



PLAN OF SUBDIVISION OF PART OF LOT 20 CONCESSION 4 (Rideau Front)
 Geographic Township of Nepean
 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

UTILITY NOTES
 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 2. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
 3. Underground utilities shown on this plan are derived from City of Ottawa Department of Public Works and Services utility drawings.

GENERAL NOTES
 1. Refer to Landscape drawings for information on trees to be retained.
 2. Refer to Civil drawings for existing services and new service connections, and new grading and drainage information.

ZONING INFORMATION
 ZONE DESIGNATION: IP [2265] H(16)
 ZONING REQUIREMENTS:
 NOTE: ZONING REQUIREMENTS PROVIDED IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW IP[2265] H(16) CONSOLIDATION DATE: SEPTEMBER 26, 2018

MIN. LOT WIDTH REQUIRED:	NO MIN.
MIN. LOT AREA REQUIRED (M ²):	750M ²
LOT AREA PROVIDED:	4047.9M ²
MAX. BUILDING HEIGHT:	16.0M
BUILDING HEIGHT, FROM AVERAGE GRADE:	±12.2M
MIN. FRONT YARD SETBACK:	6.0M
FRONT YARD SETBACK:	6.0M
MIN. REAR YARD SETBACK:	6.0M
REAR YARD SETBACK:	6.0M
MAX. INTERIOR SIDE YARD SETBACK: (ON THE SOUTH SIDE OF PROPERTY)	3.0M
INTERIOR SIDE YARD SETBACK:	3.0M
MIN. CORNER YARD SETBACK: (ON THE NORTH SIDE OF PROPERTY)	6.0M
BUILDING CORNER YARD SETBACK:	6.0M

PARKING REQUIREMENTS
 NOTE: PARKING SPACE RATES PROVIDED IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW 2008-250 SECTIONS 101 - 102; TABLES 101 - 102 & 106

MIN. PARKING STALLS REQUIRED FOR MEDICAL OFFICES PER 100M ² GFA	4.0
MIN. PARKING STALLS REQUIRED FOR RESTAURANT PER 100M ² GFA	10.0
MINIMUM BICYCLE PARKING PER 250M ² GFA	1.0

DEVELOPMENT INFORMATION

No.	DESCRIPTION	DATE	CHD
3	ISSUED IN RESPONSE TO PLANNER REVIEW	21/01/04	VPC
2	ISSUED FOR REVIEW	20/11/12	VPC
1	ISSUED FOR REVIEW	19/12/18	VPC
		YY/MM/DD	

REVISIONS

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3	ISSUED IN RESPONSE TO PLANNER REVIEW	21/01/04	VPC
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PROPOSED:

LOT AREA:	4047.9M ²
BUILDING AREA:	3,014.00M ²
RESTAURANT:	6032.09M ²
MEDICAL OFFICES:	560.40M ²
TOTAL BUILDING AREA:	9045.59M ²
GROSS FLOOR AREA:	840.4M ²
RESTAURANT (GROUND + MEZZANINE):	2,626.00M ²
MEDICAL OFFICES:	5464.83M ²
TOTAL G.F.A. (PROPOSED):	8,090.83M ²
LOT COVERAGE PROVIDED:	751.70M ²
MEDICAL CLINIC+ RESTAURANT:	840.4M ²
PROPOSED LANDSCAPED AREA:	20.75M ²
LANDSCAPED AREA PROVIDED:	891.0M ²
PROPOSED LANDSCAPED AREA:	22.0M ²

PROPOSED PARKING:

PARKING SPACE DIMENSIONS: 2.6 M X 5.2 M	
ACCESSIBLE PARKING SPACE: TYPE A: 3.4 M X 5.2 M, TYPE B: 2.4 M X 5.2 M	
LOADING BAY DIMENSIONS (PER 11.3B)	
WIDTH: 3.5 M	
LENGTH: 7 M	
REQUIRED PARKING RESTAURANT: (10 STALLS PER 100M ² G.F.A.)	25 STALLS
24M ²	
REQUIRED PARKING MEDICAL OFFICES: (4 STALLS PER 100M ² G.F.A.)	21 STALLS
507.7M ²	
TOTAL OF REQUIRED PARKING:	46 STALLS
TOTAL ACCESSIBLE PARKING PROVIDED:	2 STALLS
FOUR PERCENT (4%) OF THE TOTAL NUMBER OF PARKING SPACES TO BE ACCESSIBLE	
TOTAL ACCESSIBLE PARKING PROVIDED:	
TYPE A (3400 MM WIDE): 1 STALLS	
TYPE B (2400 MM WIDE): 1 STALLS	
TOTAL ON GRADE PARKING PROVIDED:	53 STALLS

BICYCLE PARKING REQUIRED:

RESTAURANT: (1 SPACE PER 250M ² G.F.A.)	1 SPACE
24M ²	
MEDICAL OFFICES: (1 SPACE PER 250M ² G.F.A.)	3 SPACES
507.7M ²	
TOTAL OF REQUIRED BICYCLE PARKING:	4 SPACES
TOTAL BICYCLE PARKING PROVIDED:	5 SPACES

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APPROVED REFUSED
 DATE: _____

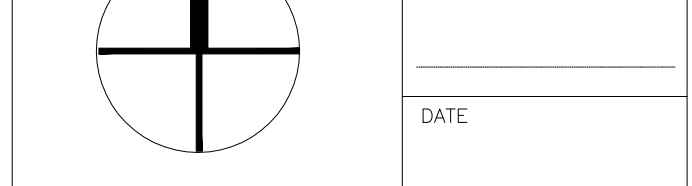
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3	ISSUED IN RESPONSE TO PLANNER REVIEW	21/01/04	VPC
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CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE THE DRAWINGS



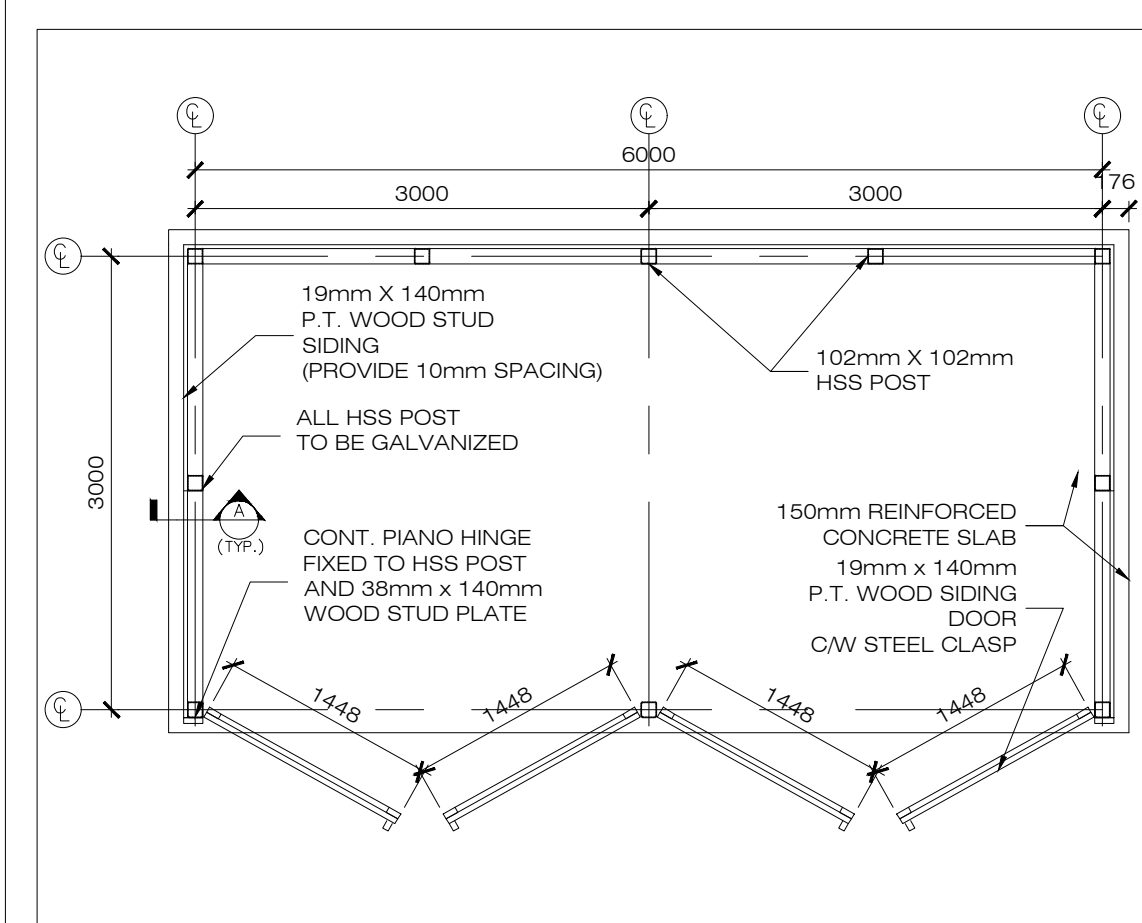
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DATE
DRAWN RM
DATE 2019-12-12
CHECKED
DATE PRINTED 2021-01-04

VINCENT P. COLIZZA ARCHITECT INCORPORATED

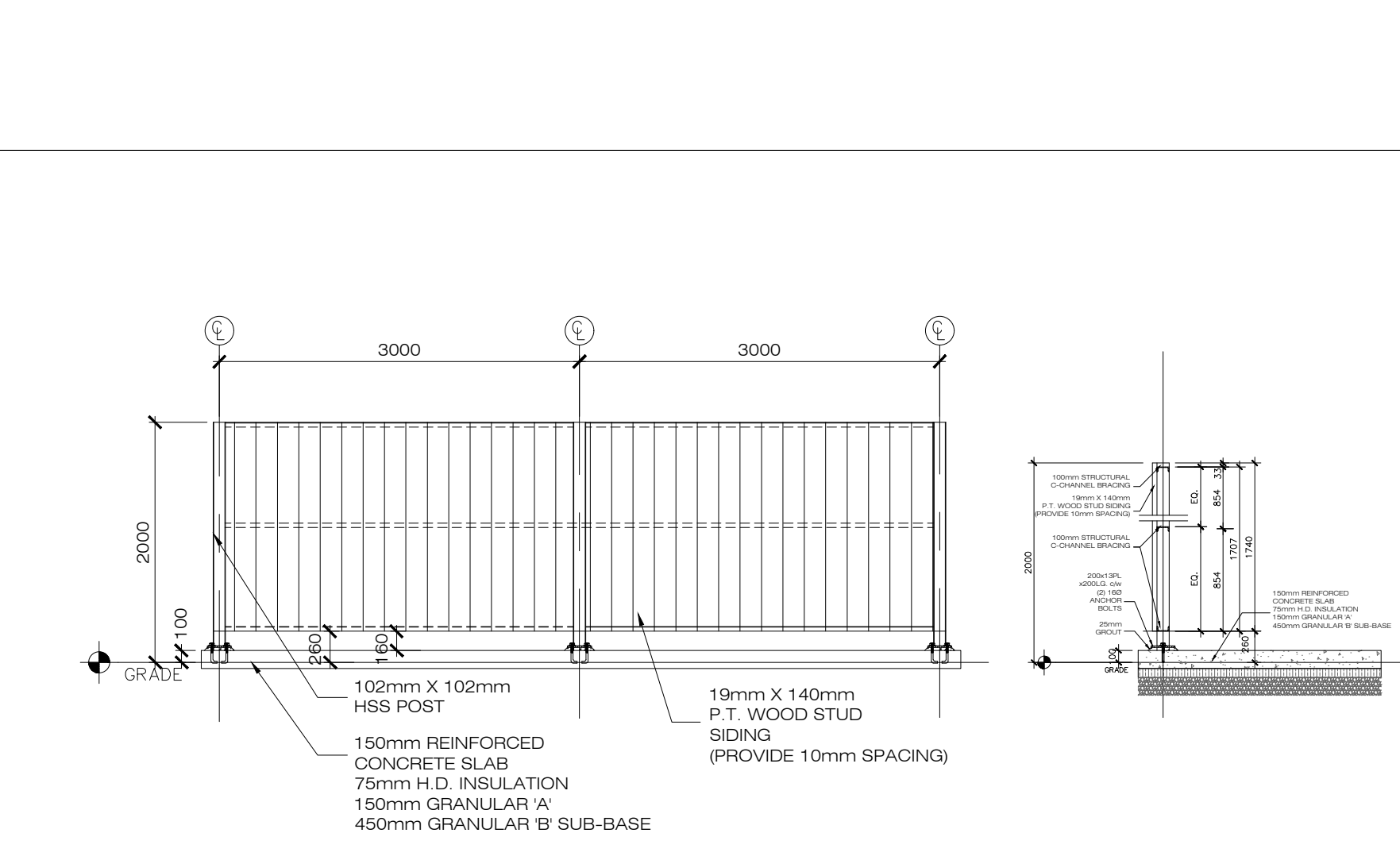
MEDICAL OFFICE & RESTAURANT
 115 LUSK ST., OTTAWA, ONT.

DWG. TITLE	SITE PLAN
SCALE 1:200	DWG. NO. SP1
PROJ. NO. 2319	

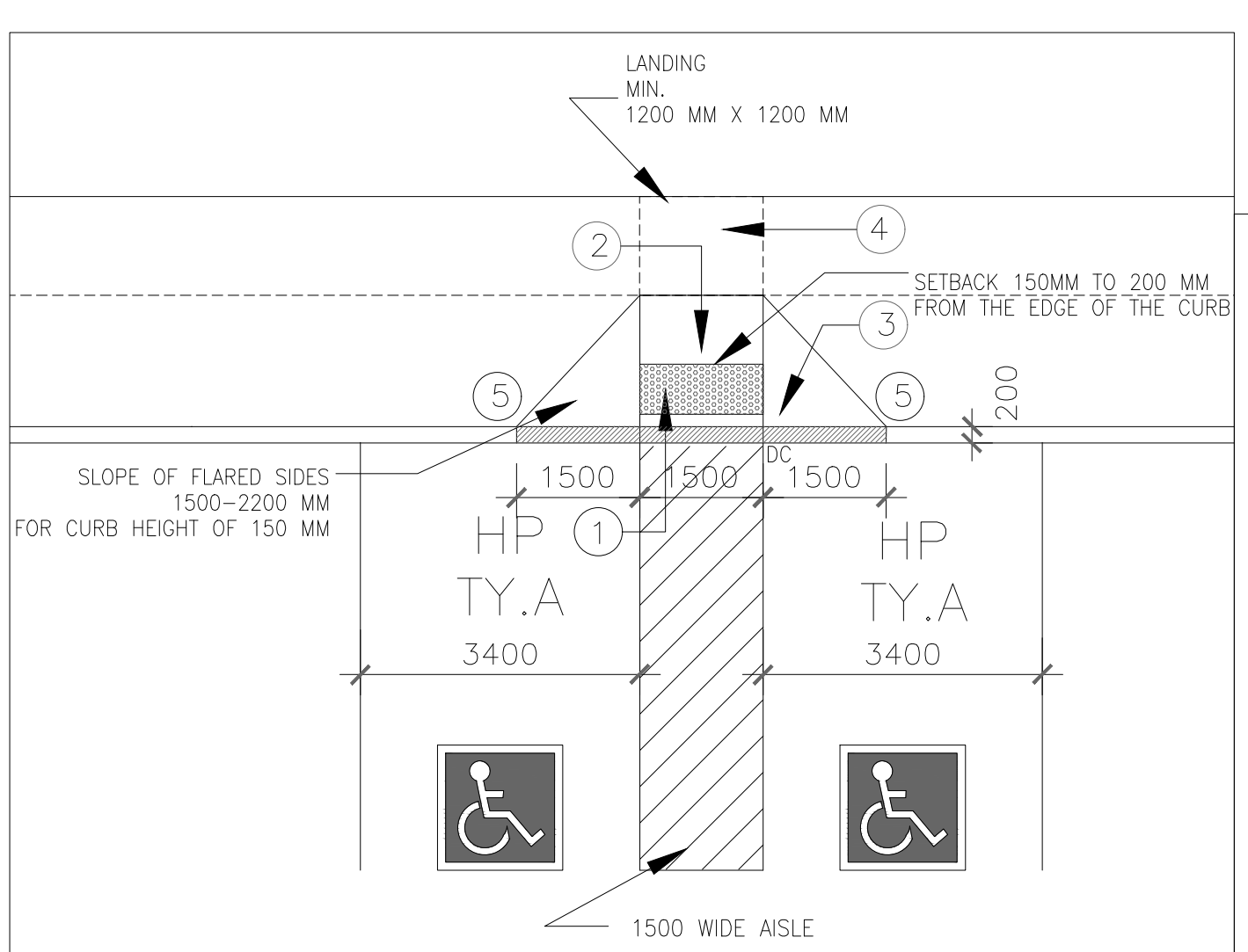
1 SITE PLAN
 SP1 SCALE: 1:200



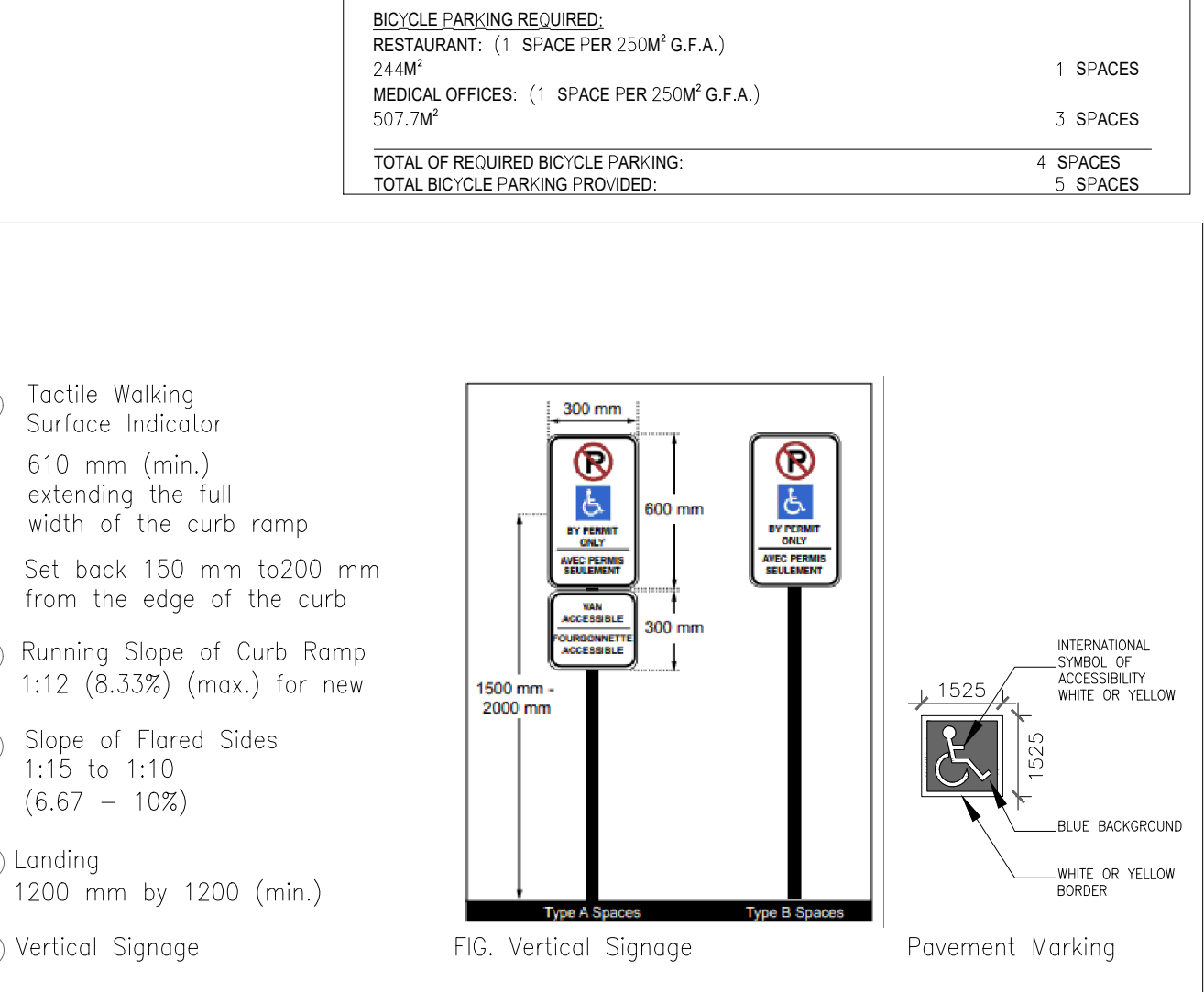
2 GARBAGE ENCLOSURE DETAIL
 SP1 SCALE: 1:50



3 ACCESSIBLE PARKING CURB DETAIL
 SP1 SCALE: 1:50



4 VERTICAL SIGNAGE
 SP1 SCALE: 1:50



5 PAVEMENT MARKING
 SP1 SCALE: 1:50