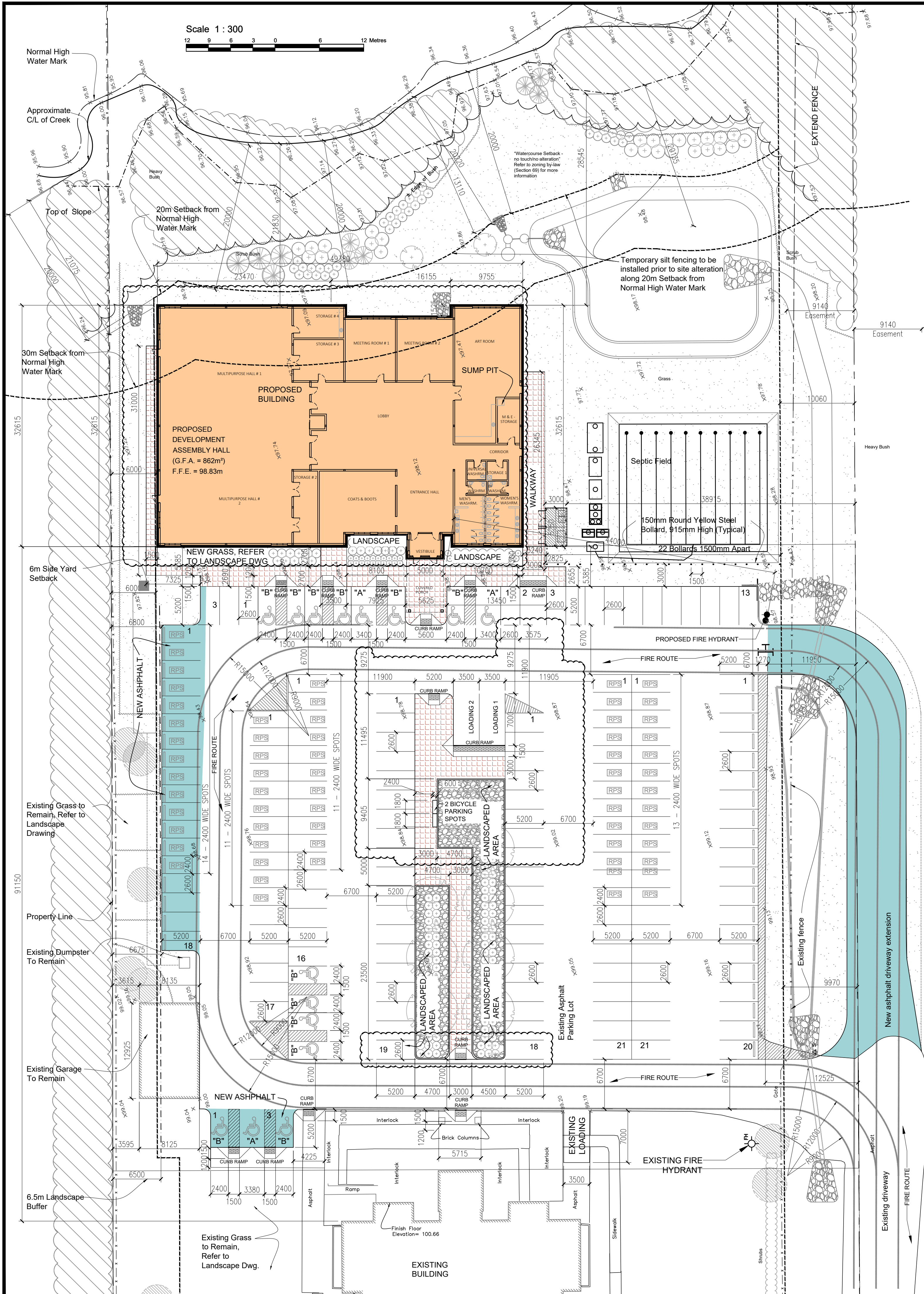




SITE INFORMATION

Address: 4835 Bank Street-Ottawa
Legal Description: Part of Lot 22, Con 5 (Rideau Front), Ottawa, ON
Owner: Hindu Temple of Ottawa-Carleton
Existing Zoning: R15 Rural Institutional
Amended Zoning: R15[865r] within the Area of Development &
R15[866r] on the remainder of the property east of the watercourse centreline

Zoning By-Law Amendment approved - 2018
City File : ACS 2018-PIE-PS-0060

Zoning Mechanisms Provisions - R15	Required	Provided
(a) Minimum lot area	10,000m ²	40,480 m ² (4.048 ha)
(b) Minimum lot width	75m	101.095m
(c) Minimum front yard setback	9m	27.975m (Existing Building)
(d) Minimum rear yard setback		
(i) abutting a residential use or zone	10m	Not Applicable
(ii) all other cases	10m	Not Applicable
(iii) from normal high water mark	20m	21m
(e) Minimum interior side yard setback	9m	Not Applicable
(i) Approved side yard setback	6m	6m
per application ACS2018-PIE-TS-0060 Approved on July 12, 2018		
(f) Minimum corner side yard setback	9m	Not Applicable
(g) Maximum principal building height	12m	12m
(h) Maximum lot coverage	30%	11.70%
(i) Minimum landscaped area	20%	65.50%

AREA OF DEVELOPMENT (Same as R15[865R] zone boundary): 23,598m² (2.359 ha)

Existing Temple Place of Assembly GFA: 630 m²

Proposed Hall GFA: 862 m²

Within Area of Development	Existing (Temple)	Proposed (Temple + Hall)
Lot Coverage	1,168 m ² (4.95 %)	2,761 m ² (11.70 %)
Landscaped Area	17,353 m ² (73.53%)	15028.08 m ² (63.68 %)
Parking Lot & Driveway (Paved Area)	5,077 m ² (21.52%)	5808.92 m ² (24.62%)

LANDSCAPING BUFFER AT PARKING LOT:

	Required	Provided
Perimeter or interior landscaped area	Minimum of 15% of the area of any parking lot = 15% of 8317.67 = 1247.65 m ²	Total landscape area = 2779.15 m ² (33.41%) (> required 15%) Interior landscape area = 521.87 m ² Perimeter landscape area = 2257.28 m ²
Minimum Required Width and Location of a Landscaped Buffer of a Parking Lot		
Abutting a street	3 metres	Not applicable
Not abutting a street	3 metres	6.5 metre in location closest to property Line

OUTDOOR REFUSE COLLECTION AND REFUSE LOADING AREAS:

- are accessed via the parking lot and
 - do not abut a public street;
 - are located at least 3.0 metres from any other lot line; and
 - are screened from view by an opaque screen with a minimum height of 2.0 metres.
- Refuse collecting area is Located at >38m away from the side property line
 - Size of Waste Enclosure 3.0m x 5.25m, refer to architectural drawing A040 for details
 - Size of Garbage Bins will be determined by private collector, bins will be placed in garbage enclosure

PARKING

Parking type	Required	Provided
Spaces (8.4 spaces /100 m ² of GFA)	126 spots	181 spots
Regular size spots	- 73 spots	- 104 spots
Reduced size - 40% of 126 spaces	- 48 spots	- 62 spots
Barrier-Free Type "A" 3400 wide	- 2 spots	- 3 spots
Barrier-Free Type "B" 2400 wide	- 3 spots	- 12 spots
Loading spaces	2 spots (1 Existing)	3 spots (1 Existing + 2 new)
Bicycle	1 spots	2 spots
TOTAL SPACES	126 spots	181 spots

PROPOSED STORMWATER (a) Ponding volume achieved via stormwater detention area

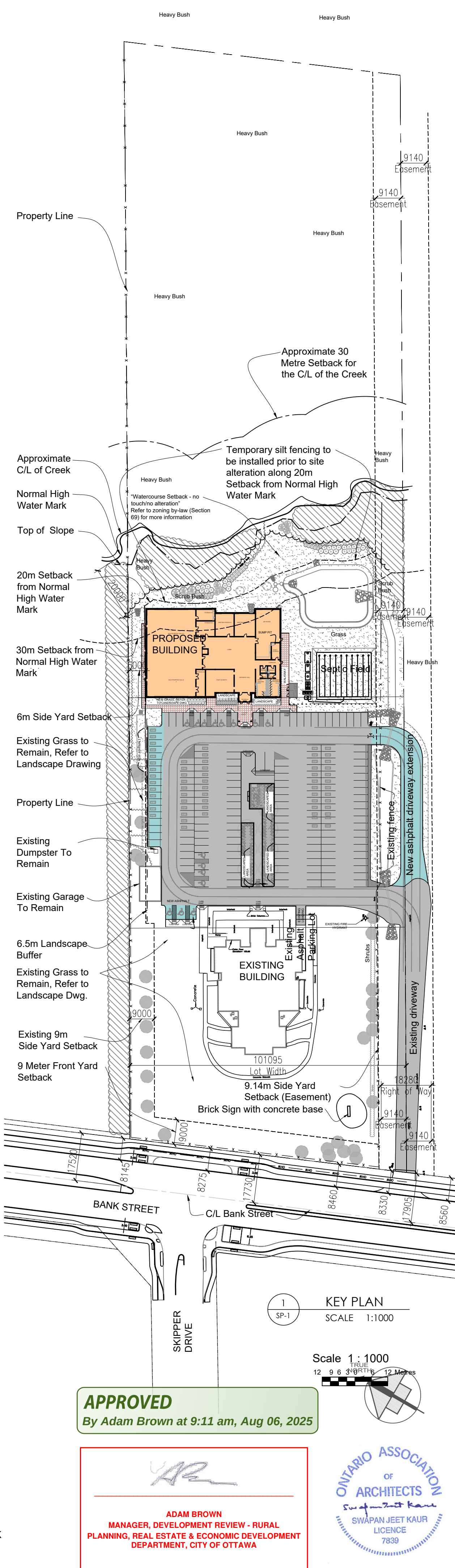
MANAGEMENT: (b) Flow control provided via inlet control device installed at detention area outlet
(Refer to civil documents)

SNOW CLEARING: Snow will be cleared by private contractor and taken away to be dumped off the site

DOTTED LINE DELINEATES AREA OF DEVELOPMENT (SAME AS R15[865R] ZONE BOUNDARY)	GROUP OF EXISTING TREES TO REMAIN (Refer to landscape drawing)
HATCHED AREA SHOWS EXTENT OF EXISTING PAVING	EXISTING TREE TO REMAIN (Refer to landscape drawing)
HATCHED AREA SHOWS EXTENT OF NEW BUILDING	PROPOSED DECIDUOUS TREE (Refer to landscape drawing)
HATCHED AREA SHOWS EXTENT OF ASPHALT REMOVAL	PROPOSED CONIFEROUS TREE (Refer to landscape drawing)
HATCHED AREA SHOWS EXTENT OF NEW ASPHALT	PROPOSED SHRUBS/ PERENNIALS/ ORNAMENTAL GRASSES (Refer to landscape drawing)
HATCHED AREA SHOWS EXTENT OF NEW PAVING (Refer to landscape drawing for material)	PROPOSED NON-IRRIGATED SPORTS FIELD SEED MIXTURE (Refer to landscape drawing)
PROPOSED RIP RAP (Refer to civil drawing)	PROPOSED ONTARIO SEED COMPANY LTD. CREEK BANK SEED MIXTURE (Refer to landscape drawing)
REDUCED PARKING SPOT	PROPOSED RIVERSTONE MULCH (Refer to landscape drawing)

- NOTE:
- See Landscape Drawings for tree protection fences
 - The property boundary information was derived from documents prepared by ANNIS, O'SULLIVAN, VOLLEBEKK

2 SITE PLAN
SP-1 SCALE 1:300



APPROVED
By Adam Brown at 9:11 am, Aug 06, 2025

ADAM BROWN
MANAGER, DEVELOPMENT REVIEW - RURAL
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

ONTARIO ASSOCIATION
OF ARCHITECTS
SWAPAN JEET KAUR
LICENCE 7839



GENERAL NOTES

- CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS, SPECIFICATIONS & REPORT ANY DISCREPANCIES TO OWNERS BEFORE PROCEEDING WITH WORK.
- ALL DRAWINGS & SPECIFICATIONS ARE INSTRUMENTS OF SERVICE & THE PROPERTY OF THE ARCHITECTS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK, & MAY NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

No.	Revision/Issue	Date
18	ISSUED FOR REVISION TO PERMIT	2025JULY16
17	ISSUED FOR CLIENT REVIEW	2025JULY14
16	ISSUED FOR REVISION TO PERMIT	2025FEB08
15	ISSUED FOR CLIENT REVIEW	2024DEC19
14	ISSUED FOR CLIENT REVIEW	2024NOV11
13	ISSUED FOR SITE PLAN	2024SEP24

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B. ARCH

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PROJECT AND LOCATION
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PIN 04326-0011**

TITLE OF DRAWING
SITE PLAN

JOB NUMBER
17033

DATE 2019 05	DWG NUMBER SP-1
SCALE AS NOTED	
DRAWN BY SJK	