

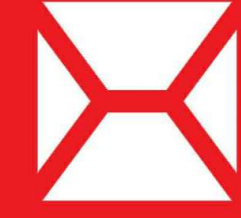


NEUF

ARCHITECT(E)S

PAGE	DRAWING INDEX	REV.	REVISION DESCRIPTION	DATE
A-000	COVER PAGE	K	SITE PLAN CONTROL	20/10/13
A-101	SITE PLAN (GROUND LEVEL)	K	SITE PLAN CONTROL	20/10/13
A-102	SITE PLAN (ROOF LEVEL)	K	SITE PLAN CONTROL	20/10/13
A-200	GARAGE LEVEL 1 & 2	K	SITE PLAN CONTROL	20/10/13
A-400	ELEVATIONS	K	SITE PLAN CONTROL	20/10/13
A-401	ELEVATIONS	K	SITE PLAN CONTROL	20/10/13
A-402	ELEVATIONS	K	SITE PLAN CONTROL	20/10/13
A-900	SHADOW ANALYSIS	K	SITE PLAN CONTROL	20/10/13

WATERFORD OTTAWA
SENIOR APARTMENTS
 2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa
 CLIENT: WATERFORD RETIREMENT
 COMMUNITY



NEUF
 ARCHITECT(E)S

REVISION : K - SITE PLAN CONTROL - 2020/10/13

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez éviter l'architecte de toute dimension enrou et/ou changements entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
 240 McLeod Comland Dr, Suite 200, Ottawa, ON
 Tel: (613) 254-9643

STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
 200-580 Terry Fox Drive, Kanata, ON K2L 4B9
 Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
 1600 Carling Ave, #530, Ottawa, ON K1Z 1G3
 Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
 3332 Carling Ave, Ottawa, ON K2H 5A6
 Tel: (613) 772-5168

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
 630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
 T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

COUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS

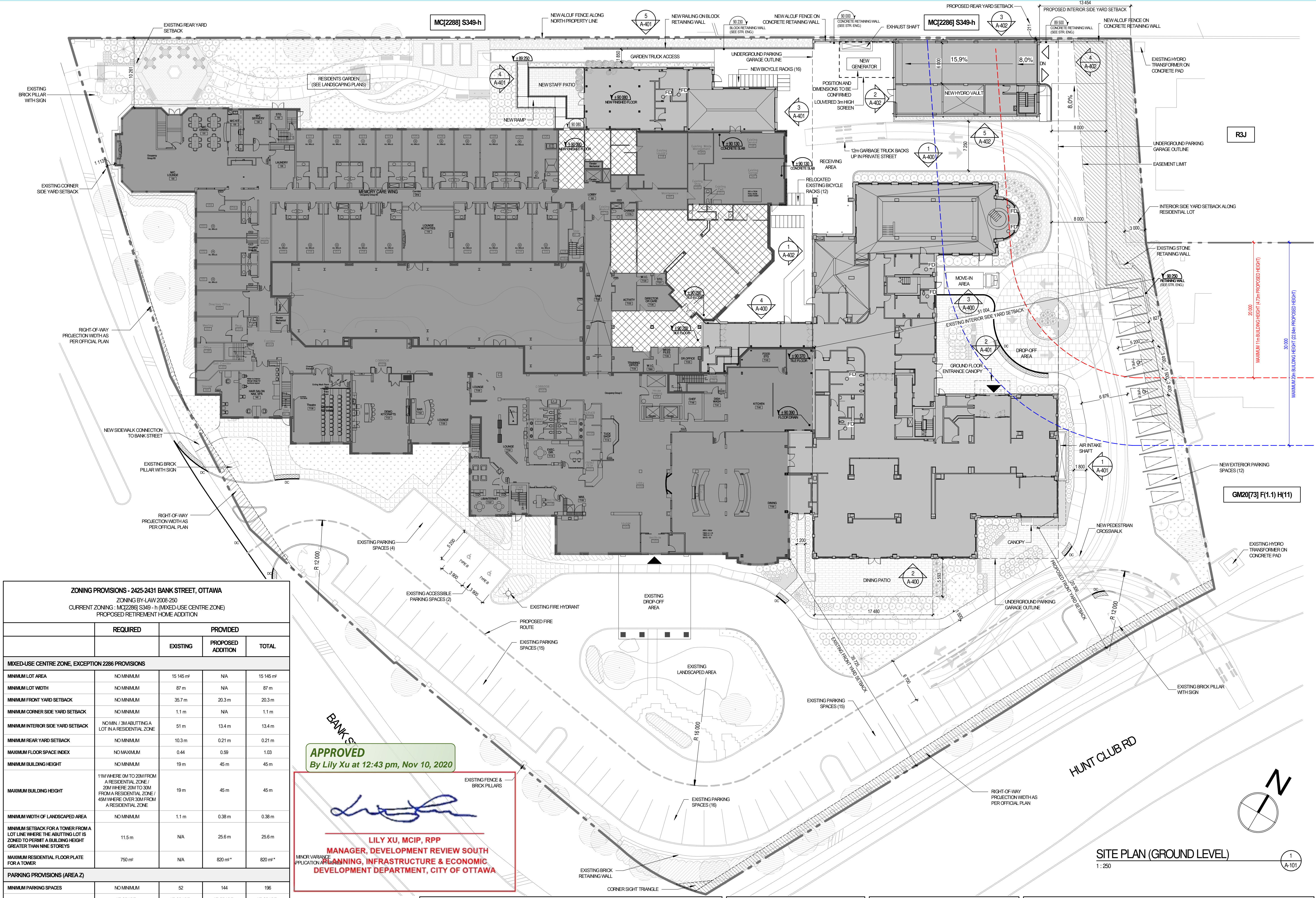
EMPLACEMENT / Location NO PROJET / No. 12165
 2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa

NO	REVISION	DATE (aa-mm-jj)
F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
I	SITE PLAN CONTROL	20/08/10
K	SITE PLAN CONTROL	20/10/13

DESSIN PAR / Drawn by
 GO/SJD
 DATE (aa/mm/jj)
 20/04/28
 TITRE DU DESSIN / Drawing Title
SITE PLAN (GROUND LEVEL)

VERIFIÉ PAR / Checked by
 HG
 ÉCHELLE / Scale
 Comme indiqué

REVISION / Revision NO. DESSIN / Drawing Number
K A-101



ZONING PROVISIONS - 2425-2431 BANK STREET, OTTAWA
 ZONING BY-LAW 2008-250
 CURRENT ZONING : MCQ2286] S349 - h (MIXED-USE CENTRE ZONE)
 PROPOSED RETIREMENT HOME ADDITION

	REQUIRED		PROVIDED	
	EXISTING	PROPOSED ADDITION	EXISTING	TOTAL
MIXED-USE CENTRE ZONE, EXCEPTION 2286 PROVISIONS				
MINIMUM LOT AREA	NO MINIMUM	15 145 m ²	NA	15 145 m ²
MINIMUM LOT WIDTH	NO MINIMUM	87 m	NA	87 m
MINIMUM FRONT YARD SETBACK	NO MINIMUM	35.7 m	20.3 m	20.3 m
MINIMUM CORNER SIDE YARD SETBACK	NO MINIMUM	1.1 m	NA	1.1 m
MINIMUM INTERIOR SIDE YARD SETBACK	NO MIN. / 3M ABUTTING A LOT IN A RESIDENTIAL ZONE	51 m	13.4 m	13.4 m
MINIMUM REAR YARD SETBACK	NO MINIMUM	10.3 m	0.21 m	0.21 m
MAXIMUM FLOOR SPACE INDEX	NO MAXIMUM	0.44	0.59	1.03
MINIMUM BUILDING HEIGHT	NO MINIMUM	19 m	45 m	45 m
MAXIMUM BUILDING HEIGHT	11M WHERE 8M TO 20M FROM A RESIDENTIAL ZONE / 20M WHERE 20M TO 30M FROM A RESIDENTIAL ZONE / 45M WHERE OVER 30M FROM A RESIDENTIAL ZONE	19 m	45 m	45 m
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM	1.1 m	0.38 m	0.38 m
MINIMUM SETBACK FOR A TOWER FROM A LOT LINE WHERE THE ABUTTING LOT IS ZONED TO PERMIT A BUILDING HEIGHT GREATER THAN NINE STOREYS	11.5 m	NA	25.6 m	25.6 m
MAXIMUM RESIDENTIAL FLOOR PLATE FOR A TOWER	750 m ²	NA	820 m ² *	820 m ² *
PARKING PROVISIONS (AREA Z)				
MINIMUM PARKING SPACES	NO MINIMUM	52	144	196
MINIMUM ACCESSIBLE PARKING SPACES	AT GRADE: 1 TYPE A & 2 TYPE B BELOW GRADE: 2 TYPE A & 3 TYPE B	AT GRADE: 2 TYPE B	AT GRADE: 1 TYPE A & 1 TYPE B BELOW GRADE: 2 TYPE A & 3 TYPE B	AT GRADE: 1 TYPE A & 3 TYPE B BELOW GRADE: 2 TYPE A & 3 TYPE B
MINIMUM BICYCLE PARKING SPACES	0.25 PER DWELLING OR ROOMING UNIT = 67	12	55	67
AMENITY AREA PROVISIONS				
TOTAL AMENITY AREA	6 m ² PER DWELLING UNIT AND 10% OF THE GFA OF EACH ROOMING UNIT = 1 515 m ²	2 524 m ²	2 914 m ²	5 438 m ²
COMMUNAL AMENITY AREA	50% OF REQUIRED TOTAL AMENITY AREA = 758 m ²	2 524 m ²	1 775 m ²	4 299 m ²

APPROVED
 By Lily Xu at 12:43 pm, Nov 10, 2020

[Signature]
LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

LEGEND

	PROPERTY LINE		EXISTING BUILDING
	SET BACK LINE		NEW CONSTRUCTION
	MAIN ENTRANCE		EXISTING BUILDING RENOVATIONS
	VEHICULAR ENTRANCE		TACTILE WALKING SURFACE INDICATOR
	DEPRESSED CURB		

AREA SUMMARY

LOT AREA:	15 145 m ²
LOT COVERAGE:	6 890 m ² (45.5%)
EXISTING BUILDING GFA*:	6 710 m ²
NEW CONSTRUCTION GFA*:	8 860 m ²
PERCENTAGE OF LANDSCAPED AREA WITHIN PARKING LOTS:	24%
TOTAL LANDSCAPED AREA:	27%

*AS DEFINED BY ZONING BY-LAW 2008-250

RESIDENTIAL UNITS SUMMARY

EXISTING BUILDING:	124 ROOMING UNITS
NEW CONSTRUCTION:	144 DWELLING UNITS
GROUND FLOOR:	0 UNITS
2 ND TO 7 TH FLOOR:	(6x14) = 84 UNITS
8 TH TO 11 TH FLOOR:	(4x10) = 40 UNITS
12 TH TO 13 TH FLOOR:	(2x7) = 14 UNITS
14 TH FLOOR:	6 UNITS
TOTAL EXISTING + NEW:	268 UNITS

PARKING SUMMARY

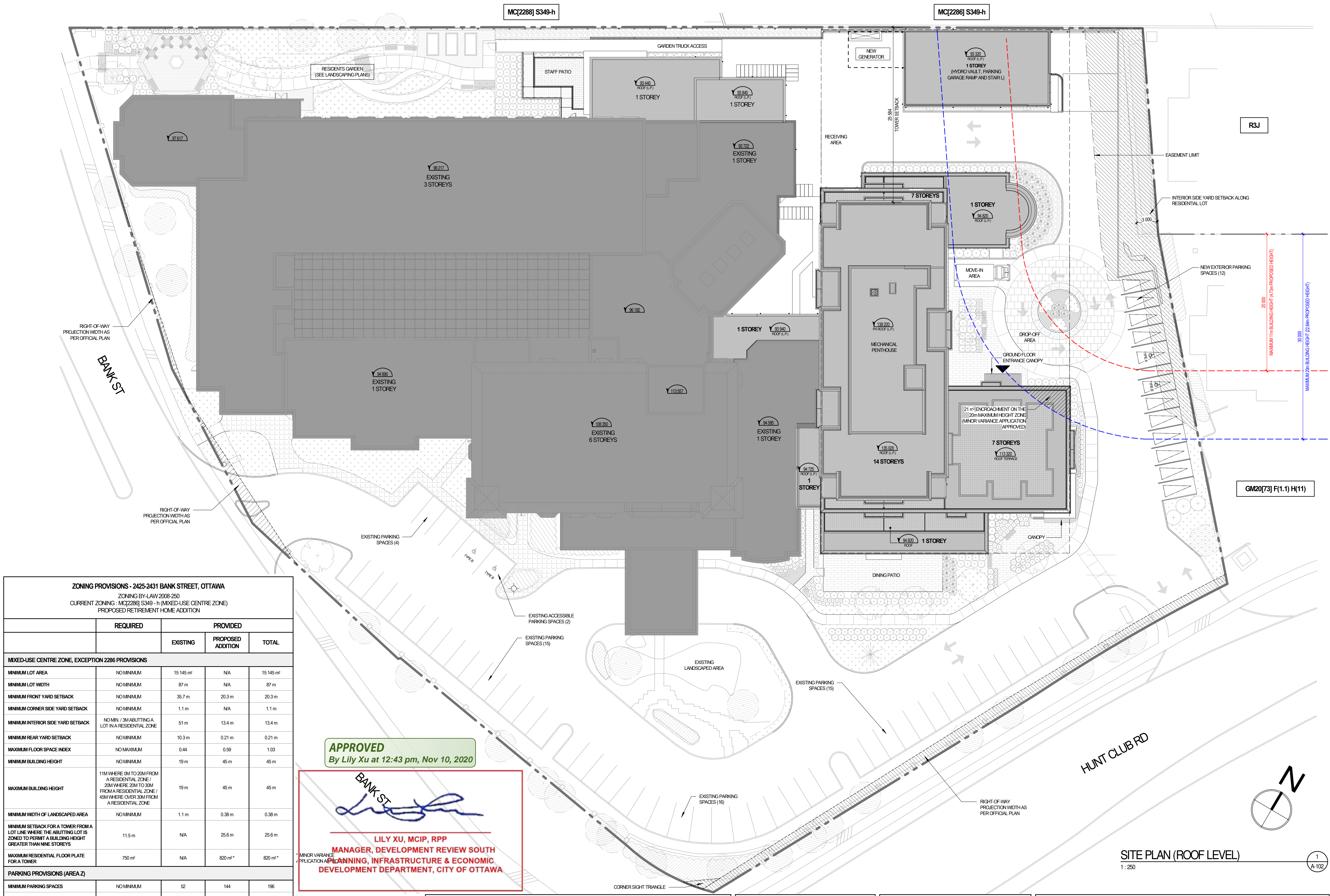
VEHICULAR PARKING		BICYCLE PARKING	
GARAGE LEVEL 2 (NEW):	71	GARAGE LEVEL 2 (NEW):	43
GARAGE LEVEL 1 (NEW):	61 (INCL. 5 ACCESSIBLE SPACES)	GARAGE LEVEL 1 (NEW):	0
GRADE LEVEL (EXISTING):	52 (INCL. 2 ACCESSIBLE SPACES)	GRADE LEVEL (EXISTING):	12
GRADE LEVEL (NEW):	12 (INCL. 2 ACCESSIBLE SPACES)	GRADE LEVEL (NEW):	12
TOTAL VEHICULAR PARKING PROVIDED:	196	TOTAL BICYCLE PARKING PROVIDED:	67
(132 INDOOR SPACES + 64 OUTDOOR SPACES)		(39 INDOOR SPACES + 28 OUTDOOR SPACES)	

*INCLUDES 9 ACCESSIBLE SPACES
 *BICYCLE PARKING DIMENSIONS: 600mm x 1800mm

C:\Fichiers Revit\Localaux\WOSA_12165_ARC_INT_R20_9fdagenais.rvt

18152

C:\Fichiers Revit\Locaux\WOSA_12165_ARC_INT_R20_9102\genas.rvt



ZONING PROVISIONS - 2425-2431 BANK STREET, OTTAWA
 ZONING BY-LAW 2008-250
 CURRENT ZONING : MC[2288] S349 - h (MIXED-USE CENTRE ZONE)
 PROPOSED RETIREMENT HOME ADDITION

	REQUIRED	PROVIDED		TOTAL
		EXISTING	PROPOSED ADDITION	
MIXED-USE CENTRE ZONE, EXCEPTION 2286 PROVISIONS				
MINIMUM LOT AREA	NO MINIMUM	15 145 m ²	NA	15 145 m ²
MINIMUM LOT WIDTH	NO MINIMUM	87 m	NA	87 m
MINIMUM FRONT YARD SETBACK	NO MINIMUM	35.7 m	20.3 m	20.3 m
MINIMUM CORNER SIDE YARD SETBACK	NO MINIMUM	1.1 m	NA	1.1 m
MINIMUM INTERIOR SIDE YARD SETBACK	NO MIN / 3M ABUTTING A LOT IN A RESIDENTIAL ZONE	51 m	13.4 m	13.4 m
MINIMUM REAR YARD SETBACK	NO MINIMUM	10.3 m	0.21 m	0.21 m
MAXIMUM FLOOR SPACE INDEX	NO MAXIMUM	0.44	0.59	1.03
MINIMUM BUILDING HEIGHT	NO MINIMUM	19 m	45 m	45 m
MAXIMUM BUILDING HEIGHT	11M WHERE 0M TO 20M FROM A RESIDENTIAL ZONE / 20M WHERE 20M TO 30M FROM A RESIDENTIAL ZONE / 45M WHERE OVER 30M FROM A RESIDENTIAL ZONE	19 m	45 m	45 m
MINIMUM WIDTH OF LANDSCAPED AREA	NO MINIMUM	1.1 m	0.38 m	0.38 m
MINIMUM SETBACK FOR A TOWER FROM A LOT LINE WHERE THE ABUTTING LOT IS ZONED TO PERMIT A BUILDING HEIGHT GREATER THAN NINE STOREYS	11.5 m	NA	25.6 m	25.6 m
MAXIMUM RESIDENTIAL FLOOR PLATE FOR A TOWER	750 m ²	NA	820 m ² *	820 m ² *
PARKING PROVISIONS (AREA Z)				
MINIMUM PARKING SPACES	NO MINIMUM	52	144	196
MINIMUM ACCESSIBLE PARKING SPACES	AT GRADE : 1 TYPE A & 2 TYPE B BELOW GRADE : 2 TYPE A & 3 TYPE B	AT GRADE : 2 TYPE B	AT GRADE : 1 TYPE A & 1 TYPE B BELOW GRADE : 2 TYPE A & 3 TYPE B	AT GRADE : 1 TYPE A & 3 TYPE B BELOW GRADE : 2 TYPE A & 3 TYPE B
MINIMUM BICYCLE PARKING SPACES	0.25 PER DWELLING OR ROOMING UNIT = 67	12	55	67
AMENITY AREA PROVISIONS				
TOTAL AMENITY AREA	6 m ² PER DWELLING UNIT AND 10% OF THE GFA OF EACH ROOMING UNIT = 1 515 m ²	2 524 m ²	2 914 m ²	5 438 m ²
COMMUNAL AMENITY AREA	50% OF REQUIRED TOTAL AMENITY AREA = 758 m ²	2 524 m ²	1 775 m ²	4 299 m ²

APPROVED
 By Lily Xu at 12:43 pm, Nov 10, 2020

Lily Xu

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

LEGEND

	PROPERTY LINE		EXISTING BUILDING
	SET BACK LINE		NEW CONSTRUCTION
	MAIN ENTRANCE		EXISTING BUILDING RENOVATIONS
	VEHICULAR ENTRANCE		TACTILE WALKING SURFACE INDICATOR
	DC DEPRESSED CURB		

AREA SUMMARY

LOT AREA :	15 145 m ²
LOT COVERAGE :	6 890 m ² (45.5%)
EXISTING BUILDING GFA* :	6 710 m ²
NEW CONSTRUCTION GFA* :	8 860 m ²
PERCENTAGE OF LANDSCAPED AREA WITHIN PARKING LOTS :	24%
TOTAL LANDSCAPED AREA :	27%

*AS DEFINED BY ZONING BY-LAW 2008-250

RESIDENTIAL UNITS SUMMARY

EXISTING BUILDING :	124 ROOMING UNITS
NEW CONSTRUCTION :	144 DWELLING UNITS
GROUND FLOOR :	0 UNITS
2 ND TO 7 TH FLOOR :	(6x14) = 84 UNITS
8 TH TO 11 TH FLOOR :	(4x10) = 40 UNITS
12 TH TO 13 TH FLOOR :	(2x7) = 14 UNITS
14 TH FLOOR :	6 UNITS
TOTAL EXISTING + NEW :	268 UNITS

PARKING SUMMARY

VEHICULAR PARKING	BICYCLE PARKING
GARAGE LEVEL 2 (NEW) :	71
GARAGE LEVEL 1 (NEW) :	61 (INCL 5 ACCESSIBLE SPACES)
GRADE LEVEL (EXISTING) :	52 (INCL 2 ACCESSIBLE SPACES)
GRADE LEVEL (NEW) :	12 (INCL 2 ACCESSIBLE SPACES)
TOTAL VEHICULAR PARKING PROVIDED :	196*
(132 INDOOR SPACES + 64 OUTDOOR SPACES)	
TOTAL BICYCLE PARKING PROVIDED :	67*
(38 INDOOR SPACES + 29 OUTDOOR SPACES)	

*INCLUDES 9 ACCESSIBLE SPACES
 *BICYCLE PARKING DIMENSIONS : 600mm x 1800mm

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur les documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez éviter l'achèvement de toute dimension enrou et/ou changements entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
 240 McLeod Boulevard Dr, Suite 200, Ottawa, ON
 Tel: (613) 254-9643

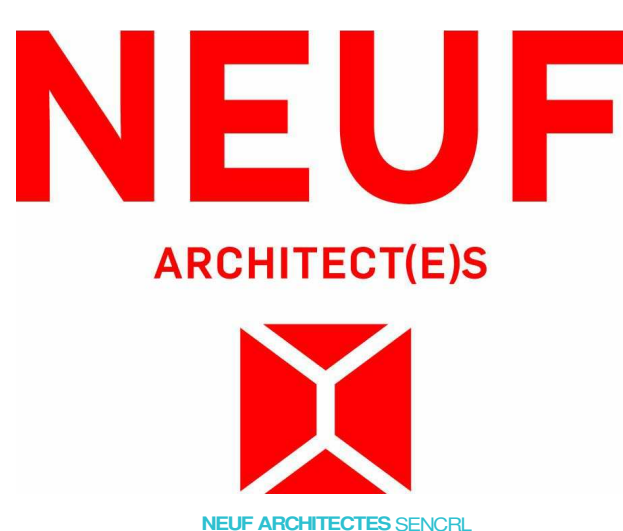
STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
 200-580 Terry Fox Drive, Kanata, ON K2L 4B9
 Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
 1600 Carling Ave, #530, Ottawa, ON K1Z 1G3
 Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
 3332 Carling Ave, Ottawa, ON K2H 5A6
 Tel: (613) 772-5168

ARCHITECTES / Architects
NEUF architect(e)s SENCRL
 630, boul. René-Lévesque O. 32e étage, Montréal OC H3B 1S6
 T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

COUVREGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS
 EMPLACEMENT / Location : 2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa
 NO PROJET / No. : 12165

NO	REVISION	DATE (aa-mm-jj)
F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
I	SITE PLAN CONTROL	20/08/10
K	SITE PLAN CONTROL	20/10/13

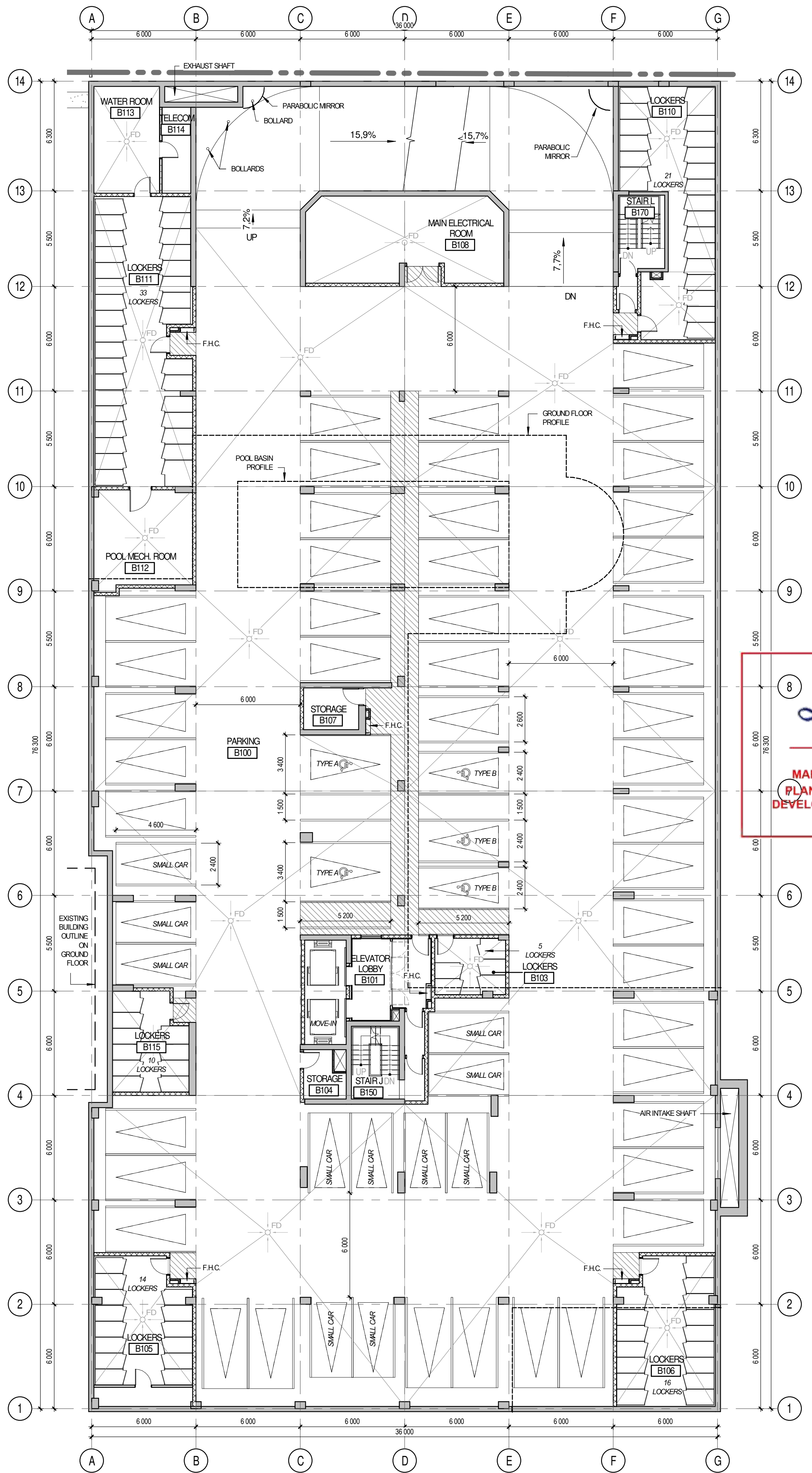
DESIGNÉ PAR / Drawn by
 GO/SJD
 DATE (aa-mm-jj) : 20/04/28
 TITRE DU DESSIN / Drawing Title : **SITE PLAN (ROOF LEVEL)**

VÉRIFIÉ PAR / Checked
 HG
 ÉCHELLE / Scale : Comme indiqué

SITE PLAN (ROOF LEVEL)
 1 : 250

REVISION / Revision : **K**
 NO. DESSIN / Dwg Number : **A-102**

DOT-12-20-0050 18152

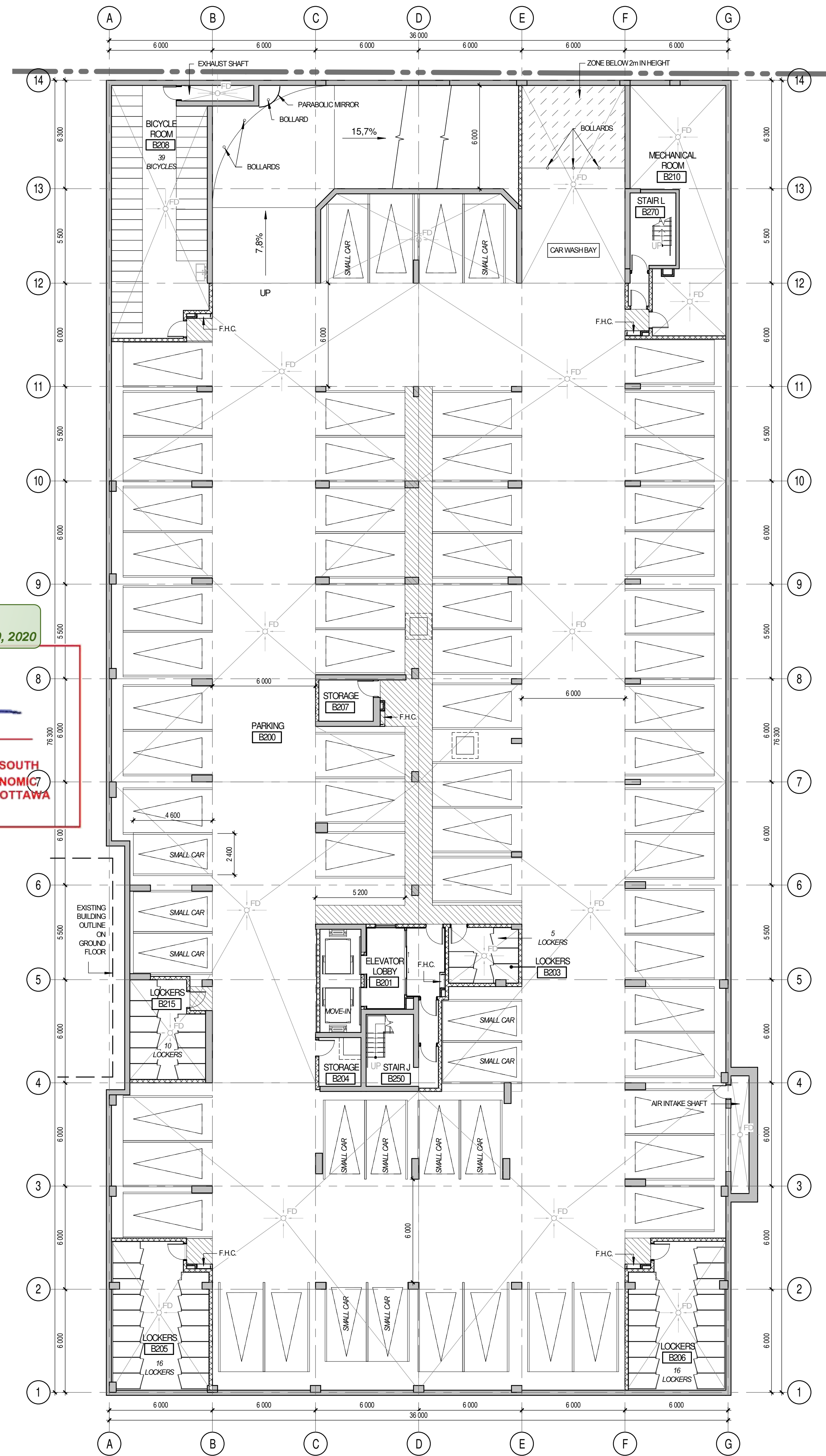


GARAGE LEVEL 1
1:150

GARAGE LEVEL 1

STD PARKING SPACES:	45
SMALL CAR SPACES:	11
ACCESSIBLE SPACES:	5
TOTAL PARKING:	61
LOCKERS:	99
BICYCLE RACKS:	0

2
A-200



GARAGE LEVEL 2
1:150

GARAGE LEVEL 2

STD PARKING SPACES:	58
SMALL CAR SPACES:	13
ACCESSIBLE SPACES:	0
TOTAL PARKING:	71
LOCKERS:	47
BICYCLE RACKS:	39

1
A-200

APPROVED
By Lily Xu at 12:44 pm, Nov 10, 2020



LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne doivent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension en erreur et/ou changements entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
240 McLeod Copeland Dr, Suite 200, Ottawa, ON
Tel: (613) 254-9643

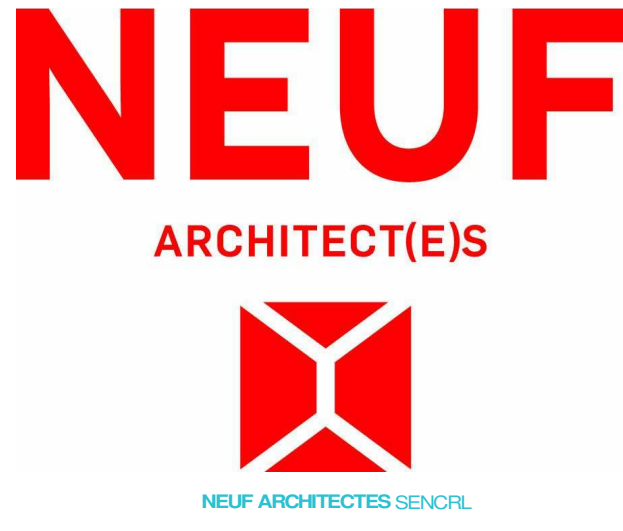
STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
200-580 Terry Fox Drive, Kanata, ON K2L 4B9
Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
1600 Carling Ave, #530, Ottawa, ON K1Z 1G3
Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
3332 Carling Ave, Ottawa, ON K2H 5A6
Tel: (613) 772-5168

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 32e étage, Montréal OC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS

EMPLACEMENT / Location
2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa

NO / REVISION **DATE (aa-mm-jj)**

F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
K	SITE PLAN CONTROL	20/10/13

DESIGNÉ PAR / Drawn by
GOV/SJD

VÉRIFIÉ PAR / Checked
HG

DATE (aa/mm/jj)
20/04/28

ÉCHELLE / Scale
1:150

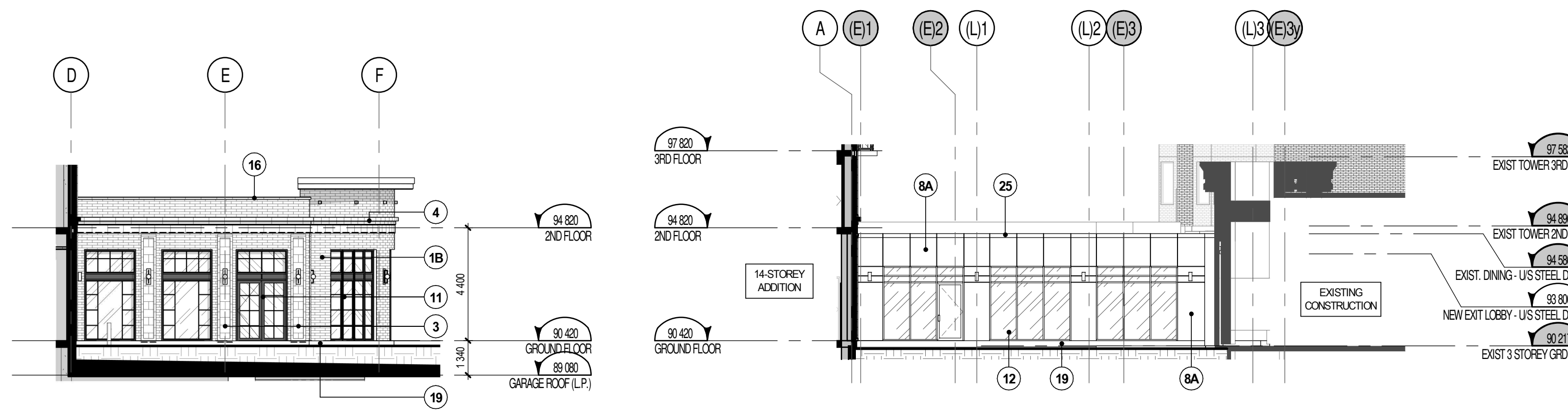
TITRE DU DESSIN / Drawing Title
GARAGE LEVEL 1 & 2

REVISION / Revision **NO. DESSIN / Dwg Number**

K **A-200**

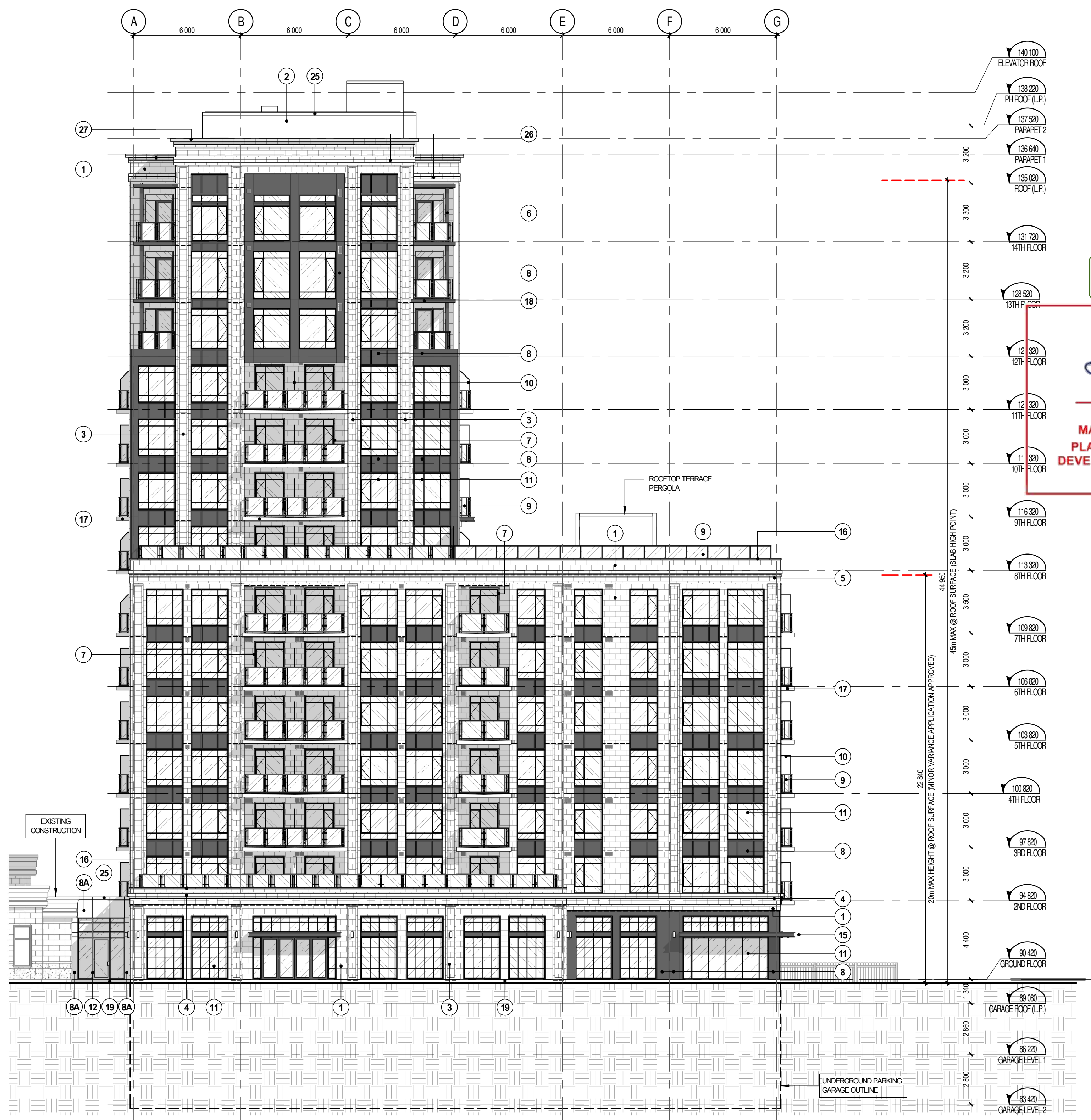
MATERIALS LEGEND

- 1 CLADDING: ARCHITECTURAL MASONRY BLOCK (500mm x 200mm x 90mm. SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1A CLADDING: ARCHITECTURAL MASONRY BLOCK (500mm x 200mm x 90mm. SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1B CLADDING: ARCHITECTURAL MASONRY BLOCK (190mm x 90mm x 90mm. SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 2 CLADDING: PRE-PAINTED STEEL, COLOR: NATURAL
- 3 PILASTER: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 4 CORNICE AT 2ND FLOOR: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 5 CORNICE AT 8TH FLOOR: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 6 COLUMNS: PAINTED STEEL, COLOR: DARK BRONZE
- 7 WINDOW FRAME: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 8 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 8A CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: NATURAL
- 9 GUARDRAIL: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS PANELS. NOISE-ATTENUATING GUARDRAIL DESIGN TO BE PROPOSED AROUND THE 8TH FLOOR PUBLIC TERRACE.
- 10 PRIVACY SCREEN: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & TRANSLUCENT TEMPERED GLASS PANELS
- 11 WINDOWS & ENTRY DOORS: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS
- 12 CURTAIN WALL: ANODIZED ALUMINIUM FRAME (COLOR: NATURAL) & CLEAR TEMPERED GLASS
- 13 REMOVED
- 14 DOORS: PAINTED STEEL, COLOR: DARK BRONZE (SEE DOOR SCHEDULE)
- 15 MARQUEE: PRE-PAINTED ANODIZED ALUMINIUM PANELS, COLOR: DARK BRONZE
- 16 PARAPET CAP: MASONRY BLOCK UNITS AND FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 17 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH SMOOTH, COLOR: TO BE CONFIRMED
- 18 BALCONY FASCIA: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 19 FOUNDATION WALL (ABOVE GROUND): PAVING, COLOR: TO BE CONFIRMED
- 20 REMOVED
- 21 METALLIC FLASHING: COLOR TO MATCH THE EXISTING BRICK FLASHING
- 22 WINDOWS: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 23 CURTAIN WALL: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 24 DOORS: PAINTED STEEL, COLOR: TO MATCH THE MASONRY BLOCK (SEE DOOR SCHEDULE)
- 25 METALLIC FLASHING: COLOR TO MATCH THE ADJACENT ANODIZED ALUMINIUM FINISH
- 26 CORNICE AT ROOF PARAPETS: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 27 CROWN CORNICE: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED

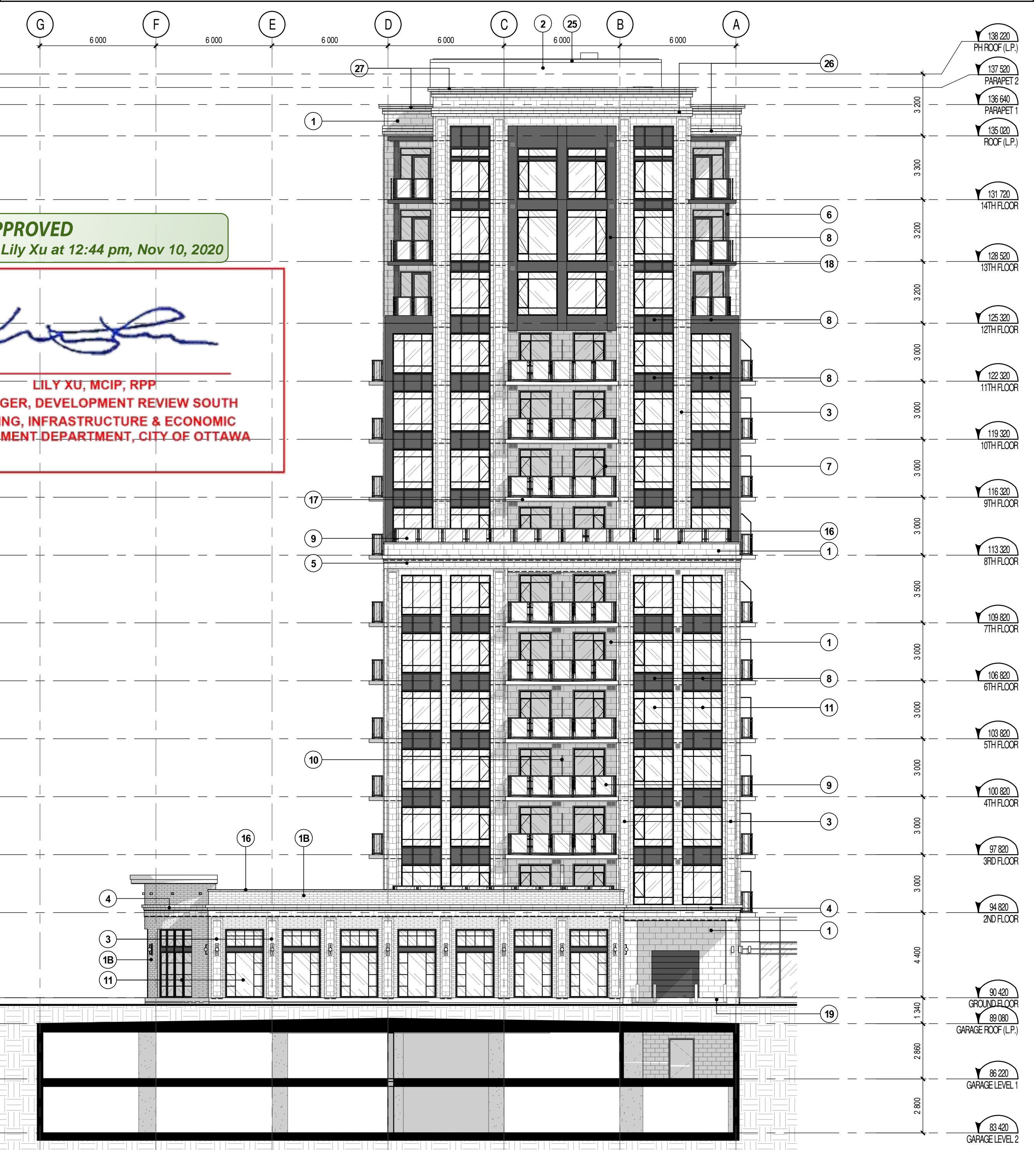


SOUTH ELEVATION (POOL)
1:150

NORTH ELEVATION - NEW LINK GALLERY
1:150



SOUTH ELEVATION
1:150



NORTH ELEVATION
1:150

APPROVED
By Lily Xu at 12:44 pm, Nov 10, 2020

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

NOTES GÉNÉRALES / General Notes

- 1. Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- 2. Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- 3. Veuillez aviser l'architecte de toute dimension en erreur ou en changeant entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- 4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
240 McLeod Comland Dr, Suite 200, Ottawa, ON
Tel: (613) 254-9643

STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
200-580 Terry Fox Drive, Kanata, ON K2L 4E9
Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
1600 Carling Ave, #530, Ottawa, ON K1Z 1G3
Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
3332 Carling Ave, Ottawa, ON K2H 5A6
Tel: (613) 772-5168

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS

EMPLACEMENT / Location: 2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa
NO. PROJET / No.: 12165

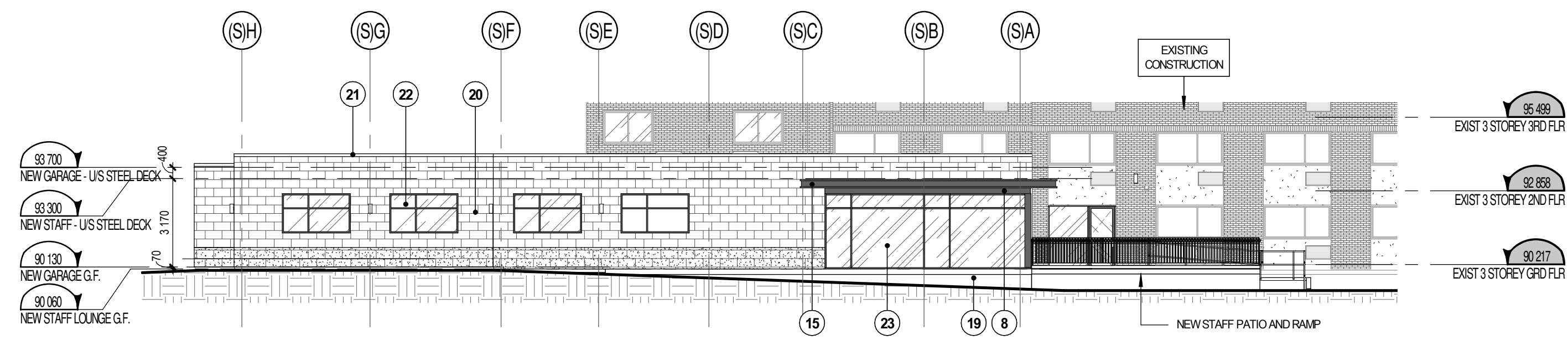
NO.	REVISION	DATE (aa-mm-jj)
F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
K	SITE PLAN CONTROL	20/10/13

DESSINÉ PAR / Drawn by: GOVSJD
DATE (aa-mm-jj): 20/04/28
TITRE DU DESSIN / Drawing Title: ELEVATIONS

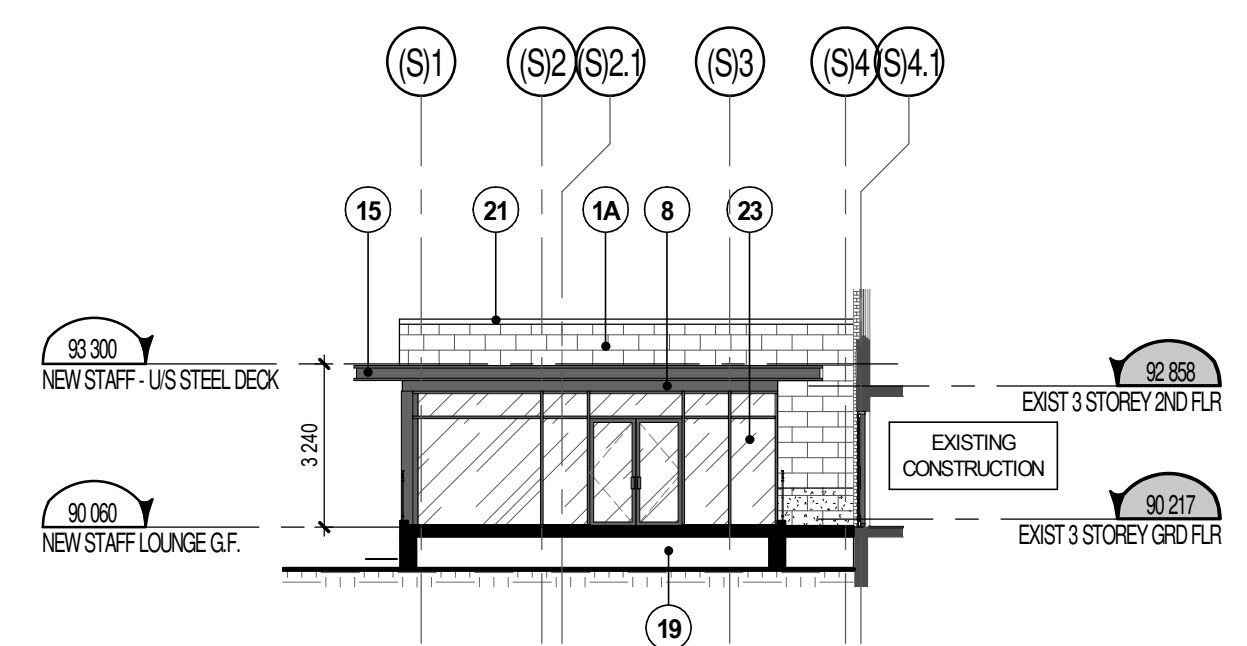
VERIFIÉ PAR / Checked by: HG
ÉCHELLE / Scale: Comme indiqué

ELEVATIONS

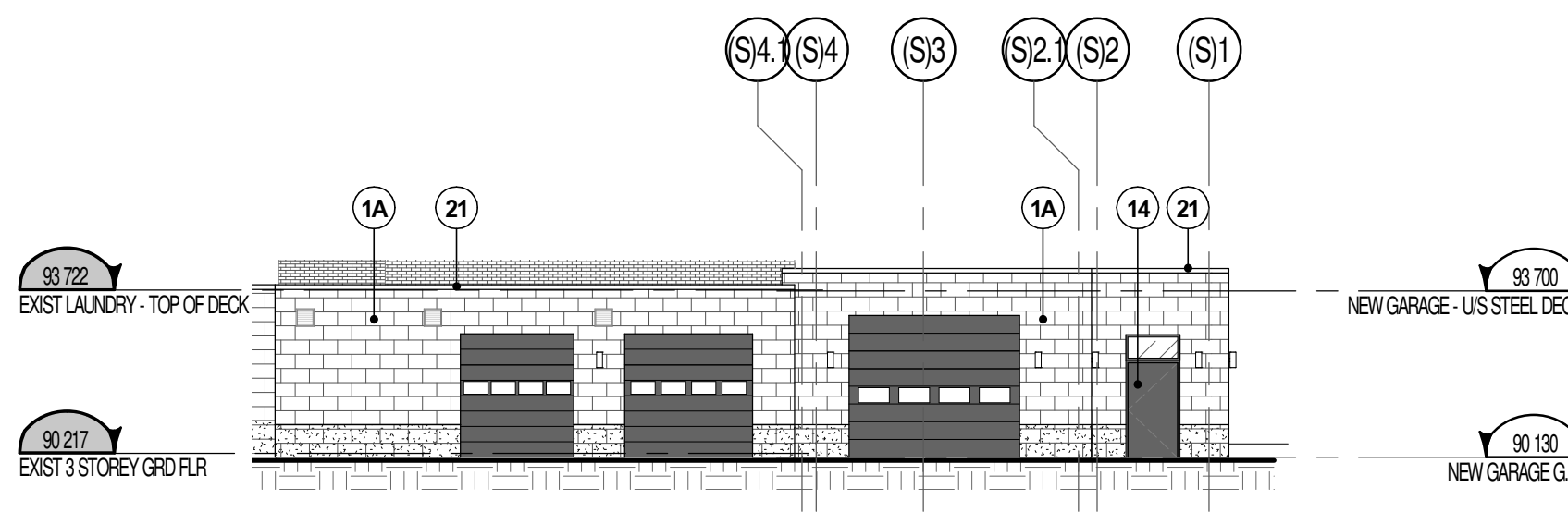
REVISION / Révision: **K**
NO. DESSIN / Dwg Number: **A-400**
18152



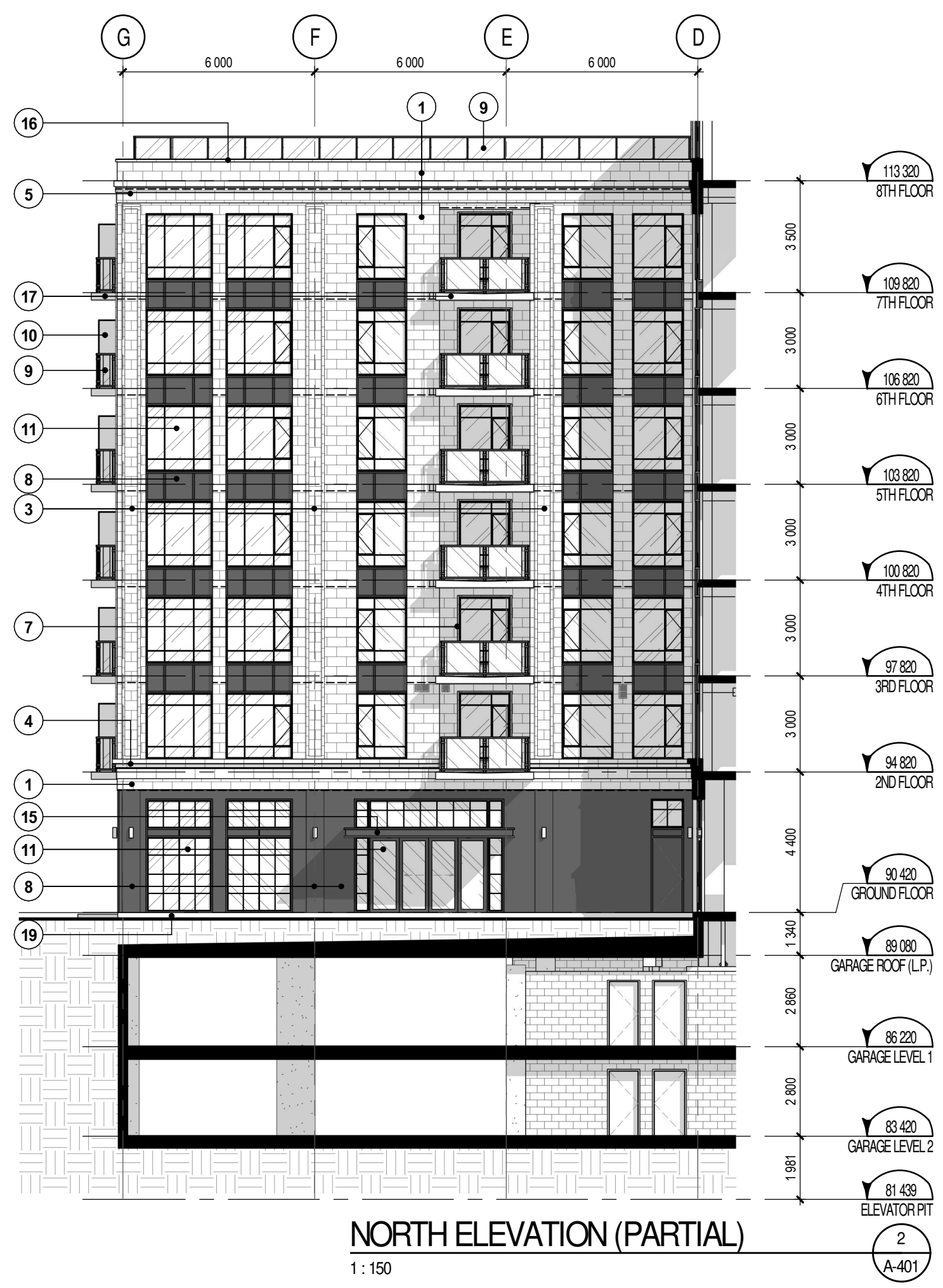
NORTH ELEVATION - NEW GARAGE & STAFF LOUNGE
1: 150



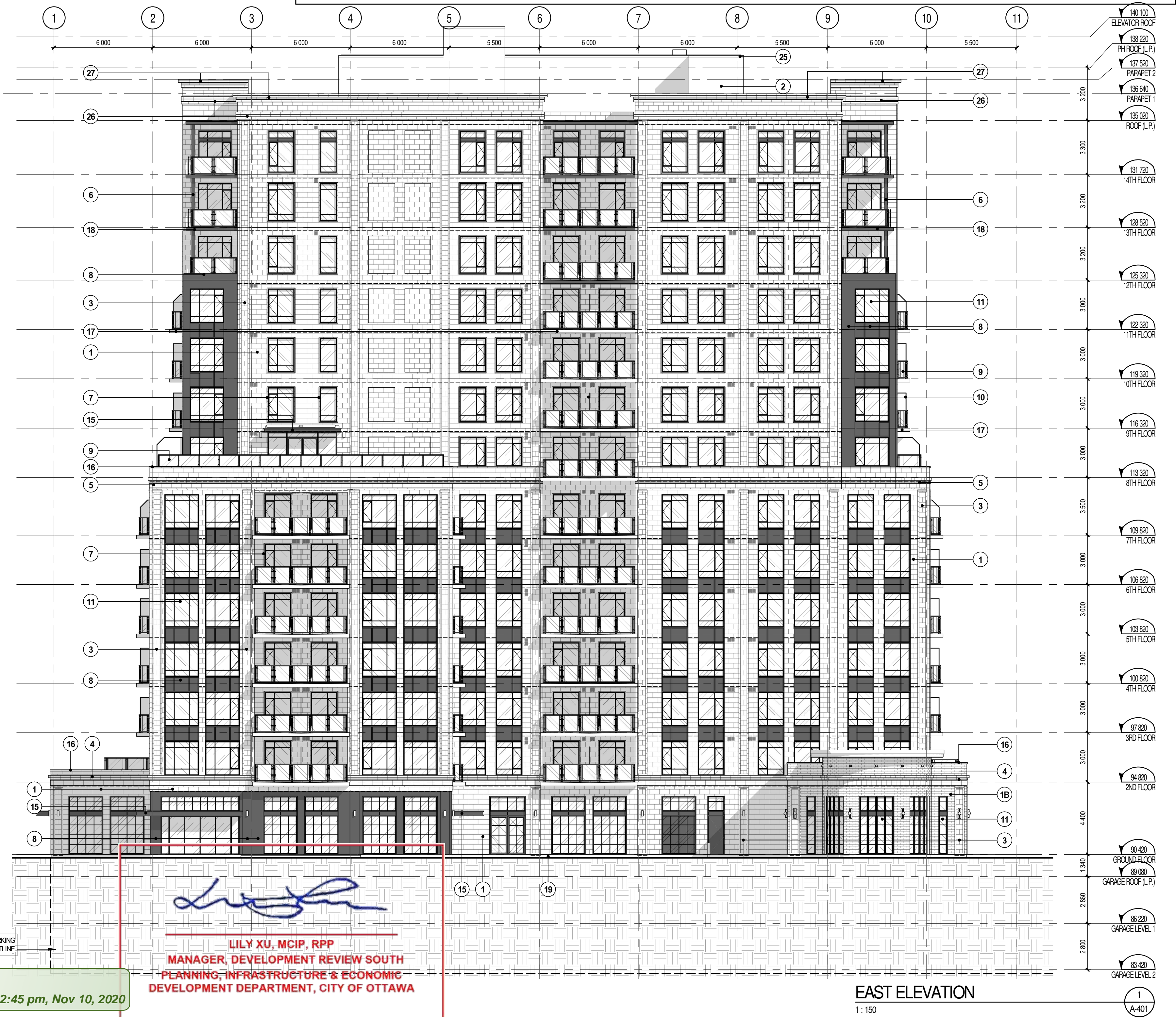
WEST ELEVATION - NEW STAFF LOUNGE
1: 150



EAST ELEVATION - NEW GARAGE
1: 150



NORTH ELEVATION (PARTIAL)
1: 150



EAST ELEVATION
1: 150

MATERIALS LEGEND

- 1 CLADDING: ARCHITECTURAL MASONRY BLOCK (500mm x 200mm x 90mm, SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1A CLADDING: ARCHITECTURAL MASONRY BLOCK (500mm x 200mm x 90mm, SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1B CLADDING: ARCHITECTURAL MASONRY BLOCK (190mm x 90mm x 90mm, SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 2 CLADDING: PRE-PAINTED STEEL, COLOR: NATURAL
- 3 PILASTER: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 4 CORNICE AT 2ND FLOOR: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 5 CORNICE AT 8TH FLOOR: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 6 COLUMNS: PAINTED STEEL, COLOR: DARK BRONZE
- 7 WINDOW FRAME: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 8 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 8A CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: NATURAL
- 9 GUARDRAIL: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS PANELS. NOISE-ATTENUATING GUARDRAIL DESIGN TO BE PROPOSED AROUND THE 8TH FLOOR PUBLIC TERRACE.
- 10 PRIVACY SCREEN: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & TRANSLUCENT TEMPERED GLASS PANELS
- 11 WINDOWS & ENTRY DOORS: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS
- 12 CURTAIN WALL: ANODIZED ALUMINIUM FRAME (COLOR: NATURAL) & CLEAR TEMPERED GLASS
- 13 REMOVED
- 14 DOORS: PAINTED STEEL, COLOR: DARK BRONZE (SEE DOOR SCHEDULE)
- 15 MARQUEE: PRE-PAINTED ANODIZED ALUMINIUM PANELS, COLOR: DARK BRONZE
- 16 PARAPET CAP: MASONRY BLOCK, UNITS AND FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 17 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH: SMOOTH, COLOR: TO BE CONFIRMED
- 18 BALCONY FASCIA: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 19 FOUNDATION WALL (ABOVE GROUND): PARPING, COLOR: TO BE CONFIRMED
- 20 REMOVED
- 21 METALLIC FLASHING: COLOR TO MATCH THE EXISTING BRICK FLASHING
- 22 WINDOWS: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 23 CURTAIN WALL: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 24 DOORS: PAINTED STEEL, COLOR: TO MATCH THE MASONRY BLOCK (SEE DOOR SCHEDULE)
- 25 METALLIC FLASHING: COLOR TO MATCH THE ADJACENT ANODIZED ALUMINIUM FINISH
- 26 CORNICE AT ROOF PARAPETS: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 27 CROWN CORNICE: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED

NOTES GÉNÉRALES / General Notes

- 1. Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- 2. Les dimensions apparaissant sur les documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- 3. Veuillez aviser l'architecte de toute dimension erreur et/ou changements entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- 4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
240 Michael Compend Dr., Suite 200, Ottawa, ON
Tel: (613) 254-9643

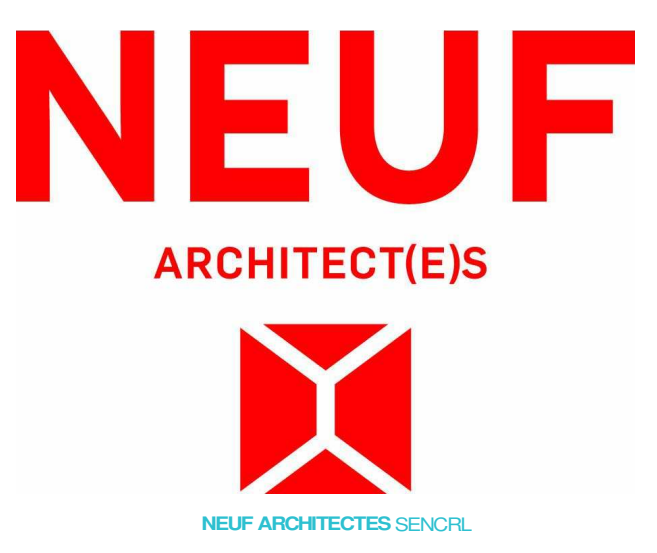
STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
200-580 Terry Fox Drive, Kanata, ON K2L 4B9
Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
1600 Carling Ave., #530, Ottawa, ON K1Z 1G3
Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
3332 Carling Ave., Ottawa, ON K2H 5A6
Tel: (613) 772-5168

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS

EMPLACEMENT / Location: 2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa
NO PROJET No: 12165

NO	REVISION	DATE (aa-mm-jj)
F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
K	SITE PLAN CONTROL	20/10/13

DESSINÉ PAR / Drawn by: GOV/JD
DATE (aa-mm-jj): 20/04/28
TITRE DU DESSIN / Drawing Title: ELEVATIONS

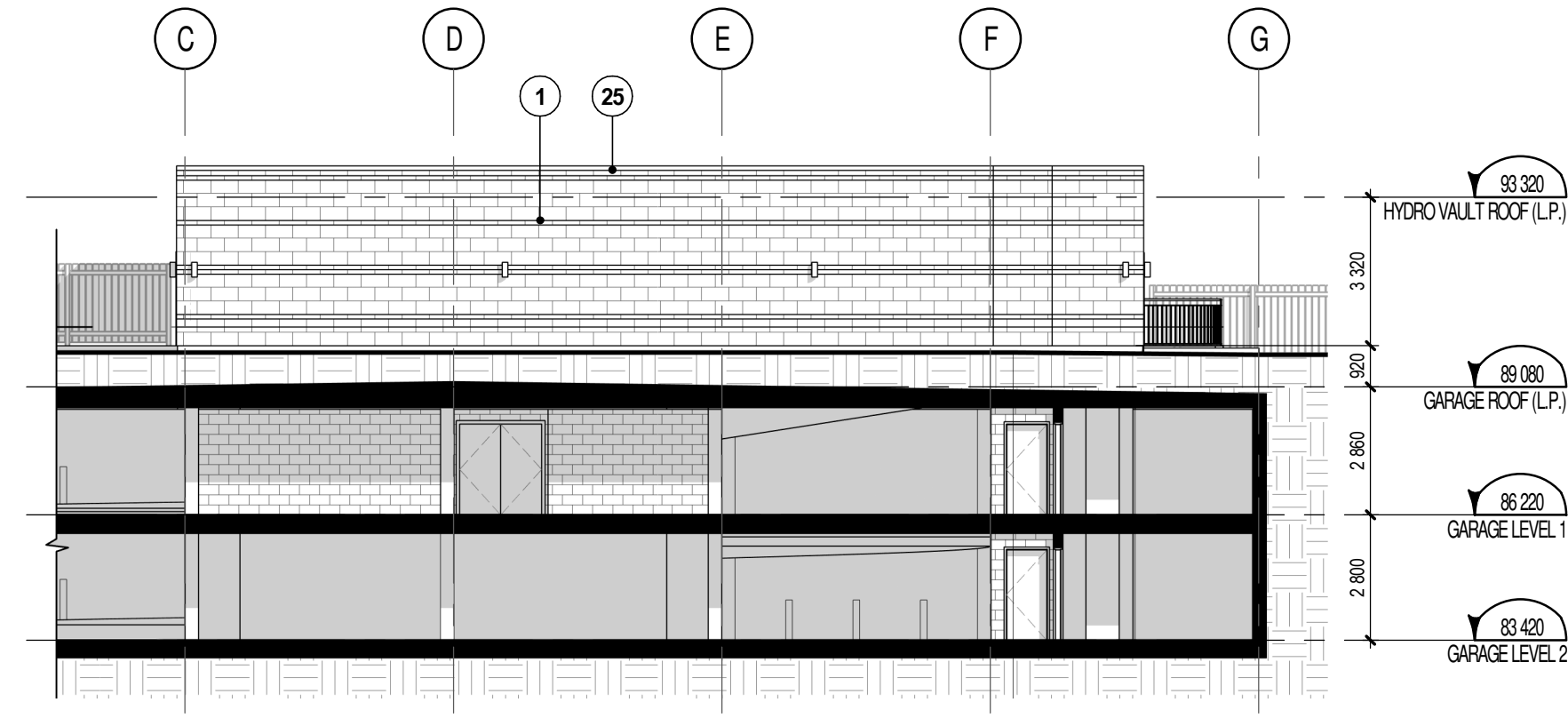
VERIFIÉ PAR / Checked: HG
ÉCHELLE / Scale: Comme indiqué

ELEVATIONS

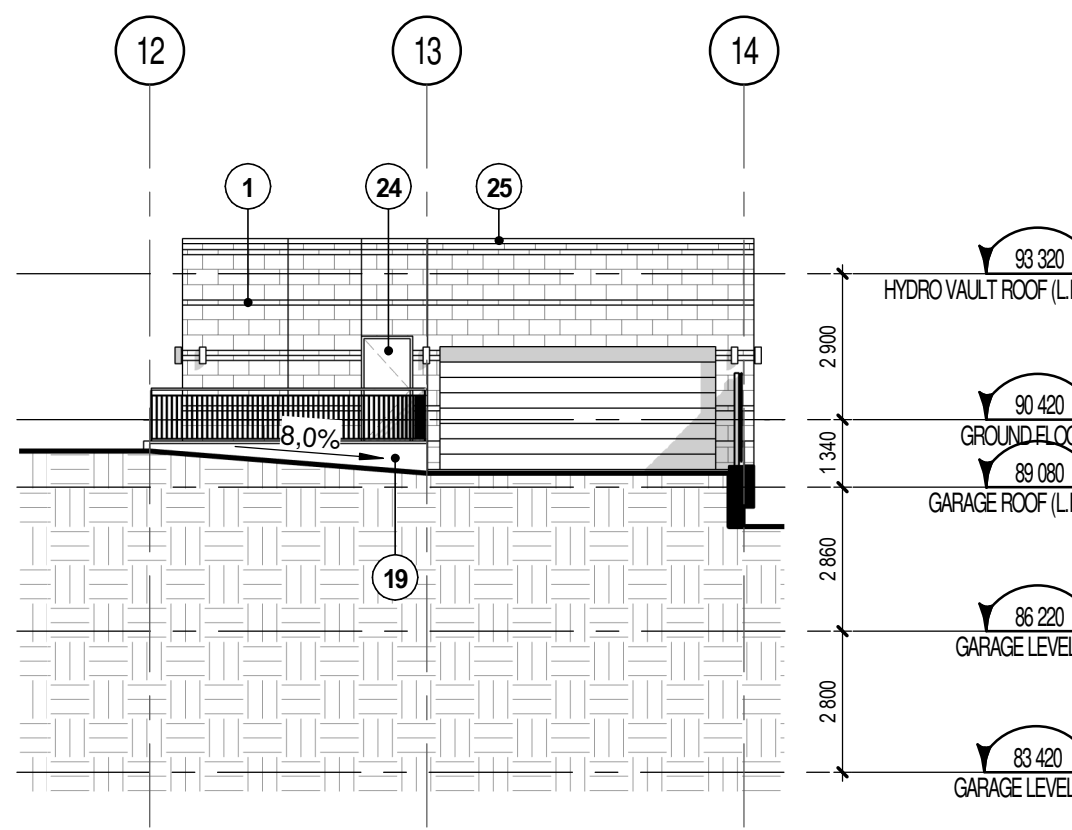
REVISION / Revision: **K**
NO. DESSIN / Dwg Number: **A-401**

APPROVED
By Lily Xu at 12:45 pm, Nov 10, 2020

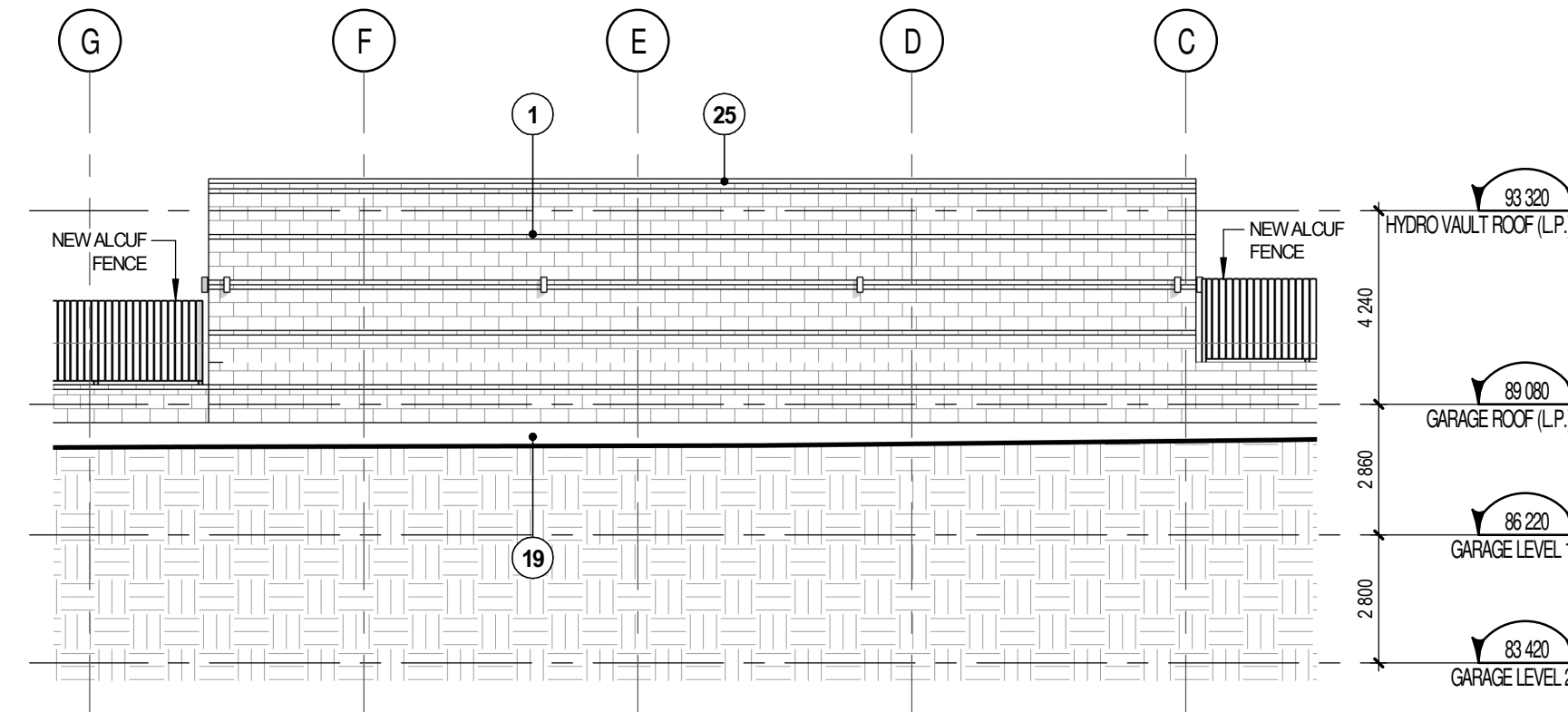
Lily Xu
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



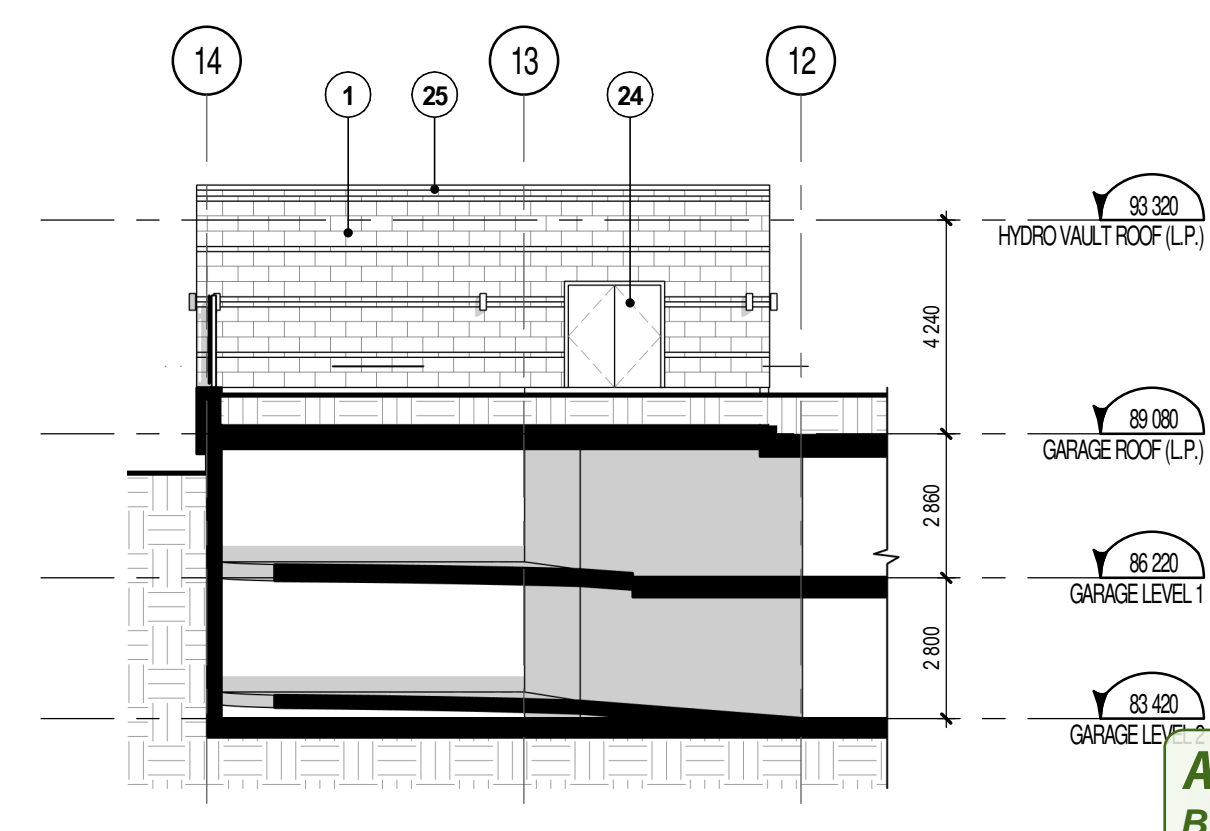
SOUTH ELEVATION - HYDRO VAULT
1:150



EAST ELEVATION - HYDRO VAULT
1:150



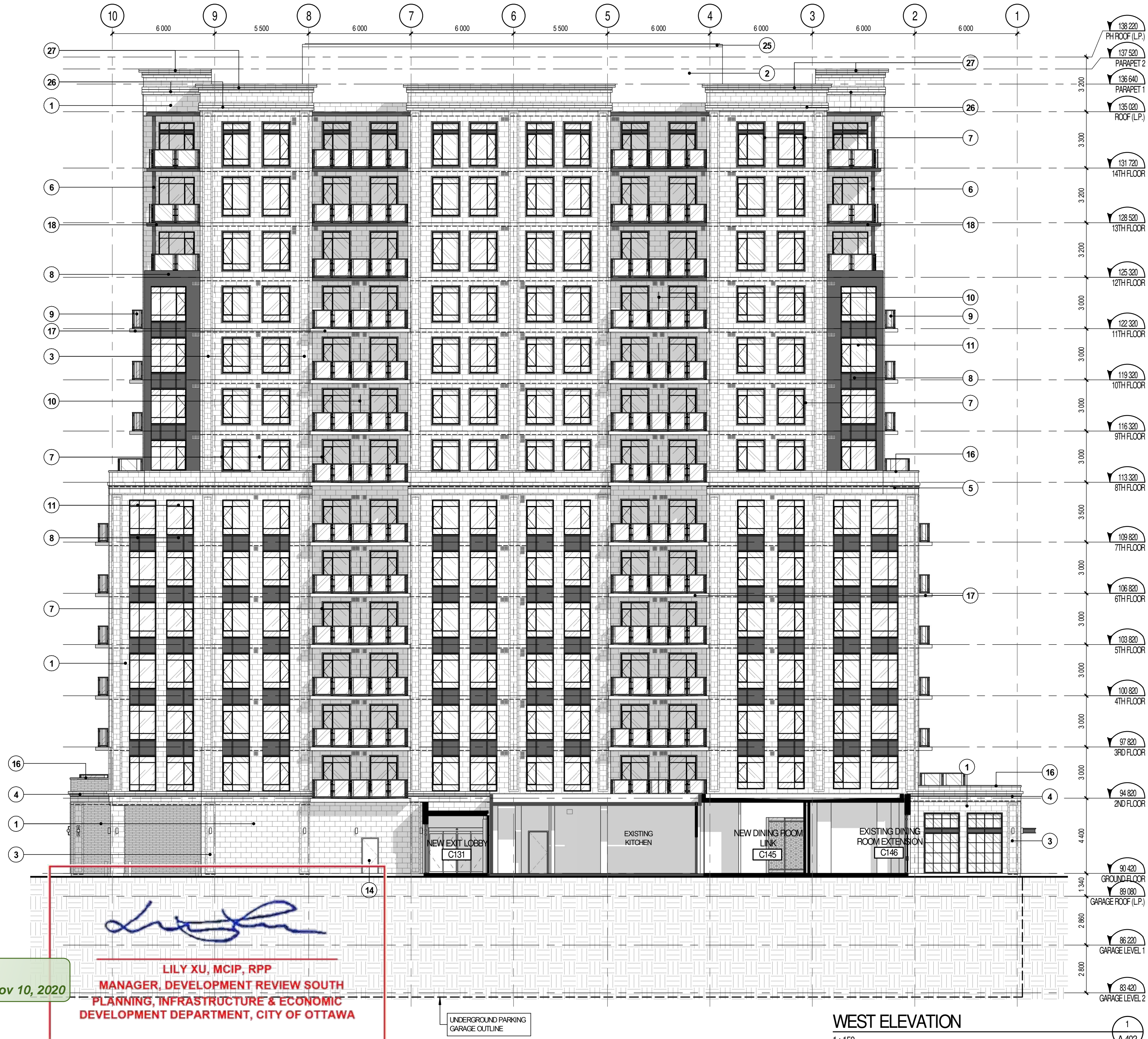
NORTH - ELEVATION HYDRO VAULT
1:150



WEST ELEVATION - HYDRO VAULT
1:150

MATERIALS LEGEND

- 1 CLADDING: ARCHITECTURAL MASONRY BLOCK (500mm x 250mm x 90mm, SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1A CLADDING: ARCHITECTURAL MASONRY BLOCK (500mm x 250mm x 90mm, SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 1B CLADDING: ARCHITECTURAL MASONRY BLOCK (190mm x 90mm x 90mm, SEE MASONRY STACKING SECTIONS FOR DETAILS), FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 2 CLADDING: PRE-PAINTED STEEL, COLOR: NATURAL
- 3 PILASTER: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 4 CORNICE AT 2ND FLOOR: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 5 CORNICE AT 8TH FLOOR: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 6 COLUMNS: PAINTED STEEL, COLOR: DARK BRONZE
- 7 WINDOW FRAME: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 8 CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 8A CLADDING: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: NATURAL
- 9 GUARDRAIL: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS PANELS. NOISE-ATTENUATING GUARDRAIL DESIGN TO BE PROPOSED AROUND THE 8TH FLOOR PUBLIC TERRACE.
- 10 PRIVACY SCREEN: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & TRANSLUCENT TEMPERED GLASS PANELS
- 11 WINDOWS & ENTRY DOORS: PRE-PAINTED ANODIZED ALUMINIUM FRAME (COLOR: DARK BRONZE) & CLEAR TEMPERED GLASS
- 12 CURTAIN WALL: ANODIZED ALUMINIUM FRAME (COLOR: NATURAL) & CLEAR TEMPERED GLASS
- 13 REMOVED
- 14 DOORS: PAINTED STEEL, COLOR: DARK BRONZE (SEE DOOR SCHEDULE)
- 15 MARQUEE: PRE-PAINTED ANODIZED ALUMINIUM PANELS, COLOR: DARK BRONZE
- 16 PARAPET CAP: MASONRY BLOCK UNITS AND FINISH AND COLOR TO BE CONFIRMED, CEMENT JOINT TO MATCH MASONRY BLOCK COLOR
- 17 BALCONY FASCIA: ARCHITECTURALLY FINISHED CONCRETE, FINISH: SMOOTH, COLOR: TO BE CONFIRMED
- 18 BALCONY FASCIA: PRE-PAINTED ANODIZED ALUMINIUM, COLOR: DARK BRONZE
- 19 FOUNDATION WALL (ABOVE GROUND): PARPING, COLOR: TO BE CONFIRMED
- 20 REMOVED
- 21 METALLIC FLASHING: COLOR TO MATCH THE EXISTING BRICK FLASHING
- 22 WINDOWS: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 23 CURTAIN WALL: COLOR TO MATCH THE EXISTING ADJACENT WINDOWS
- 24 DOORS: PAINTED STEEL, COLOR: TO MATCH THE MASONRY BLOCK (SEE DOOR SCHEDULE)
- 25 METALLIC FLASHING: COLOR TO MATCH THE ADJACENT ANODIZED ALUMINIUM FINISH
- 26 CORNICE AT ROOF PARAPETS: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED
- 27 CROWN CORNICE: ARCHITECTURAL MASONRY BLOCK, FINISH AND COLOR TO BE CONFIRMED



Lily Xu
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Lily Xu at 12:45 pm, Nov 10, 2020

UNDERGROUND PARKING
GARAGE OUTLINE

WEST ELEVATION
1:150

NOTES GÉNÉRALES / General Notes

- 1. Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne doivent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- 2. Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- 3. Veuillez aviser l'architecte de toute dimension en erreur ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- 4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
240 Michael Comland Dr, Suite 200, Ottawa, ON
Tel: (613) 254-9643

STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
200-580 Terry Fox Drive, Kanata, ON K2L 4B9
Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
1600 Carling Ave, #530, Ottawa, ON K1Z 1G3
Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
3332 Carling Ave, Ottawa, ON K2H 5A6
Tel: (613) 772-5168

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS

EMPLACEMENT / Location NO PROJET / No.
2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa 12165

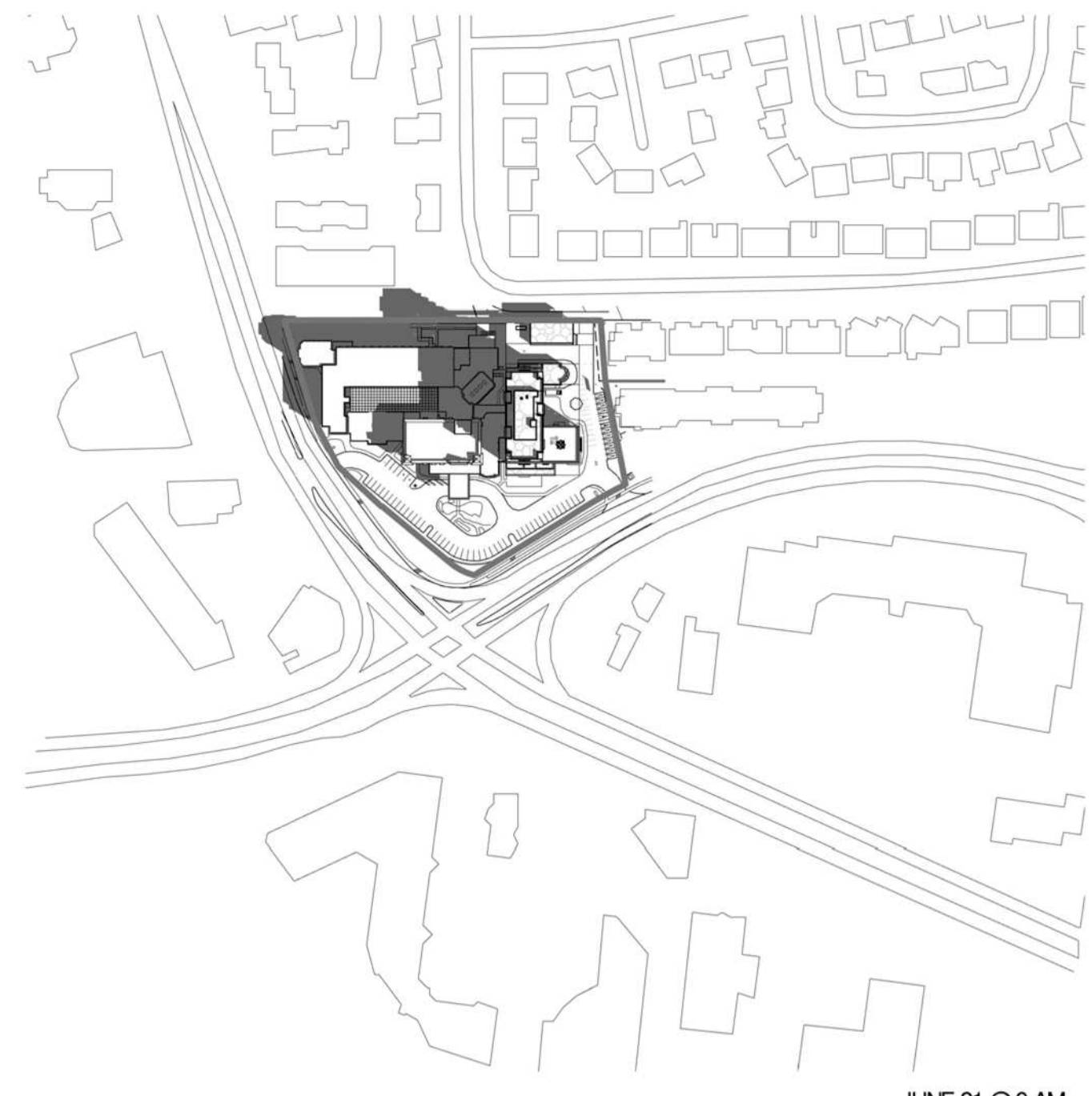
NO	REVISION	DATE (aa-mm-jj)
F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
K	SITE PLAN CONTROL	20/10/13

Preliminary
DO NOT USE FOR CONSTRUCTION

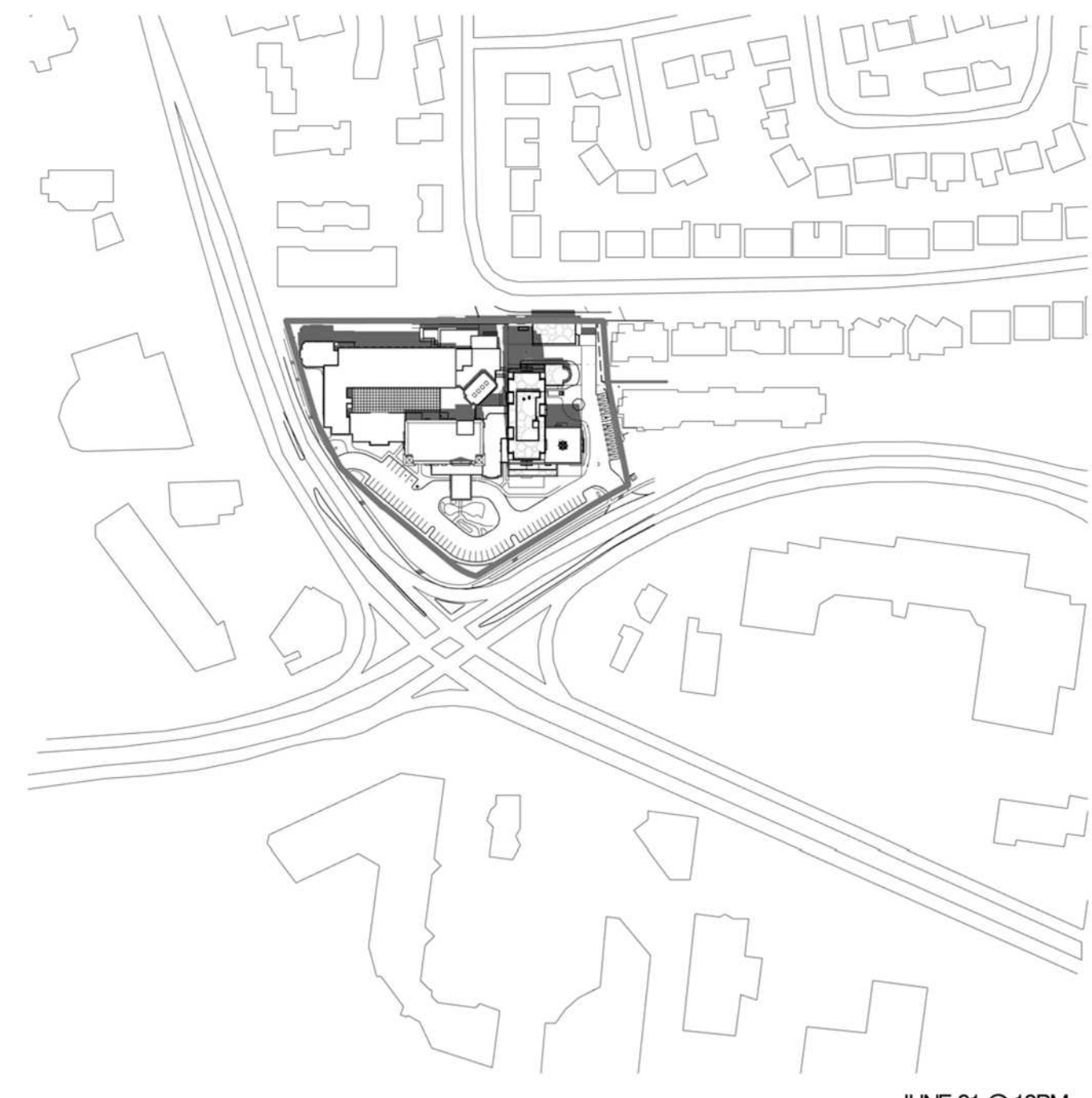
DESSINÉ PAR / Drawn by
GOVSJD
DATE (aa-mm-jj)
20/04/28
TITRE DU DESSIN / Drawing Title
ELEVATIONS

VERIFIÉ PAR / Checked
HG
ÉCHELLE / Scale
Comme indiqué

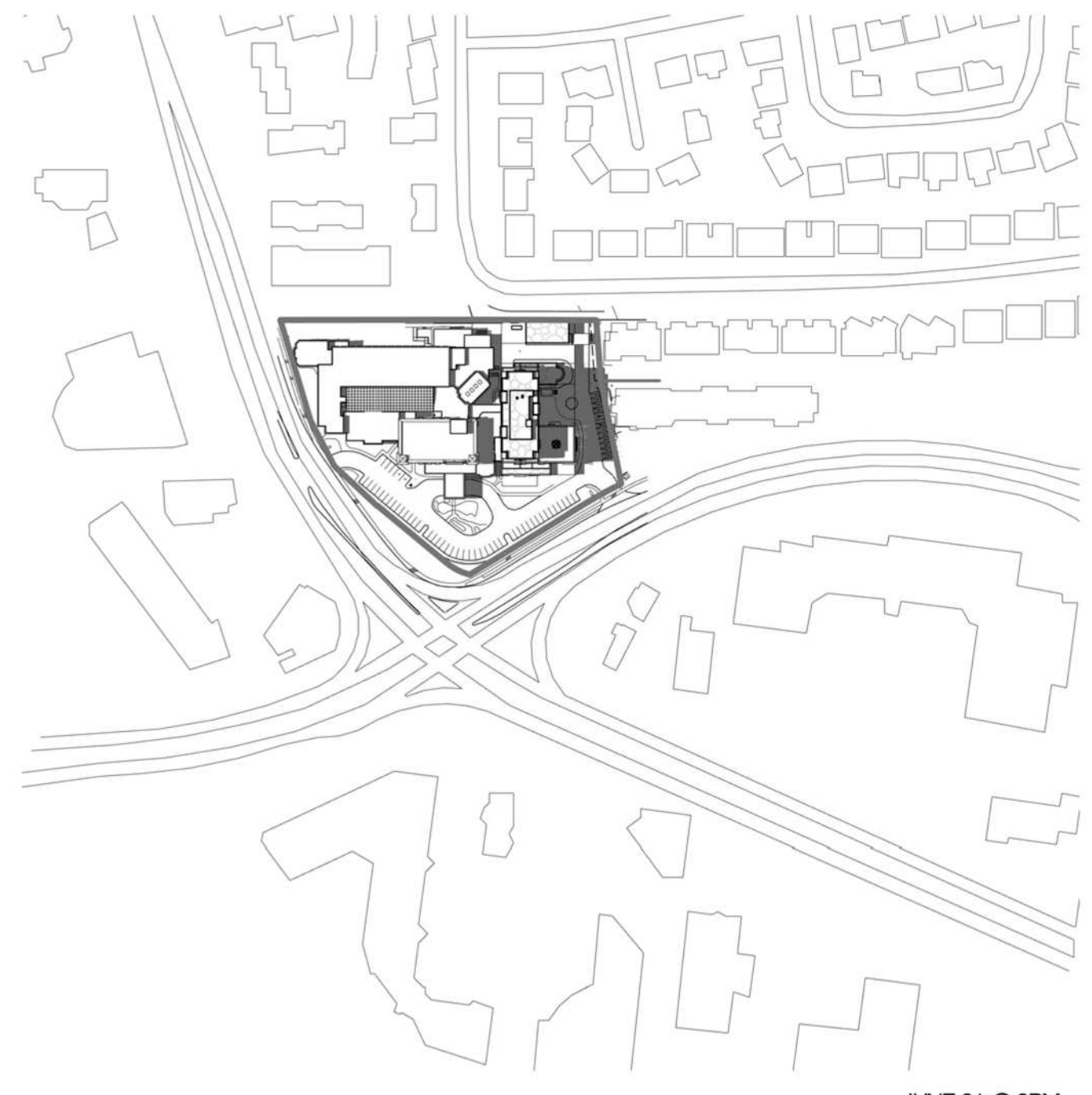
REVISION / Revision NO. DESSIN / Dwg Number
K **A-402**



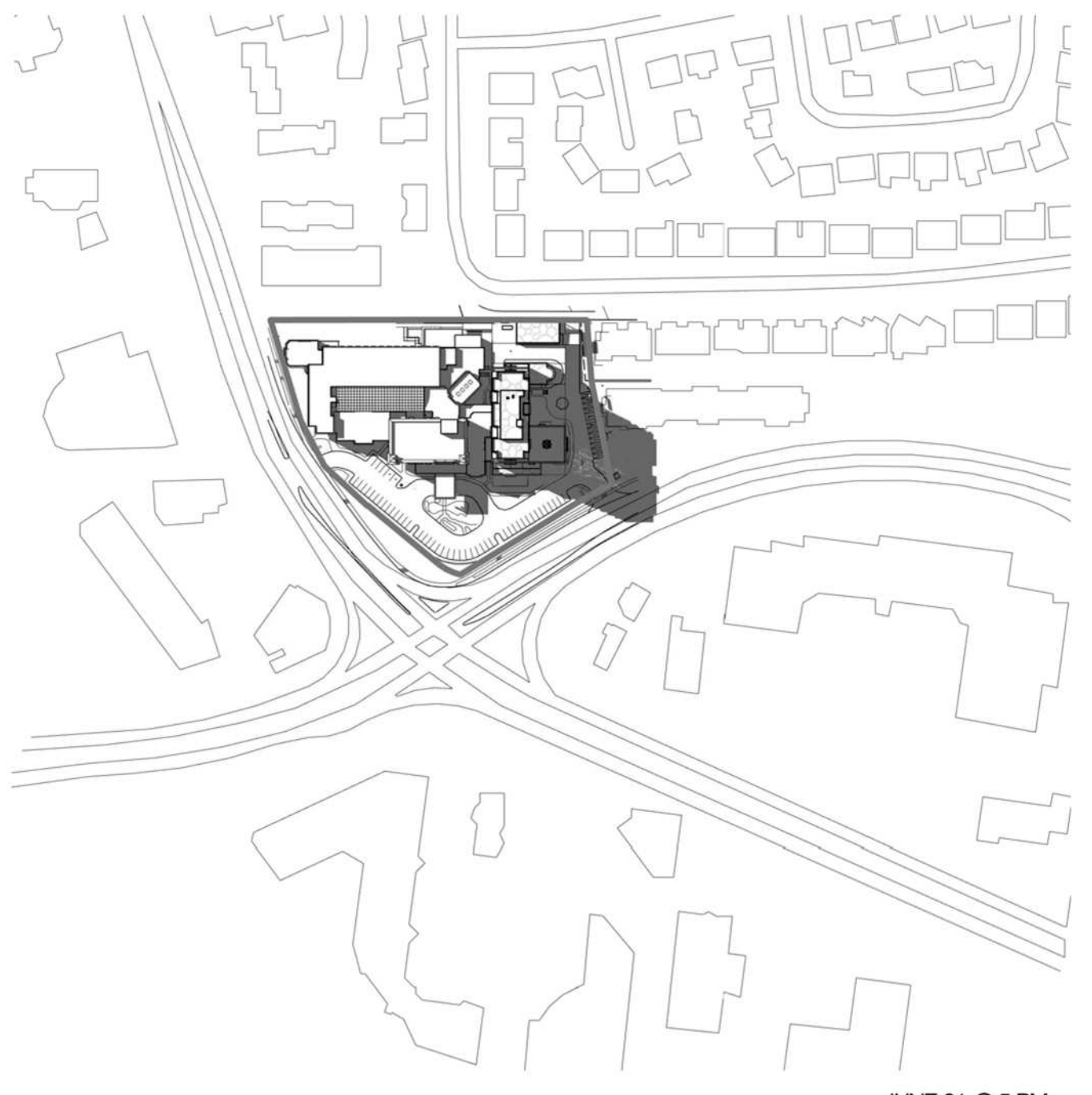
JUNE 21 @ 9 AM
1:3000



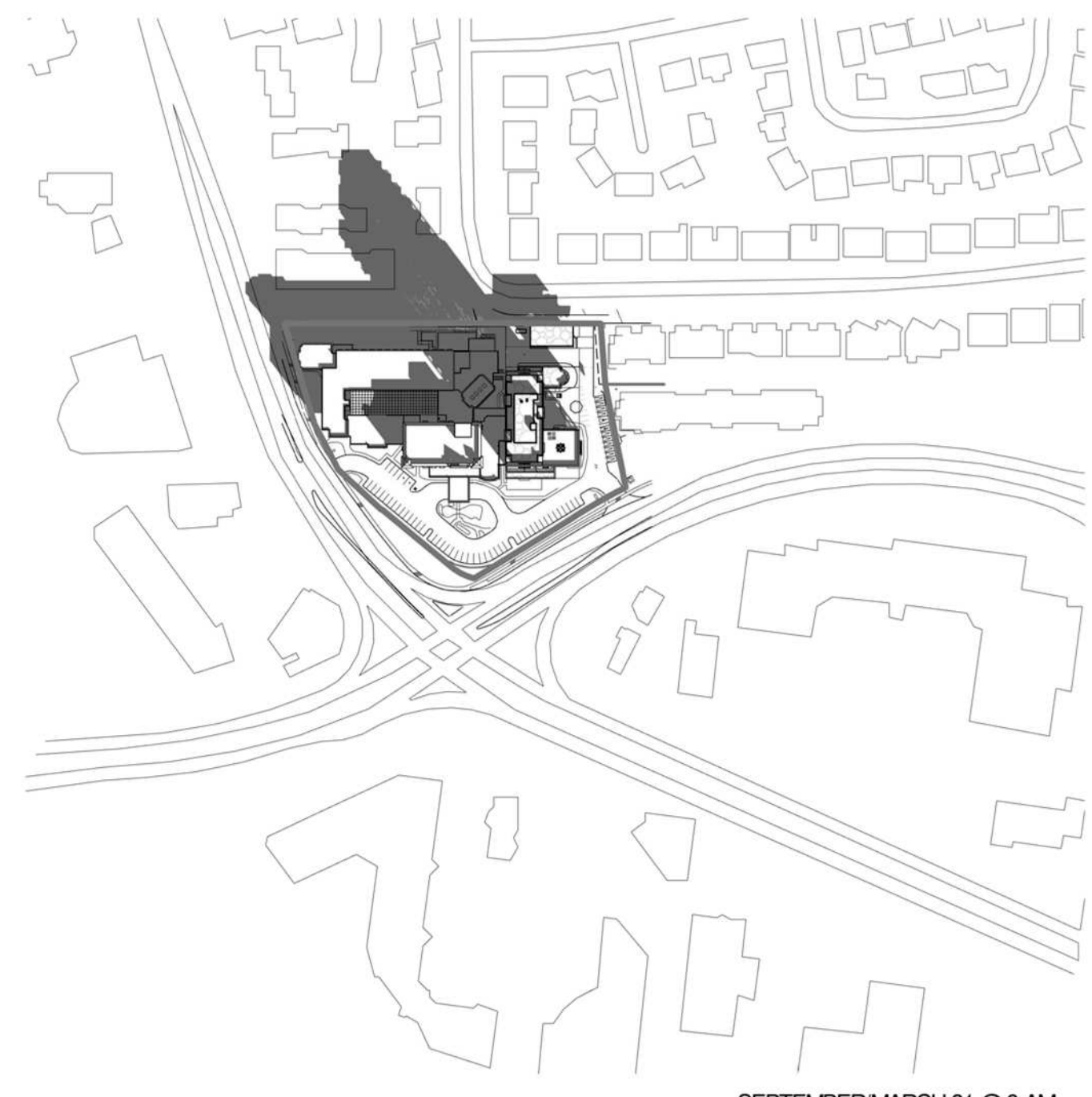
JUNE 21 @ 12PM
1:3000



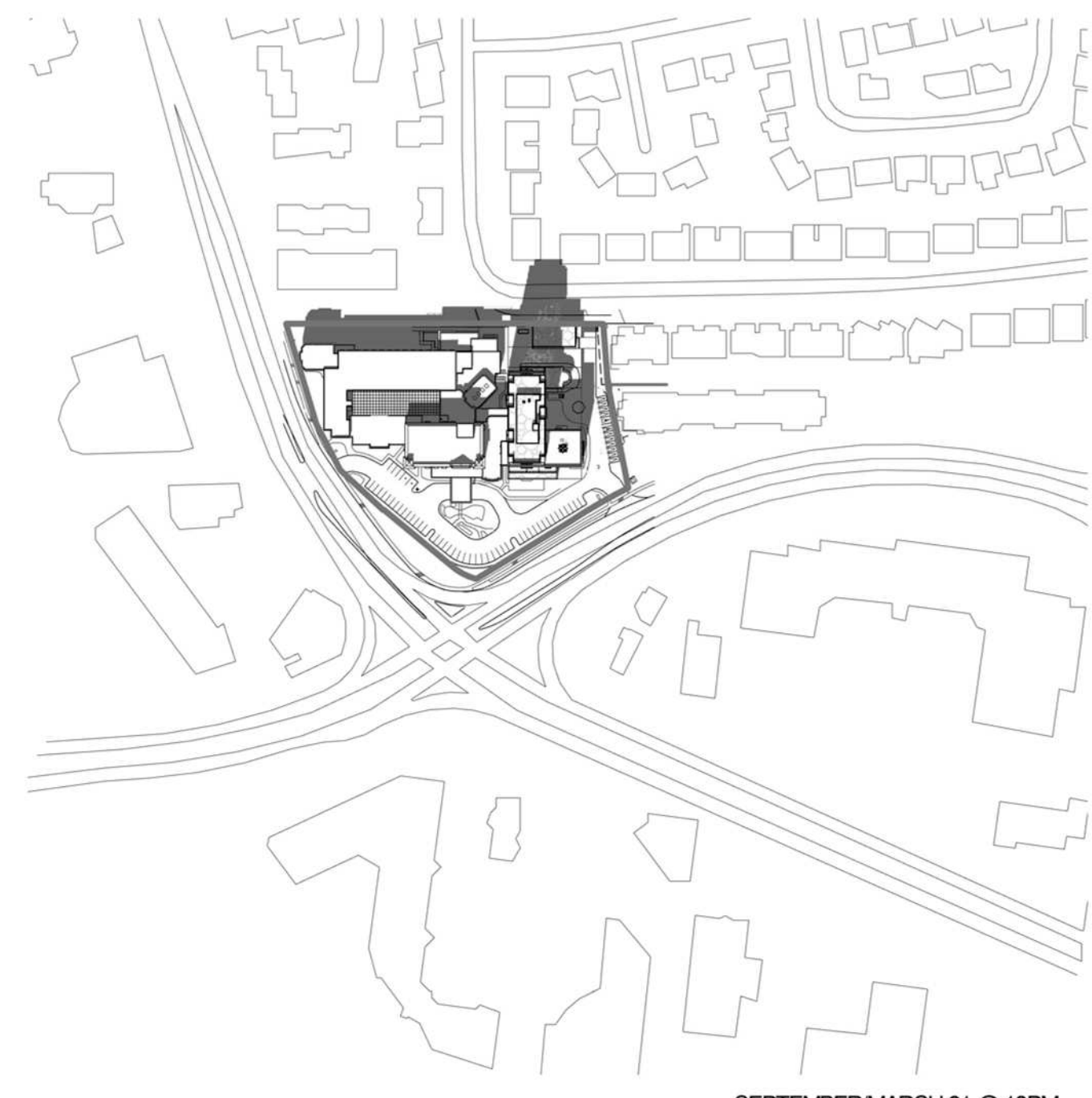
JUNE 21 @ 3PM
1:3000



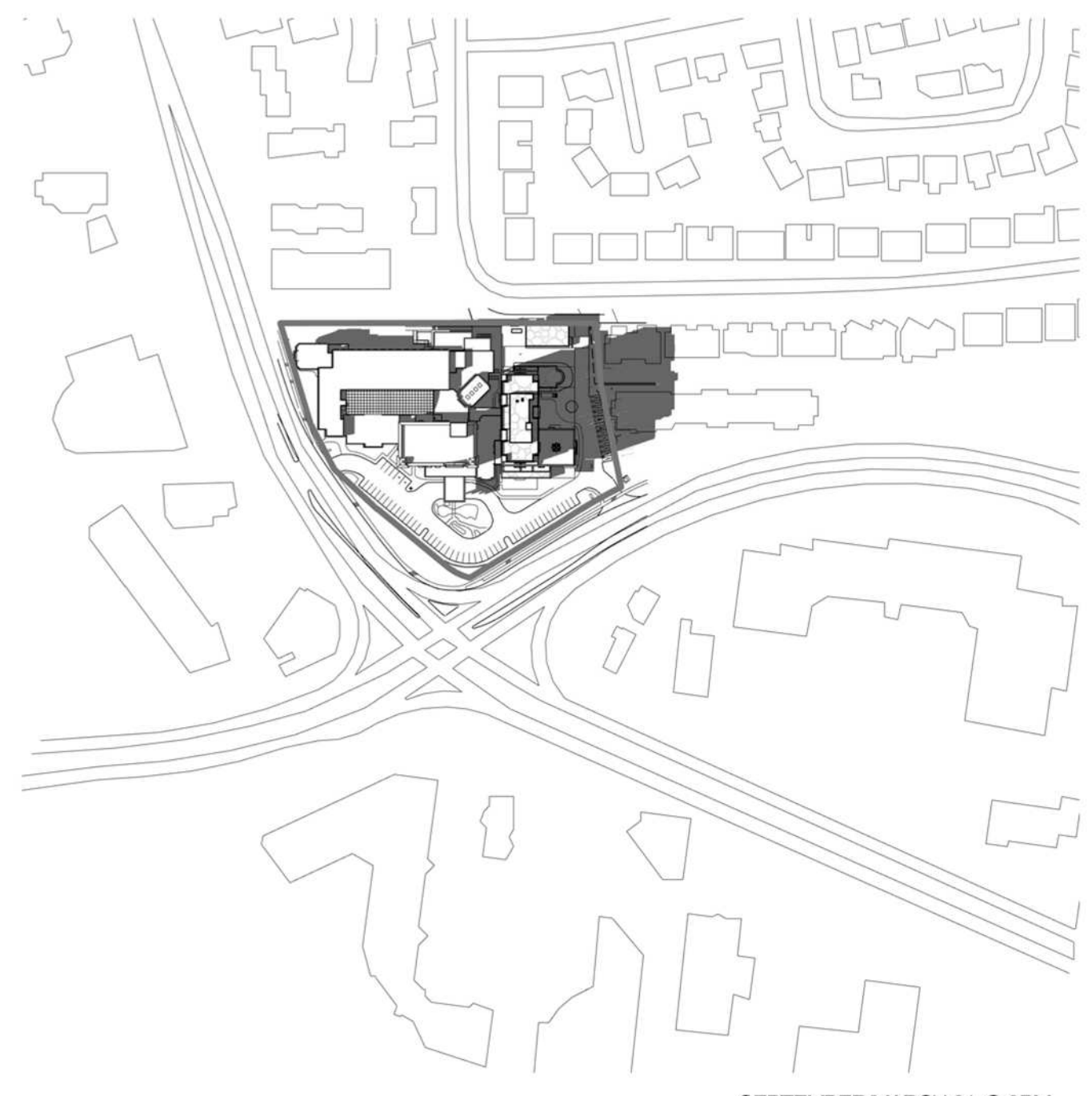
JUNE 21 @ 5 PM
1:3000



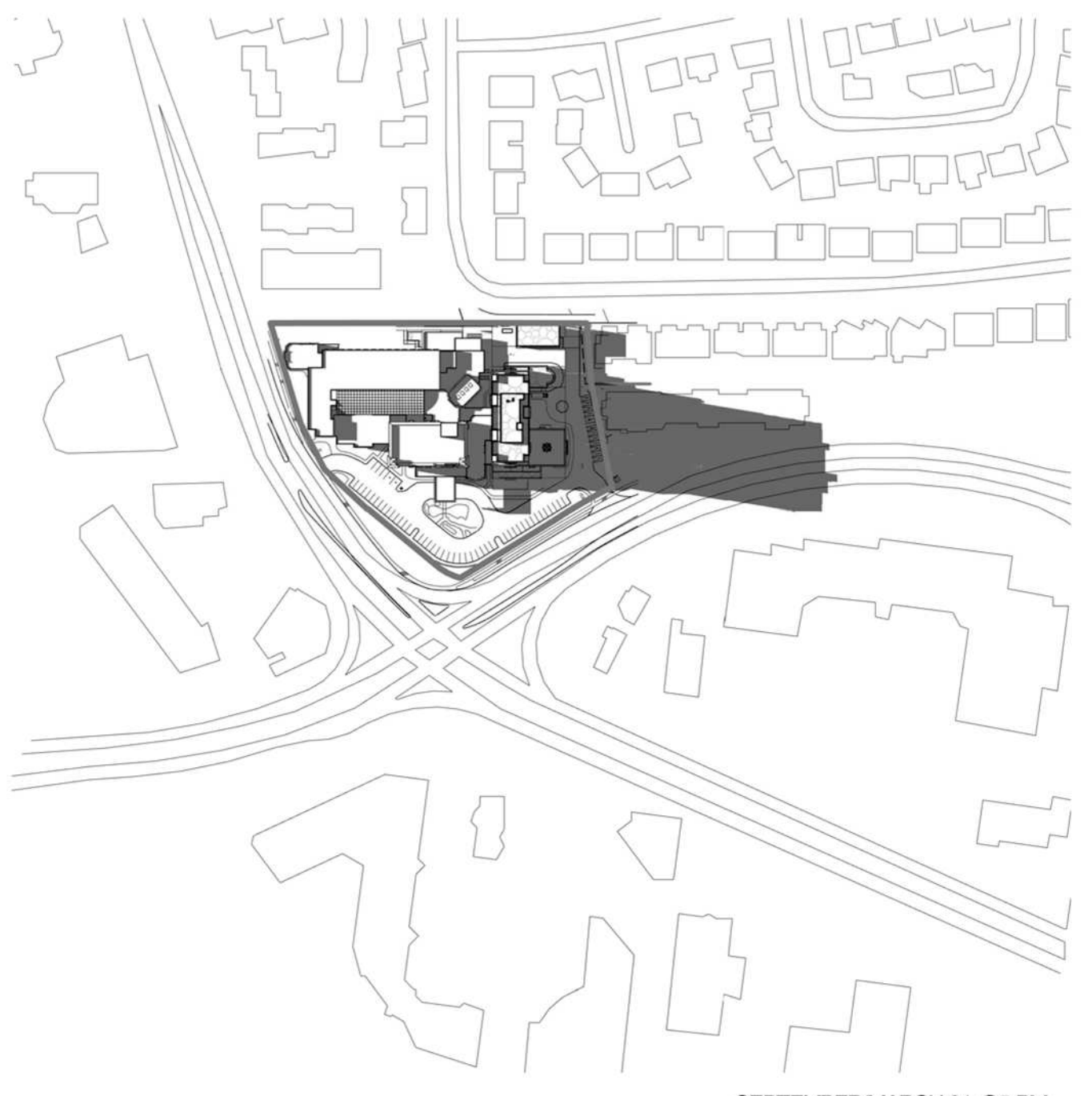
SEPTEMBER MARCH 21 @ 9 AM
1:3000



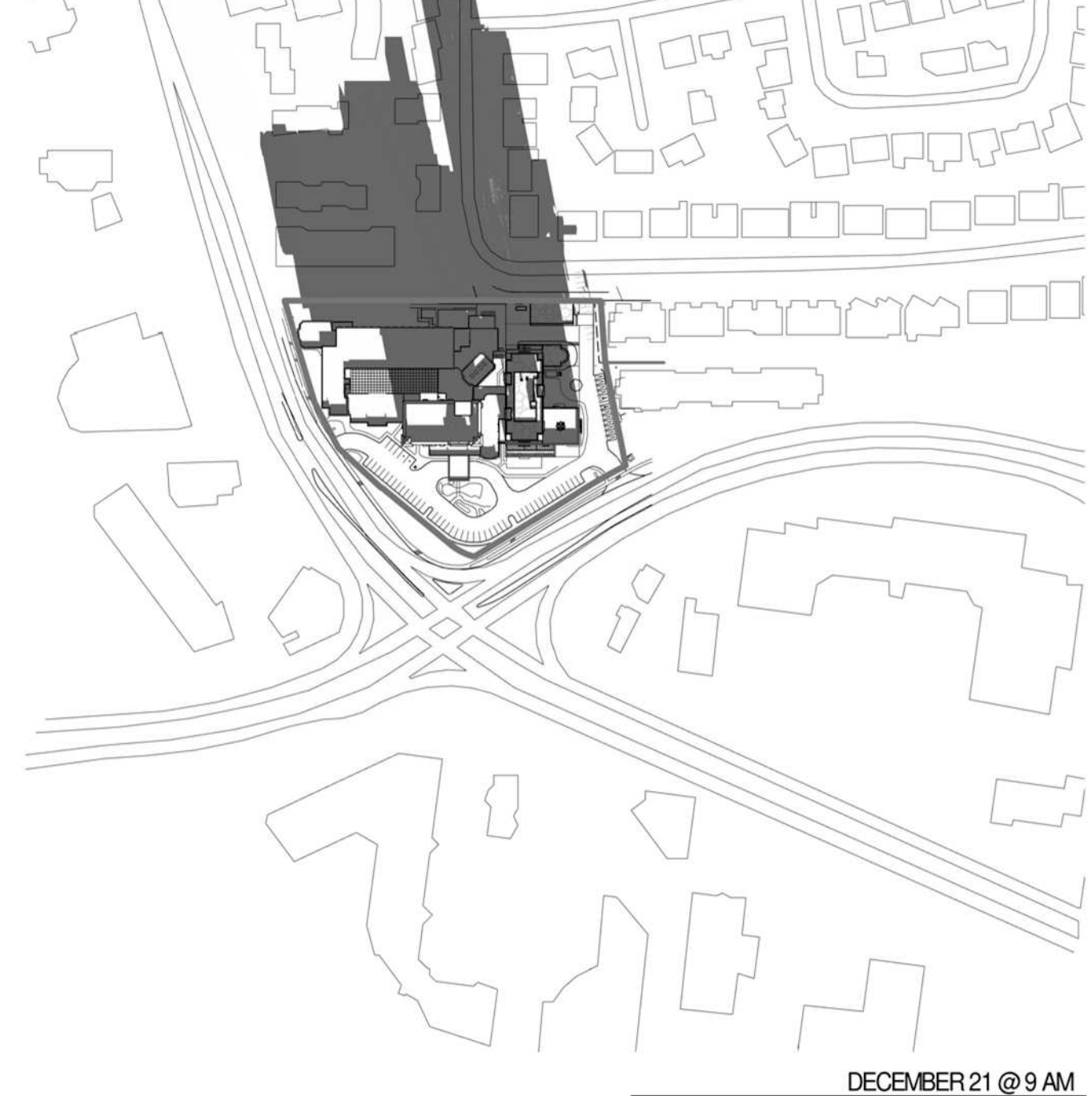
SEPTEMBER MARCH 21 @ 12PM
1:3000



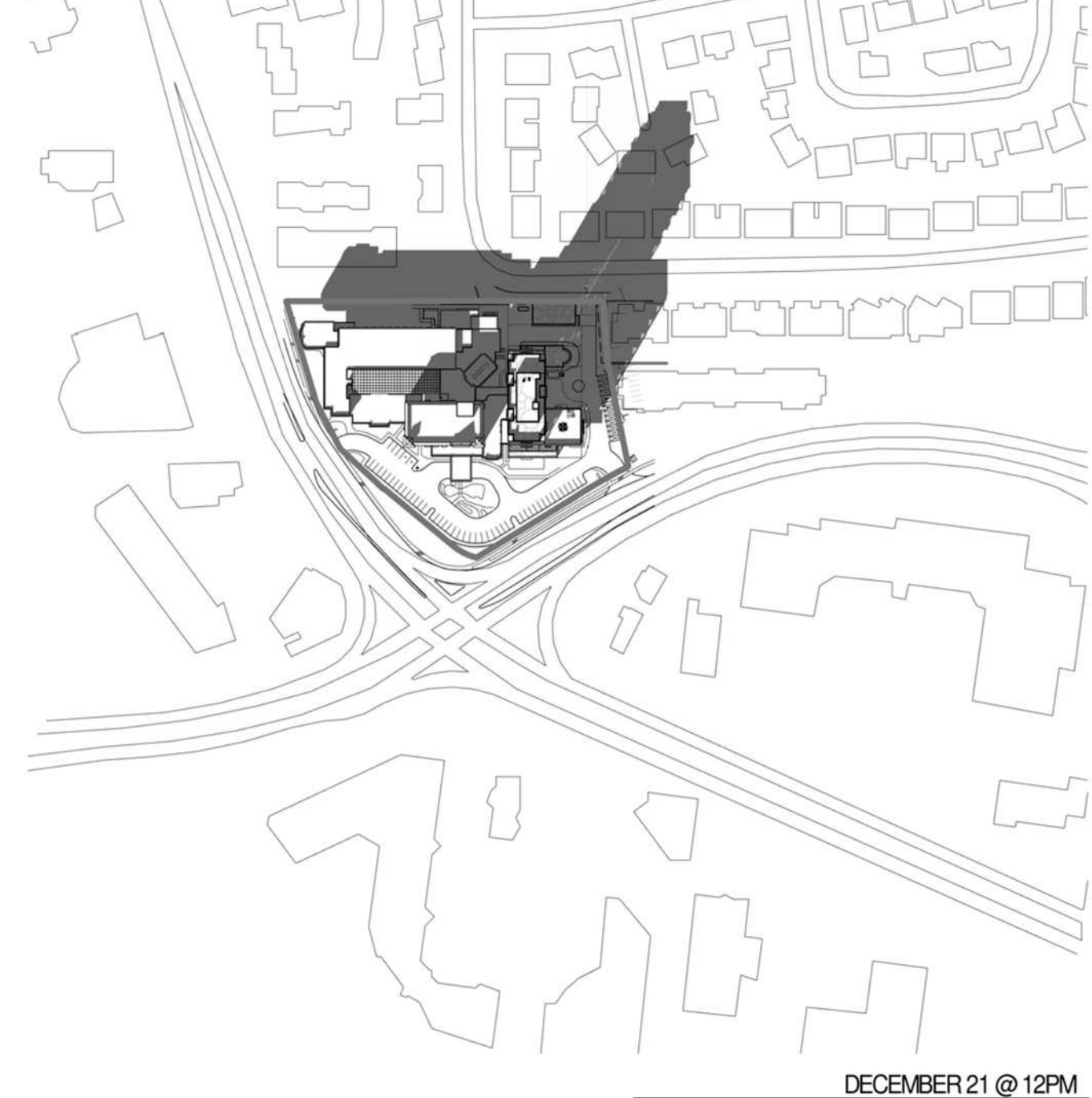
SEPTEMBER MARCH 21 @ 3PM
1:3000



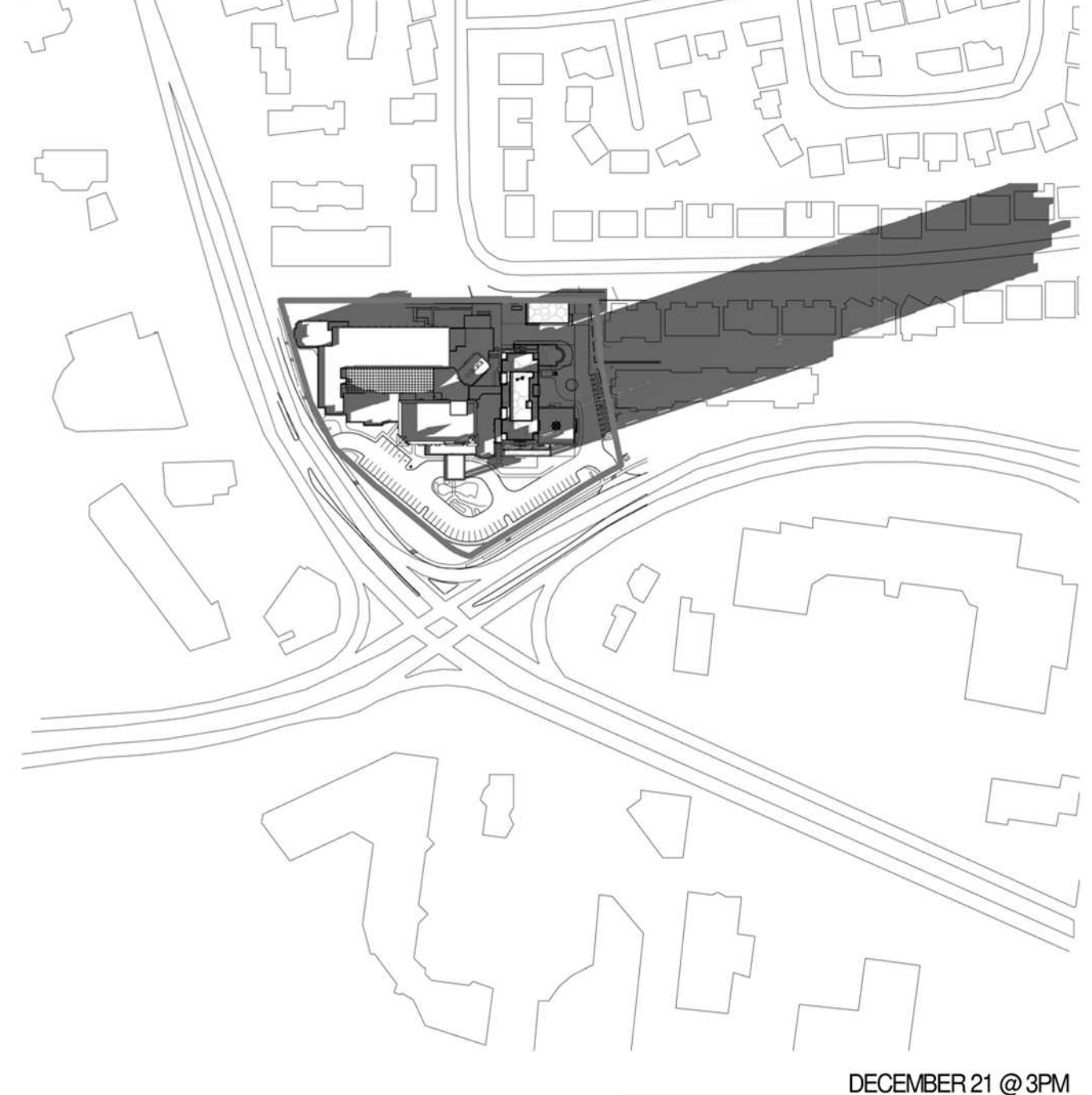
SEPTEMBER MARCH 21 @ 5 PM
1:3000



DECEMBER 21 @ 9 AM
1:3000



DECEMBER 21 @ 12PM
1:3000



DECEMBER 21 @ 3PM
1:3000

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne doivent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur les documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

CIVIL / Civil
Novatech
240 Michael Compend Dr, Suite 200, Ottawa, ON
Tel: (613) 254-9643

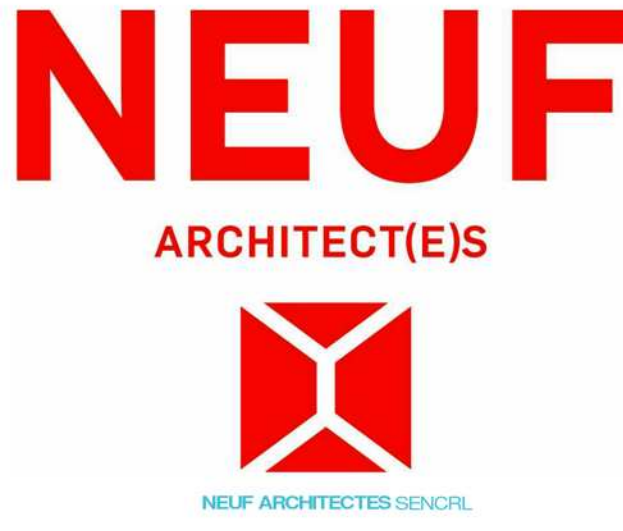
STRUCTURE / Structural
Cleland Jardine Engineering Ltd.
200-590 Terry Fox Drive, Kanata, ON K2L 4B9
Tel: (613) 591-1533

MÉCANIQUE / ÉLECTRICITÉ / Mechanical / Electrical
Smith + Andersen
1600 Carling Ave, #530, Ottawa, ON K1Z 1G3
Tel: (613) 230-1186

ARCHITECTURE DE PAYSAGE / Landscape Architect
James B. Lennox & Associates
3332 Carling Ave, Ottawa, ON K2H 5A8
Tel: (613) 772-5168

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
WATERFORD RETIREMENT COMMUNITY

OUVRAGE / Project
WATERFORD OTTAWA SENIOR APARTMENTS

EMPLACEMENT / Location
2425-2431 Bank Street & 1311 Hunt Club Road, Ottawa
NO PROJET No. 12165

NO	RÉVISION	DATE (aa-mm-jj)
F	SITE PLAN CONTROL	20/04/28
H	SITE PLAN CONTROL	20/07/30
K	SITE PLAN CONTROL	20/10/13

Preliminary
DO NOT USE FOR
CONSTRUCTION

DESSINÉ PAR / Drawn by
GO/SJD
DATE (aa-mm-jj)
20/04/28
TITRE DU DESSIN / Drawing Title

VÉRIFIÉ PAR / Checked
HG
ÉCHELLE / Scale
1 : 3000

SHADOW ANALYSIS

RÉVISION / Revision
K

NO. DESSIN / Dwg Number
A-900