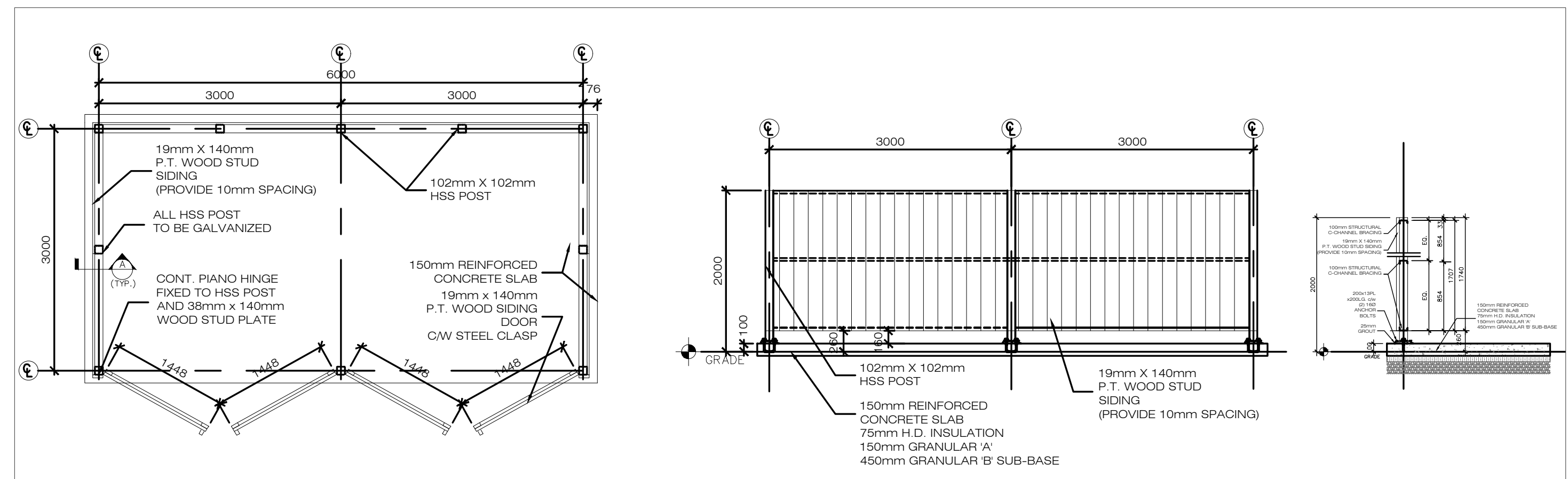
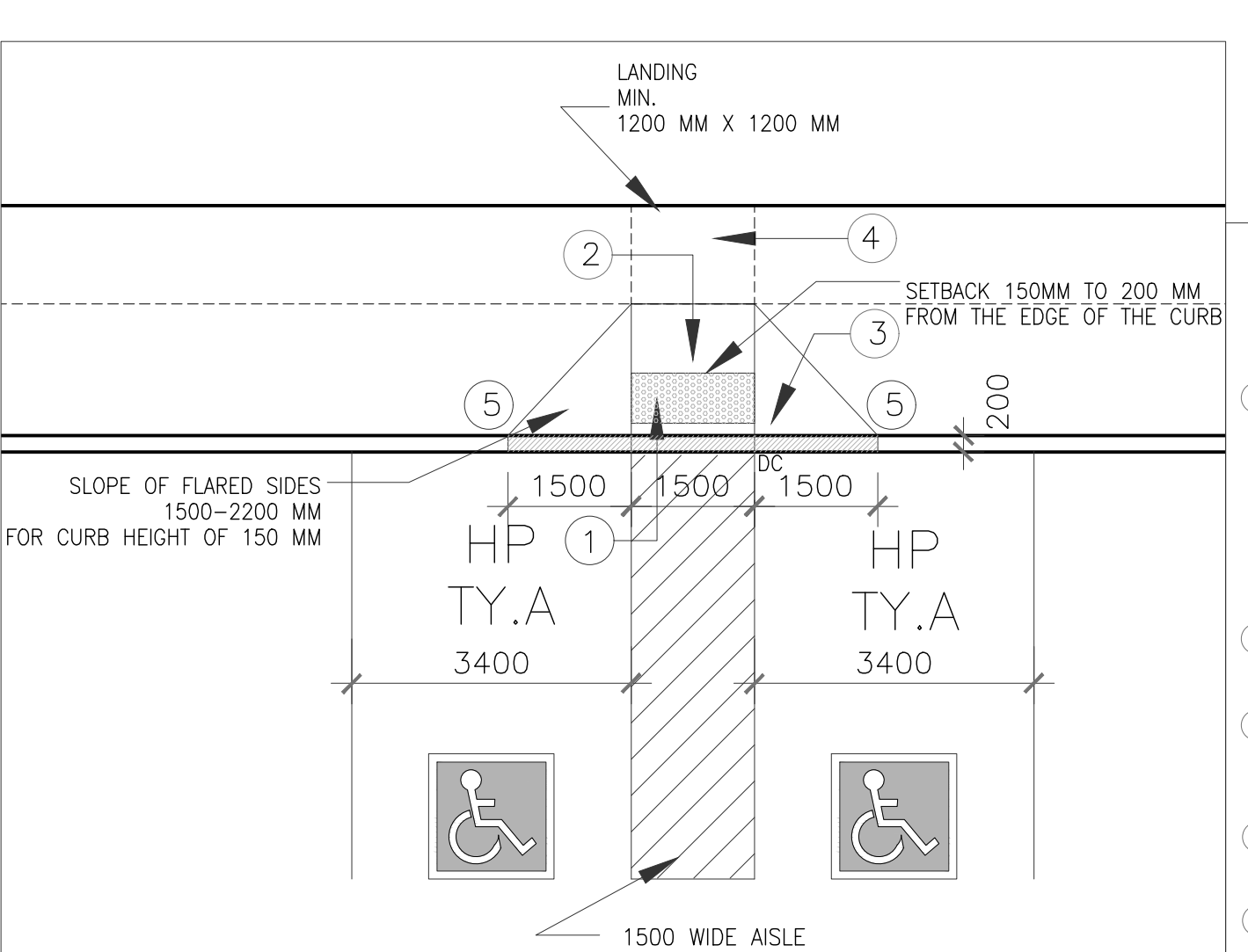


1 SITE PLAN
SP1 SCALE: 1:200



2 GARBAGE ENCLOSURE DETAIL
SP1 SCALE: 1:50



3 ACCESSIBLE PARKING CURB DETAIL
SP1 SCALE: 1:50

PLAN OF SUBDIVISION OF PART OF LOT 20 CONCESSION 4 (Rideau Front)
 Geographic Township of Nepean
 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

UTILITY NOTES
 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 2. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
 3. Underground utilities shown on this plan are derived from City of Ottawa Department of Public Works and Services utility drawings.

GENERAL NOTES
 1. Refer to Landscape drawings for information on trees to be retained.
 2. Refer to Civil drawings for existing services and new service connections, and new grading and drainage information.

ZONING INFORMATION
 ZONE DESIGNATION:
 IP [2265] H(16)
 ZONING REQUIREMENTS:
 NOTE: ZONING REQUIREMENTS PROVIDED IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW IP[2265] H(16) CONSOLIDATION DATE: SEPTEMBER 26, 2018

MIN. LOT WIDTH REQUIRED:	NO MIN.
MIN. LOT AREA REQUIRED (M ²):	750M ²
LOT AREA PROVIDED:	4047.9M ²
MAX. BUILDING HEIGHT:	16.0M
BUILDING HEIGHT: FROM AVERAGE GRADE:	±8.5M
MIN. FRONT YARD SETBACK:	6.0M
FRONT YARD SETBACK:	6.0M
MIN. REAR YARD SETBACK:	6.0M
REAR YARD SETBACK:	6.0M
MAX. INTERIOR SIDE YARD SETBACK: (ON THE SOUTH SIDE OF PROPERTY):	3.0M
INTERIOR SIDE YARD SETBACK:	3.0M
MIN. CORNER YARD SETBACK: (ON THE NORTH SIDE OF PROPERTY):	6.0M
BUILDING CORNER YARD SETBACK:	6.0M

PARKING REQUIREMENTS
 NOTE: PARKING SPACE RATES PROVIDED IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW 2008-250 SECTIONS 101 - 102, TABLES 101 - 102 & 106

MIN. PARKING STALLS REQUIRED FOR MEDICAL OFFICES PER 100M ² GFA	4.0
MIN. PARKING STALLS REQUIRED FOR RESTAURANT PER 100M ² GFA	10.0
MINIMUM BICYCLE PARKING PER 250M ² GFA	1.0

DEVELOPMENT INFORMATION
 PROPOSED:
LOT AREA: 4047.9M²
BUILDING AREA: 846.82M²
 RESTAURANT: 3,014FT² 280.00M²
 MEDICAL OFFICES: 6,101FT² 566.82M²
TOTAL BUILDING AREA: 9,115FT² 846.82M²
GROSS FLOOR AREA
 RESTAURANT (GROUND + MEZZANINE): 2,626FT² 244.00M²
 MEDICAL OFFICES: 5,382FT² 500.00M²
TOTAL G.F.A. (PROPOSED): 8,008FT² 744.00M²
LOT COVERAGE PROVIDED:
 MEDICAL OFFICES + RESTAURANT: 846.82M² 20.9%
 LANDSCAPED AREA PROVIDED: 838.40M² 20.7%
 PROPOSED LANDSCAPED AREA:
 PROPOSED PARKING:
 PARKING SPACE DIMENSIONS: 2.6 M X 5.2 M
 ACCESSIBLE PARKING SPACE: TYPE A: 3.4 M X 5.2 M, TYPE B: 2.4 M X 5.2 M
 LOADING BAY DIMENSIONS (PER 113B)
 WIDTH: 3.5 M
 LENGTH: 7 M
 REQUIRED PARKING RESTAURANT: (10 STALLS PER 100M² G.F.A.) 25 STALLS
 244M²
 REQUIRED PARKING MEDICAL OFFICES: (4 STALLS PER 100M² G.F.A.) 20 STALLS
 500M²
TOTAL OF REQUIRED PARKING: 45 STALLS
TOTAL ACCESSIBLE PARKING REQUIRED: 3 STALLS
FOUR PERCENT (4%) OF THE TOTAL NUMBER OF PARKING SPACES TO BE ACCESSIBLE
TOTAL ACCESSIBLE PARKING PROVIDED:
 TYPE A (3400 MM WIDE): 1 STALLS
 TYPE B (2400 MM WIDE): 2 STALLS
 3 STALLS
TOTAL ON GRADE PARKING PROVIDED: 54 STALLS
BICYCLE PARKING REQUIRED:
 RESTAURANT: (1 SPACE PER 250M² G.F.A.) 1 SPACES
 244M²
 MEDICAL OFFICES: (1 SPACE PER 250M² G.F.A.) 2 SPACES
 500M²
TOTAL OF REQUIRED BICYCLE PARKING: 3 SPACES
TOTAL BICYCLE PARKING PROVIDED: 5 SPACES

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 THE CONTRACTOR SHALL VERIFY ALL LEVELS, DATUMS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED TO VINCENT COLIZZA ARCHITECT INC. IMMEDIATELY.
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APPROVED REFUSED

DATE: _____

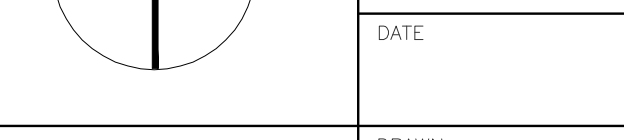
2 ISSUED FOR SITE PLAN APPROVAL	20/02/25 VPC
1 ISSUED FOR REVIEW	19/12/18 VPC
	YY/MM/DD

No.	DESCRIPTION	DATE	CHK
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REVISIONS

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DATE: 2020-02-25



CHECKED

DATE PRINTED

VINCENT P. COLIZZA ARCHITECT INCORPORATED

MEDICAL OFFICE & RESTAURANT 115 LUSK ST., OTTAWA, ONT.

DWG. TITLE

SITE PLAN

SCALE: 1:200

PROJ. NO. 2319

DWG. NO. SP1

Drawing name: 20-02-25-VPC-3019 - 115 Lusk Street - Site Plan-2 Working - Drawings\SP1-Site Plan-2020 - 1:200