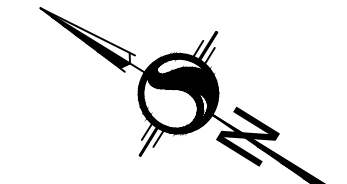
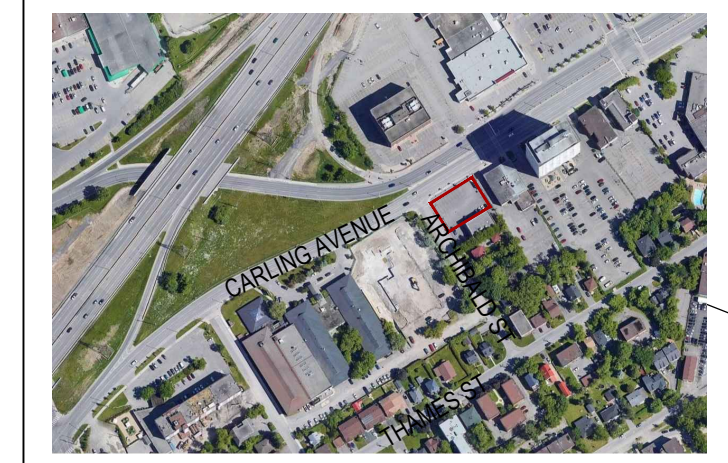


NOTE:  
EXISTING AVERAGE GRADE = 74.07  
PROPOSED AVERAGE GRADE =

PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY ANIS, O'SULLIVAN, VELLEBEK LTD. DATED MARCH 9, 2020.  
REFER TO LANDSCAPE PLANS FOR LOCATION OF TREES & PLANTINGS.



KEY PLAN



PROPERTY DESCRIPTION

24-STORY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04002 0008
MUNICIPAL ADDRESS	1330 Carling Avenue
PART 1, PART OF BLOCK 8 REGISTERED PLAN Z21 AND LOT 8 AND PART OF LOT 7 REGISTERED PLAN 529	
<b>SITE INFORMATION</b>	
LOT AREA:	1,968m <sup>2</sup>
LOT FRONTAGE:	39.62m
LOT DEPTH:	49.68m

BUILDING INFORMATION

BUILDING AREA:	1,119m <sup>2</sup>
BUILDING FLOOR AREA:	16,761m <sup>2</sup>
PROPOSED USE:	MIXED-USE RESIDENTIAL, HIGH-RISE
<b>UNIT BREAKDOWN:</b>	
FLOORS 2:	9 UNITS 7-1BD, 2-2BD
FLOORS 3-5:	12 UNITS 1-STUDIO, 3-1 BD, 2-2BD
FLOOR 6:	4 UNITS 1-STUDIO, 1-1BD, 2-2BD
TYPICAL FLOORS 7-24:	7 UNITS 2-STUDIO, 1-1BD, 4-2BD
TOTAL:	175 UNITS 40-STUDIO, 53-1 BD, 82-2 BD

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
LOT AREA	No minimum	
LOT WIDTH	No minimum	
FRONT YARD SETBACK	0m	0m (as per road widening)
MINIMUM INTERIOR SIDE YARD SETBACK	0m	0.4m
MINIMUM REAR YARD SETBACK	3m for the first 20m from Archibald, 7.5m otherwise	13.9m
MAXIMUM BUILDING HEIGHT	Within 20m of R4 zone: 15m 20-30m from R4 zone: 20m 30-m from R4 zone: 30m (up to 9 storeys)	Commercial Ground Floor 1(5.8m) Residential 24(69m) Total 25(74.8m)  Within 20m of R4 zone: 18.3m 20-30m from R4 zone: 74.8m
GROUND FLOOR HEIGHT/GLAZING	4.5m & min. 50% glazing on Carling and Archibald	4.5m ground floor height 74% glazing on Carling Avenue 52% glazing on Archibald Street
MAXIMUM FLOOR SPACE INDEX	N/A	
LANDSCAPED AREA	15% = 295m <sup>2</sup> 3m buffer between parking lots and lot lines (10-99 parking spaces)	17.8% = 350.8m <sup>2</sup>
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	Residential: 0.5 spaces/unit after first 12 units [163 x 0.5 = 82] Residential visitor: 0.11 unit after first 12 units [163 x 0.11 = 16] At-grade restaurant use (GFA<350m <sup>2</sup> ): 0 spaces At-grade non-residential use (GFA<500m <sup>2</sup> ): 0 spaces Other non-residential: 1-5 spaces/100m <sup>2</sup> GFA	63 SPACES TOTAL VISITOR = 16 RESIDENTIAL = 39 COMMERCIAL = 8  PARKING AREA: 498m <sup>2</sup> LANDSCAPE AREA: 92m <sup>2</sup>
LOADING	1 space for 2,000-4,999m <sup>2</sup> non-residential GFA	1 SPACE
AMENITY AREA REQUIREMENTS	6m <sup>2</sup> per unit 50% communal and at least one area of min. 54m <sup>2</sup> Total = 1,110m <sup>2</sup>	COMMUNAL AMENITY: 525m <sup>2</sup> BALCONIES: 878m <sup>2</sup> TOTAL AMENITY: 1,403m <sup>2</sup>
BICYCLE PARKING SPACES	0.5 per dwelling unit = 93 1/250m <sup>2</sup> non-residential GFA	110 SPACES

LEGEND

	ASPHALT PAVING		SOFT LANDSCAPING REFER TO LANDSCAPE
	CONCRETE		UNIT PAVERS REFER TO LANDSCAPE
	EXISTING BUILDING ELEMENT TO BE REMOVED		EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
	EXISTING FENCE		NEW TREE (REFER TO LANDSCAPE DRAWINGS)
	NEW BOARD FENCE REFER TO LANDSCAPE		NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
	LOT LINE		NEW EVERGREEN SHRUB (REFER TO LANDSCAPE DRAWINGS)
	SETBACK LINE		FIRE DEPARTMENT CONNECTION
	DESIGNATED BUILDING ENTRANCE / EXIT		FIRE HYDRANT REFER TO CIVIL
	CATCH BASIN		MANHOLE
	FLOOR DRAIN		UTILITY POLE
	UTILITY POLE		OVERHEAD UTILITY WIRES
	LIGHT STANDARD		DEPRESSED CURB

NOTE: 'X'E INDICATES EXISTING TO REMAIN

No.	Date	Émis pour / Issued
1	2020-01-24	PRECONSULTATION
2	2020-02-26	COORDINATION
3	2020-03-26	COORDINATION
4	2020-04-17	SITE PLAN CONTROL
5	2020-11-26	SITE PLAN CONTROL RESPONSE
-	-	-
-	-	-

Ingenieur / Engineer (Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer (Structure / Structure)

Architecte / Architect (paysagiste / Landscape)

**Gino J. Aiello landscape architect** www.GJALA.com  
GINO@GJALA.com (613) 852-1343  
110 Didsbury Road Unit #9 | Ottawa Ontario | K2C1C2

Ingenieur / Engineer (Civil / Civil)

**DSEL**  
david chaefter engineering ltd  
SMITH SUBDIVISIONS™

Client / Client

Architecte / Architect  
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Montréal QC H3C 1A9  
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fig. 2  
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www.figur.ca

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Scale / Échelle

**ASSOCIATION OF ARCHITECTS**  
ROBERTO CAMPOS  
LICENCE  
7401

Project / Projet

**MIXED-USE RESIDENTIAL BUILDING**

1330 Carling Avenue  
Ottawa, ON

Drawn / Dessiné par / Drawn by  
MD

No. projet / Project number  
1956

Verified / Vérifié par / Verified by  
RC

No. dessin / Drawing number  
1956

Revision / Révision

Échelle / Scale  
AS SHOWN

Date de création du dessin / Drawing creation date  
2020-01-06

**A-105**

CARLING AVENUE - REGIONAL ROAD 38  
PIN 04025-0181

EXISTING 2-STORY BUILDING  
No. 1322  
PIN 04002-0005

**MIXED-USE RESIDENTIAL BUILDING**  
24-STORIES  
62 PARKING SPACES  
[54 RESIDENTIAL + 8 COMMERCIAL]  
175 UNITS  
GROSS FLOOR AREA = 16,761m<sup>2</sup> / 180,413 SQ.FT  
(15,969m<sup>2</sup> RESIDENTIAL, 788m<sup>2</sup> RETAIL)  
BUILDING FOOTPRINT = 1,119m<sup>2</sup> / 12,045 SQ.FT  
TOWER FOOTPRINT = 589m<sup>2</sup> / 6,345 SQ.FT

LOT 8  
PIN 04002-0008

LOT 7  
PLAN 529  
PIN 04002-007

EXISTING 2-STORY BUILDING

ARCHIBALD STREET  
REGISTERED PLAN 221  
PIN 04002-0166