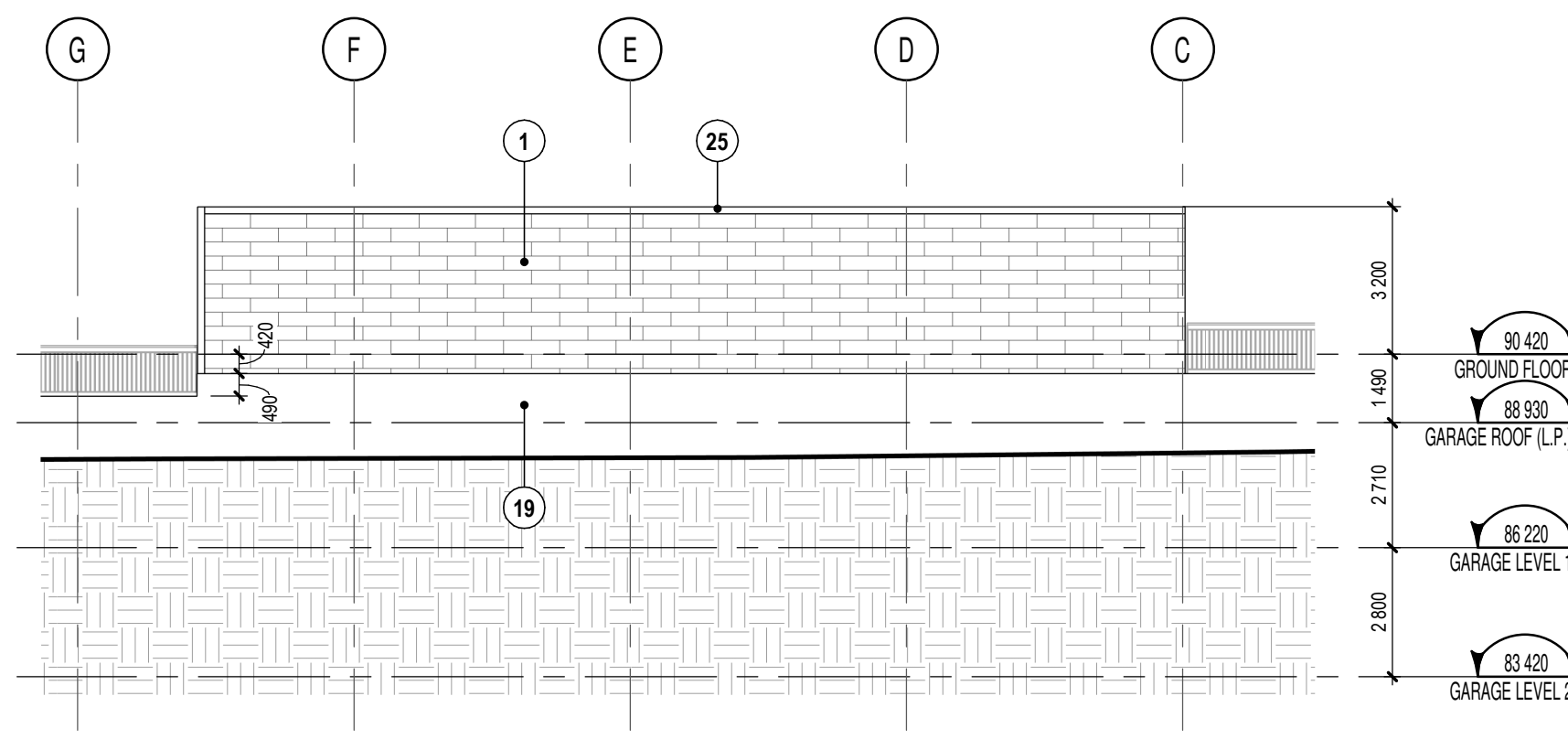
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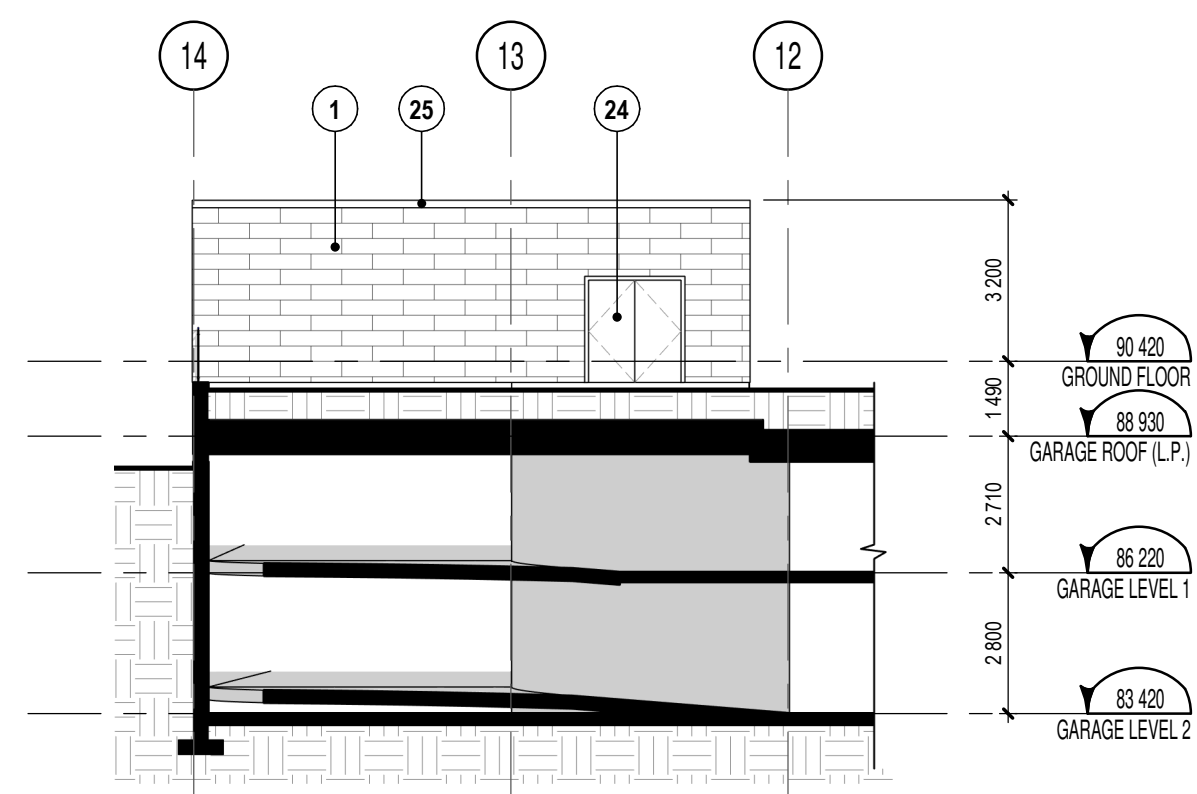
SOUTH ELEVATION - HYDRO VAULT
1 : 150



EAST ELEVATION - HYDRO VAULT
1 : 150



NORTH - ELEVATION HYDRO VAULT
1 : 150



WEST ELEVATION - HYDRO VAULT
1 : 150

MATERIALS LEGEND

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- 2 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: NATURAL
- 3 PILASTER: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 4 CORNICE 1: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED
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- 19 FOUNDATION WALL (ABOVE GROUND) : PARPING, COLOR: TO BE CONFIRMED
- 20 CLADDING : BRICK, COLOR AND FORMAT TO MATCH THE EXISTING ADJACENT BRICK
- 21 METALLIC FLASHING : COLOR TO MATCH THE EXISTING BRICK FLASHING
- 22 WINDOWS : COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 23 CURTAIN WALL : COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 24 DOORS: PAINTED STEEL, COLOR: TO MATCH THE MASONRY BLOCK (SEE DOOR SCHEDULE)
- 25 METALLIC FLASHING : COLOR TO MATCH THE ADJACENT ANODIZED ALUMINIUM FINISH
- 26 CORNICE 3: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED
- 27 CORNICE 4: ARCHITECTURAL MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED



WEST ELEVATION
1 : 150

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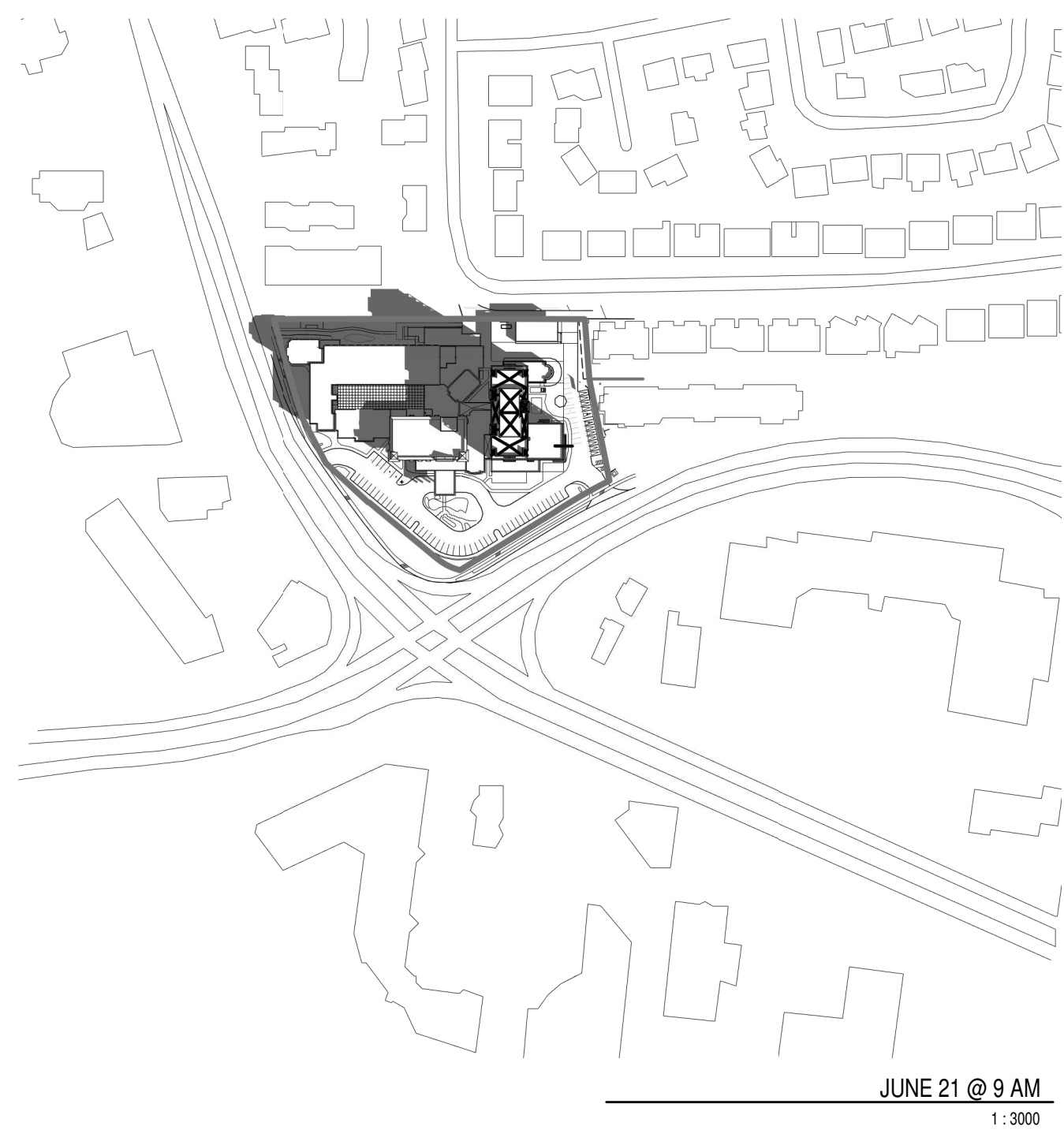
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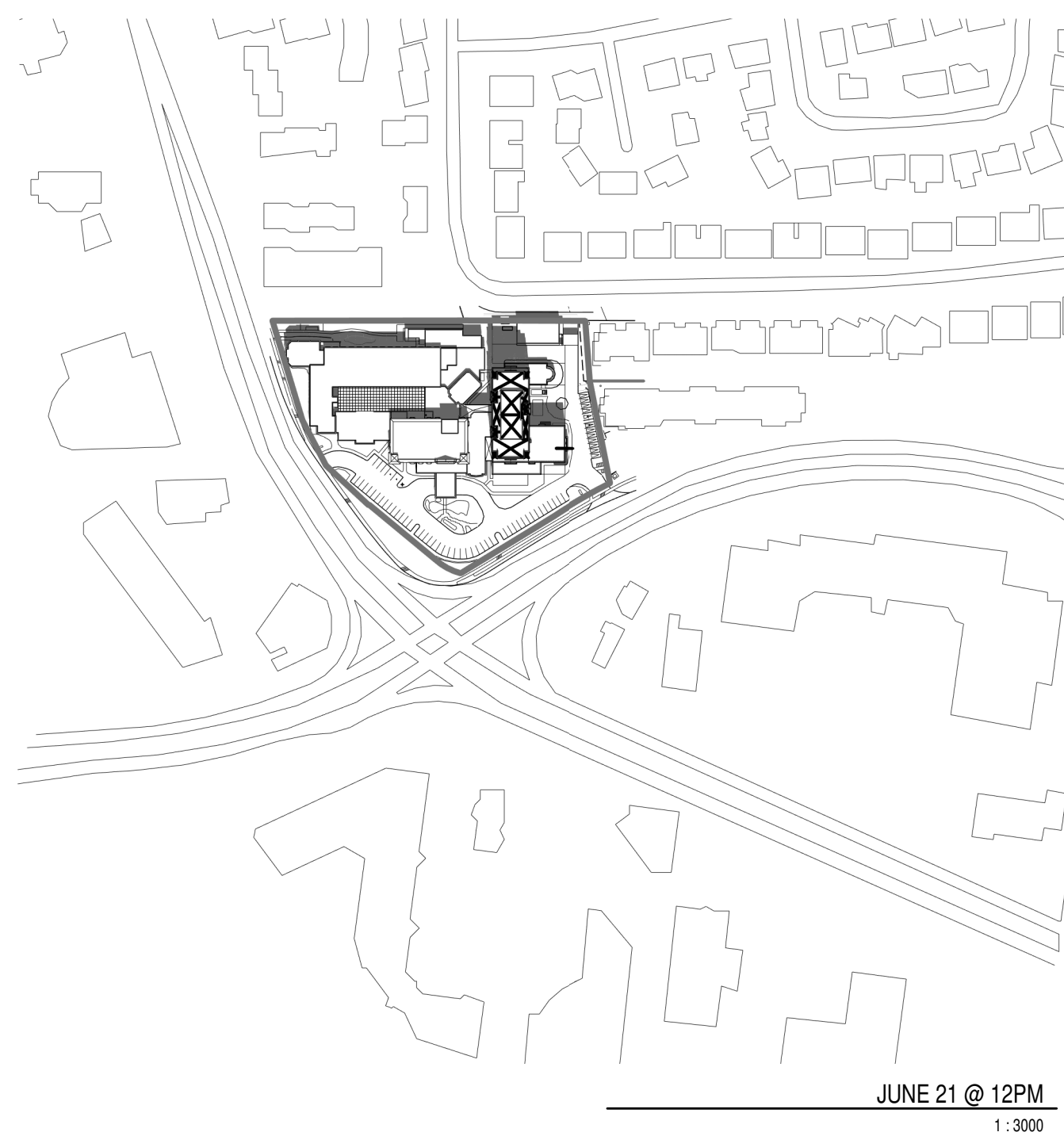
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F A-402

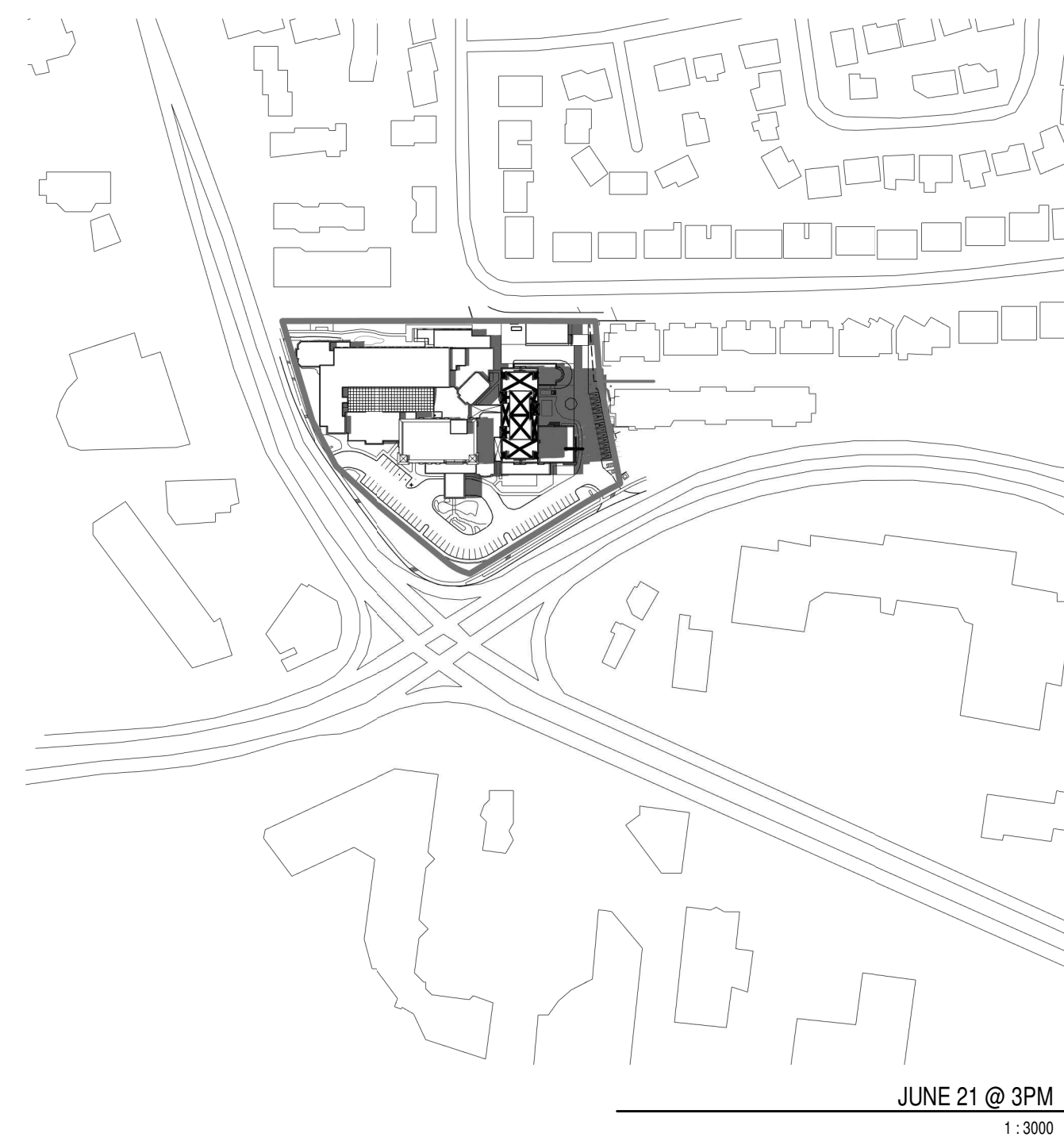
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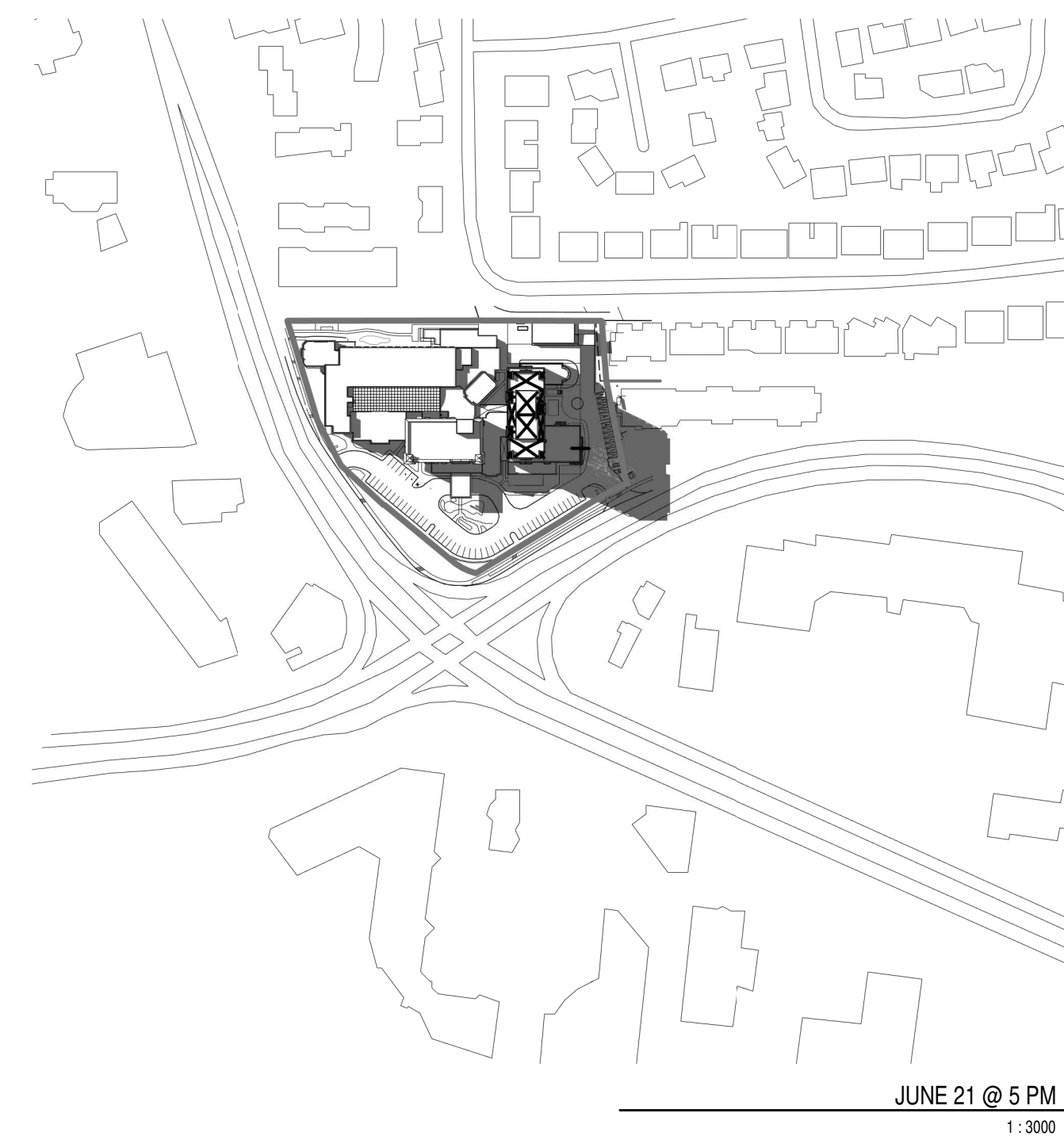
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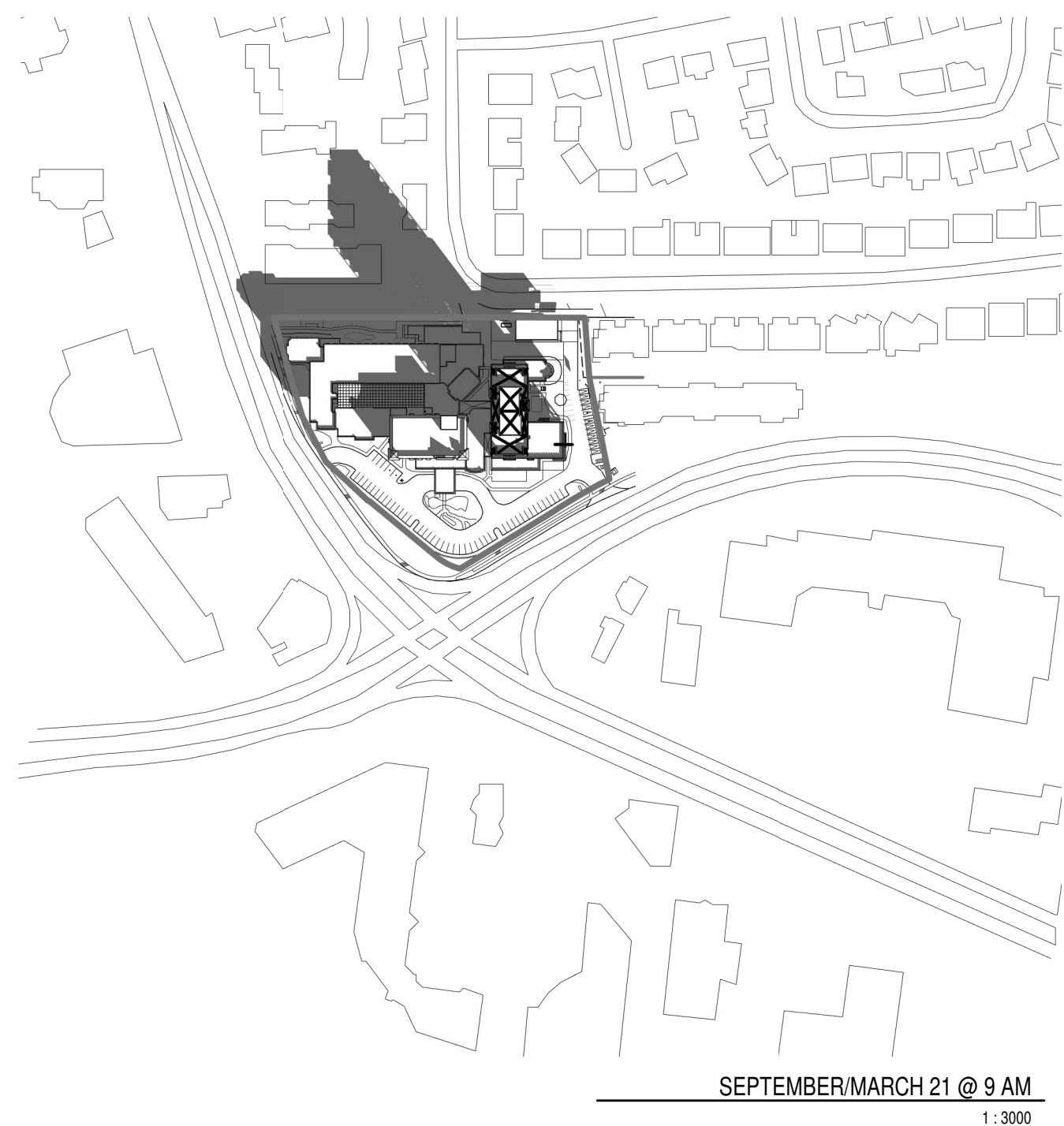
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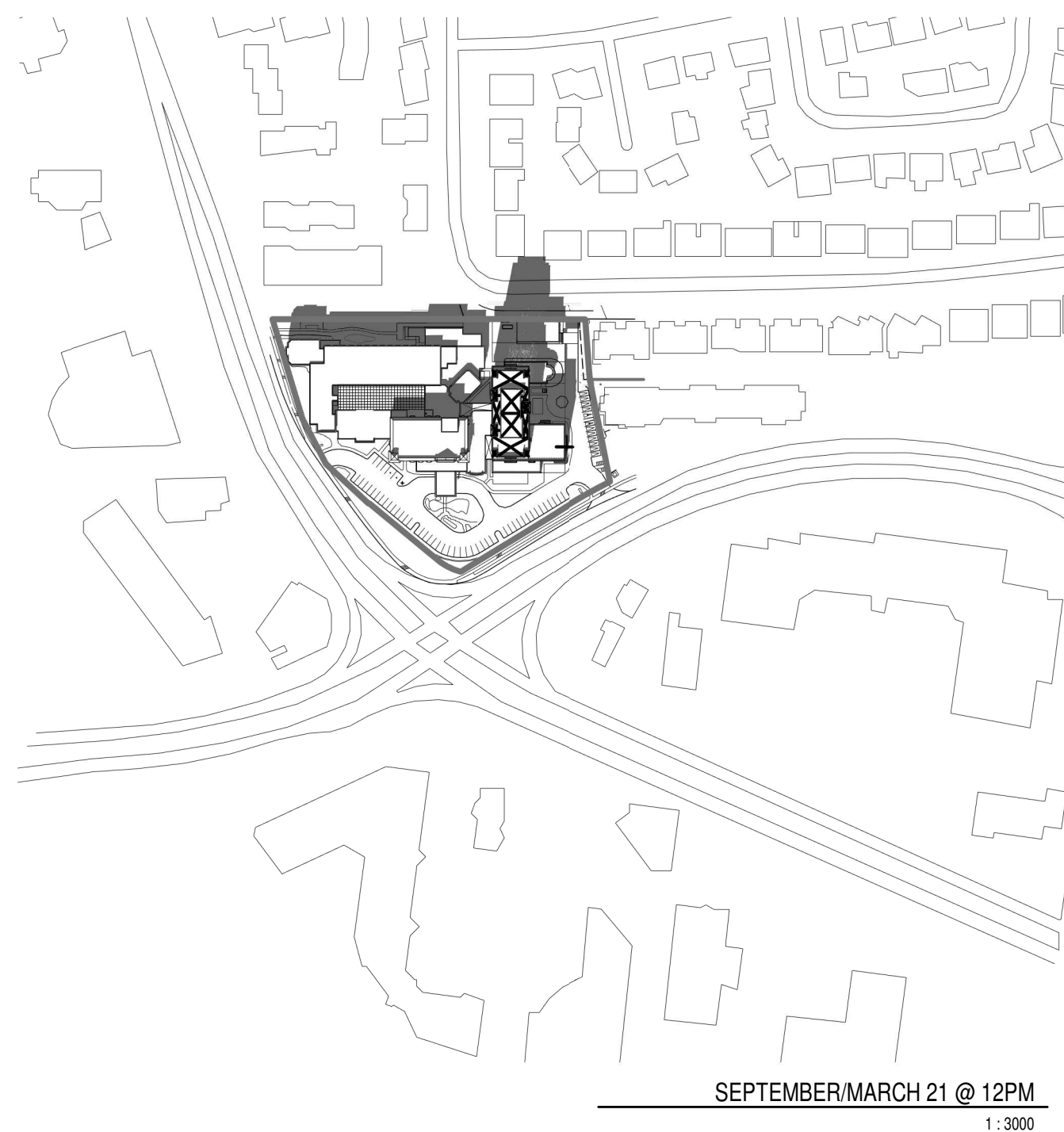
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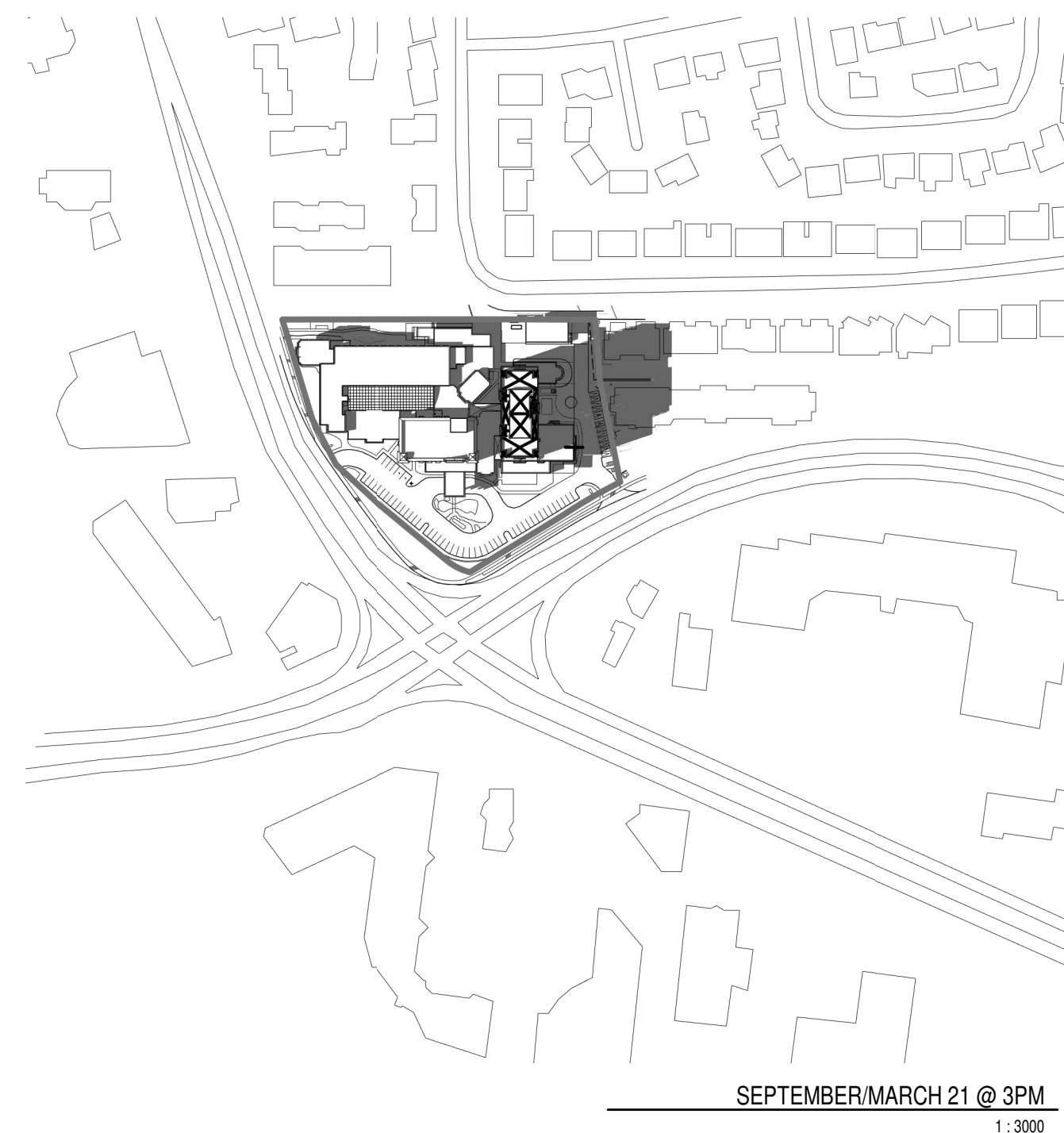
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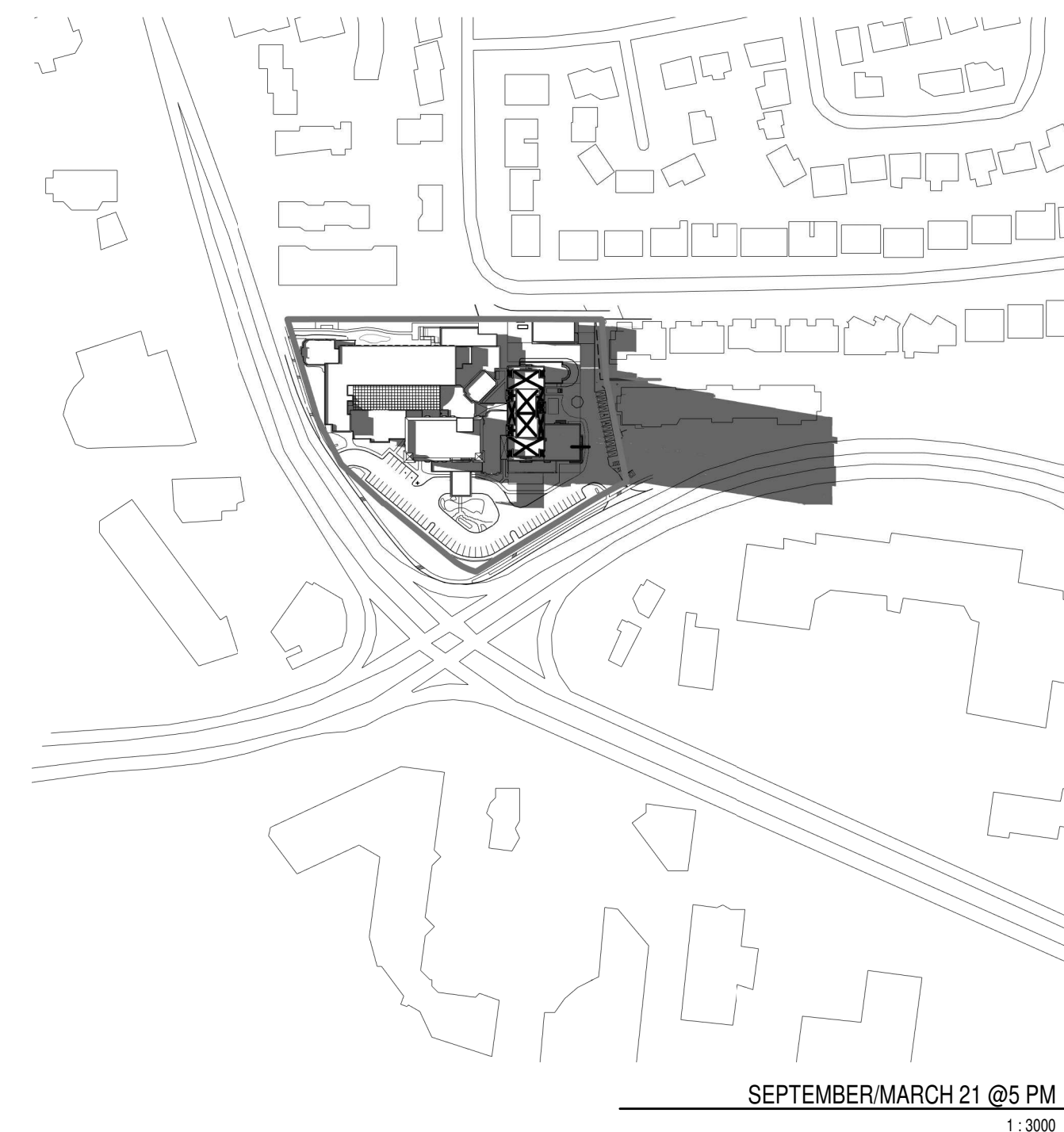
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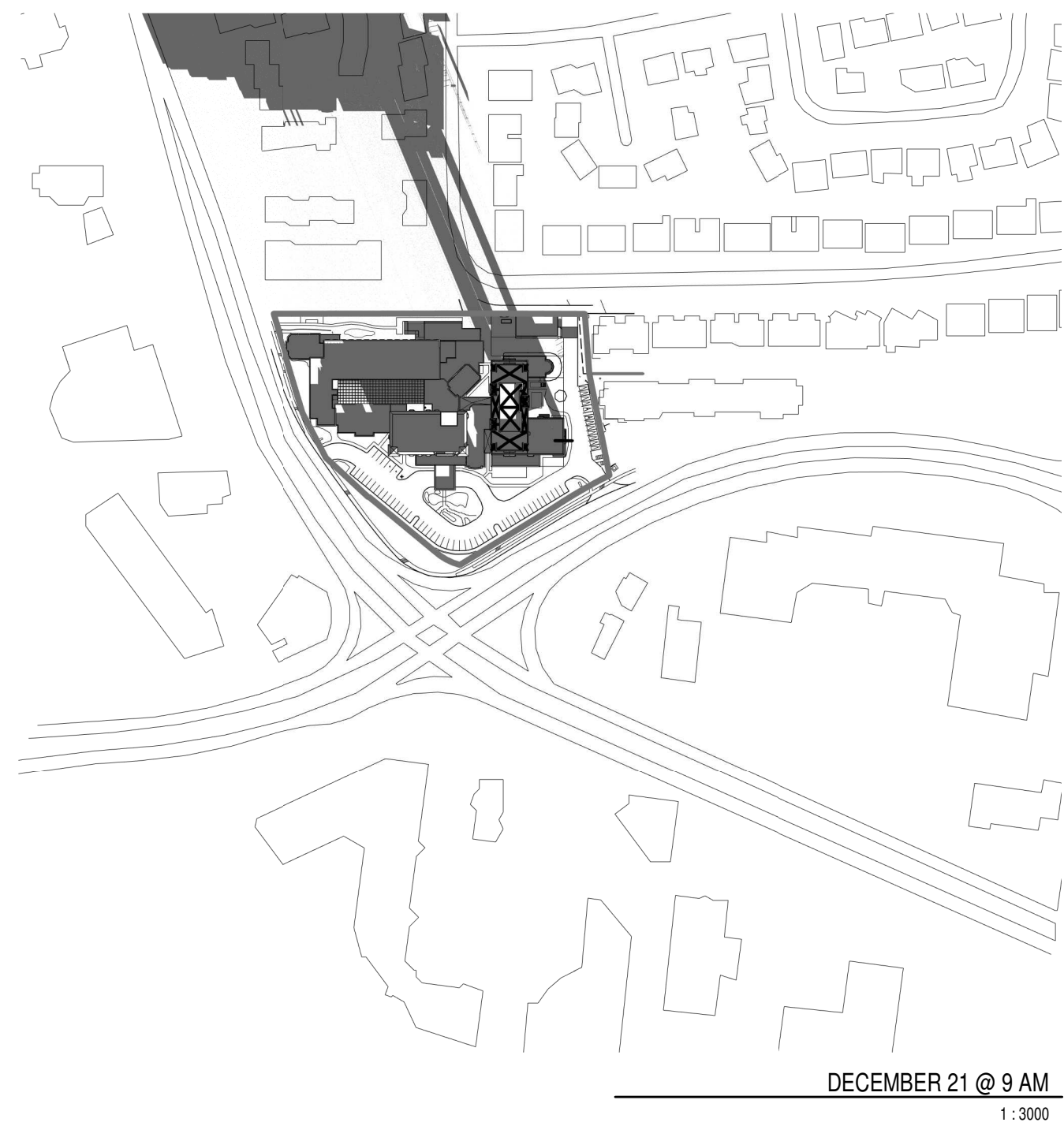
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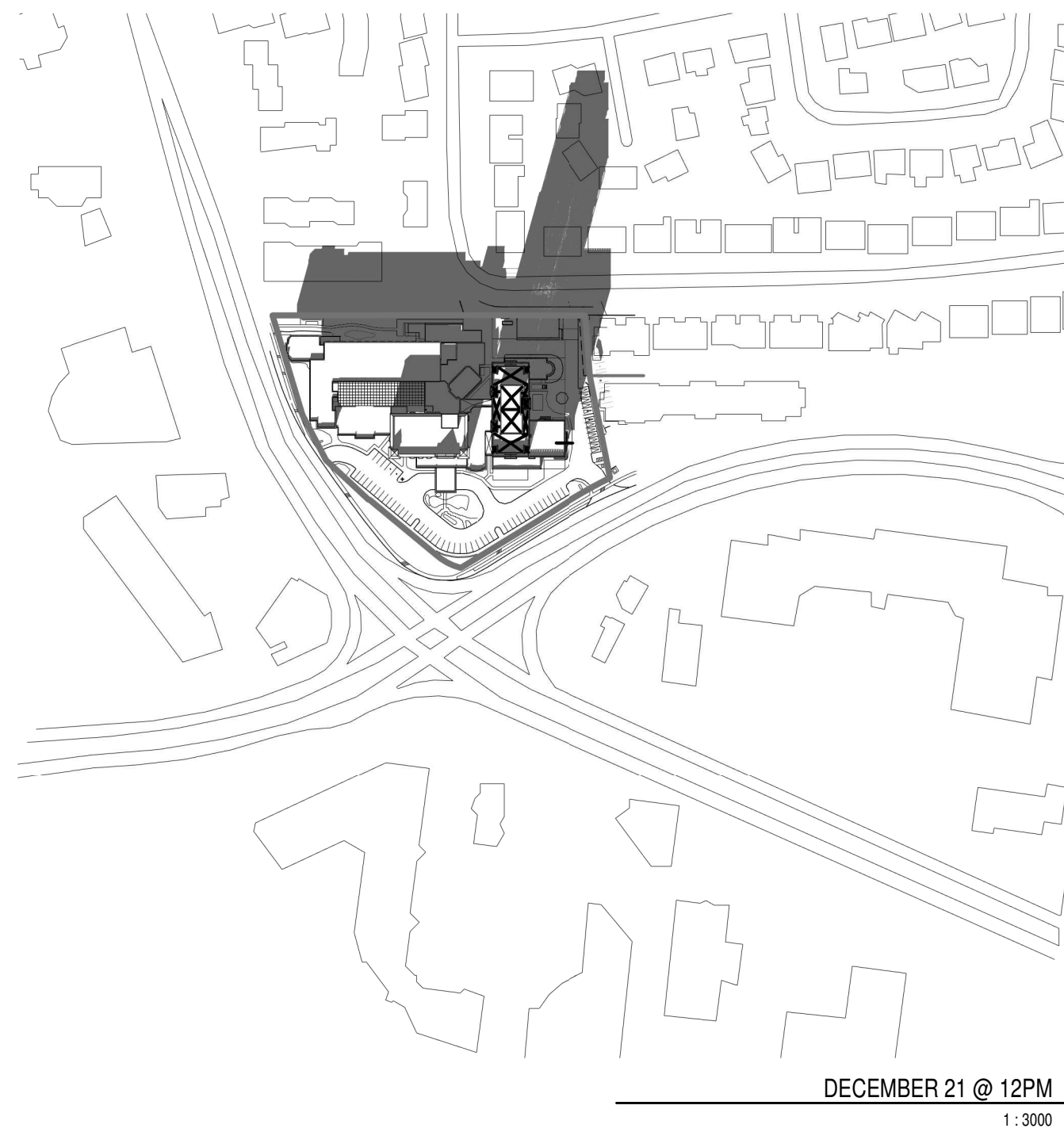
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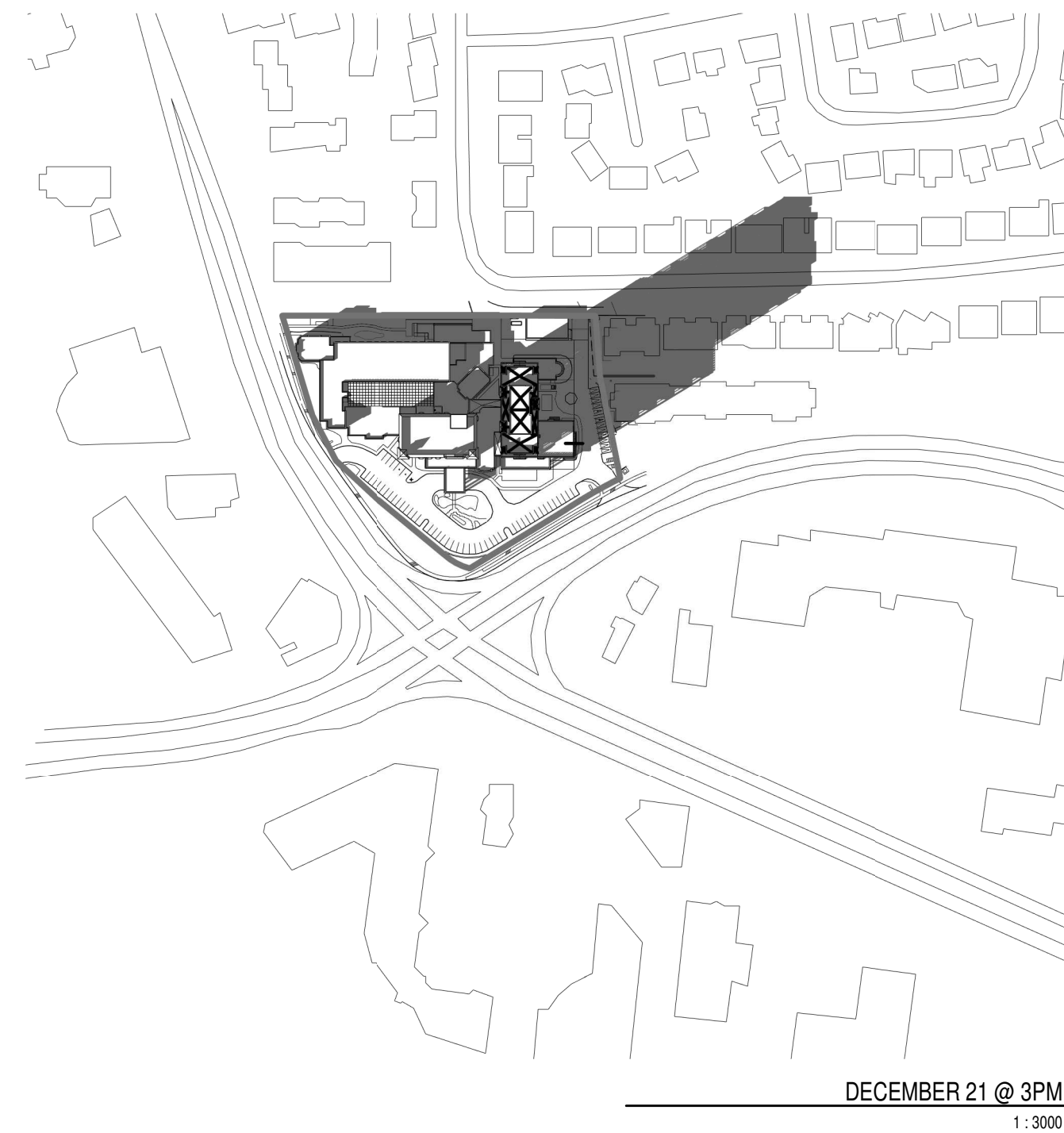
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DECEMBER 21 @ 9 AM
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DECEMBER 21 @ 12PM
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DECEMBER 21 @ 3PM
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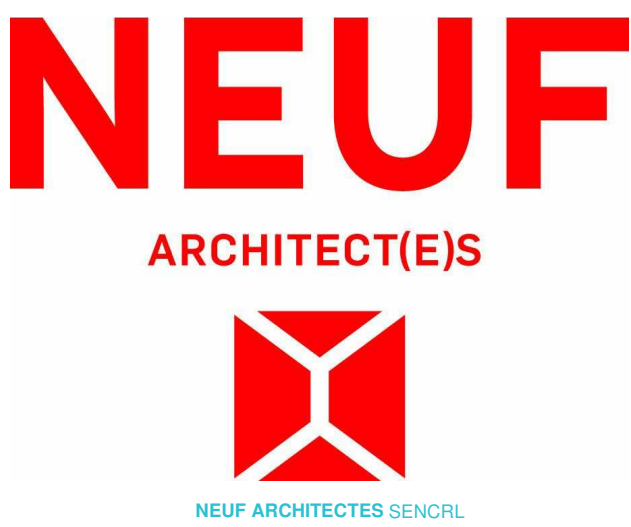
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ÉCHELLE / Scale 1 : 3000

SHADOW ANALYSIS

RÉVISION / Revision NO. DESSIN / Dwg Number

F A-900