

NEUF

ARCHITECT(E)S



910 MARCH ROAD DRAWINGS LIST			
PAGE	DRAWING TITLE	REVISION	DATE
A000	TITLE PAGE	1.0	2023 03 29
A000	1ST FLOOR SITE PLAN	1.0	2023 03 29
A100a	P3 LEVEL PARKING	1.0	2023 03 29
A100b	P2 LEVEL PARKING	1.0	2023 03 29
A100c	P1 LEVEL PARKING	1.0	2023 03 29
A400	EAST & WEST ELEVATIONS	1.0	2023 03 29
A401	NORTH & SOUTH ELEVATIONS	1.0	2023 03 29
A402	PARTIAL ELEVATION	1.0	2023 03 29



12712.00

910 MARCH ROAD

910 MARCH ROAD

CLIENT : 910 MARCH ROAD Inc.

NEUF
ARCHITECT(E)S



RELEASE 1 ISSUED FOR SITE PLAN

VERSION A

2023 03 29

INCLUDES THE FOLLOWING
SITE INSTRUCTIONS: N/A

CIVIL PLAN - 2023/03/23
 LANDSCAPING PLAN - 2023/03/22
 RMA-2023/01/27

FUTURE RESIDENTIAL
RESIDENTIAL

OPEN SPACE

ENVIRONMENTAL PROTECTION



DRIVE-THROUGH RESTAURANT

MCDONALD'S

FUTURE COMMERCIAL MIXED-USE

FRONT YARD SETBACK
 3000 (MIN.)

MARCH ROAD

SITE PLAN

1:400



NOTES LIST	
# NOTE	DESCRIPTION
1	TOP OF BANK ORDINARY HIGH WATER MARK
2	EXISTING MUNICIPAL MURTBAL
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING P1 OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SIDEWALK
8	EXISTING TRIBUTARIES
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	ELEVATOR MECHANICAL PENTHOUSE
15	BKE RACK
16	EXISTING FIRE HYDRANT
17	P2 LEVEL - OUTLINE
18	DEPRESSED CURB
19	PERGOLA
20	EXIT STAIR
21	P3 LEVEL - OUTLINE
22	COMMERCIAL TERRACE
23	CANOPY PROFILE
24	WATER TANK ACCESS
25	PERGOLA
26	FIRE DEPARTMENT CONNECTION

LINE TYPE LEGEND	
---	PROPERTY LINE
---	REQUIRED SETBACKS
---	SETBACKS AS PER PROPOSED ZONING

SURFACE LEGEND	
[Pattern]	PAVING (ON-SLAB) LARGE PATIO TILES
[Pattern]	CONCRETE PAVING
[Pattern]	STONE BALLAST ROOF
[Pattern]	TURF
[Pattern]	NATIVE SOIL / RIPARIAN SEED
[Pattern]	HEAVY DUTY PAVEMENT
[Pattern]	EXISTING BUILDING
[Pattern]	BARRIER FREE UNLOADING SPACE

SITE STATISTICS	
LOT AREA	27 156 m ²
FOOTPRINT	7 293 m ²
CONSTRUCTION AREA ABOVE GROUND (BUILDING & PARKING)	44 934 m ²
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	30 365 m ²
GROSS FLOOR AREA AS PER ZONING BY-LAW (ABOVE + BELOW GRADE)	75 299 m ²

SITE STATISTICS AS PER ZONING BY-LAW	
GROSS FLOOR AREA AS PER ZONING BY-LAW (ABOVE + BELOW GRADE)	40 128 m ²
RESIDENTIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	39 627 m ²
COMMERCIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	501 m ²

910 MARCH ROAD - NUMBER OF UNITS	
P1 PARKING LEVEL	13 UNITS
1ST FLOOR LEVEL	42 UNITS
2ND FLOOR LEVEL	62 UNITS
3RD FLOOR LEVEL	62 UNITS
4TH FLOOR LEVEL	51 UNITS
5TH FLOOR LEVEL	48 UNITS
6TH FLOOR LEVEL	41 UNITS
7TH FLOOR LEVEL	35 UNITS
8TH FLOOR LEVEL	19 UNITS
9TH FLOOR LEVEL	17 UNITS
TOTAL	390 UNITS

NUMBER OF PARKING SPACES	
1 Residents (parking space / dwelling unit)	390
Dwelling units in a mixed-use building, Area C or D	390
0.2 Visitors (parking space / dwelling unit)	79
Commercial parking (3.4 X 1000SQM REQ)	18
*THIS IS THE COUNT OF EXTERIOR PARKING	18
TOTAL PARKING PROVIDED	487 (MIN REQ)
TOTAL PARKING PROVIDED	568 (PROVIDED)
MINIMUM BARRIER FREE PARKING REQUIRED	12
12 SPACES REQUIRED (6 TYPE A & 6 TYPE B)	12

910 MARCH ROAD		
CITY OTTAWA ZONING BY-LAW 2008-250		
GM(XXXX) H(32)		
PROPOSED MID-RISE MIXED-USE DEVELOPMENT		
ZONING PROVISION	REQUIRED	PROPOSED
GENERAL MIXED-USE ZONE PROVISIONS		
PERMITTED USES	RESIDENTIAL; COMMERCIAL	RESIDENTIAL; COMMERCIAL

PERMITTED USES	RESIDENTIAL; COMMERCIAL	RESIDENTIAL; COMMERCIAL
FRONT YARD SETBACK (MIN / MAX)	3 m	6 m
REAR YARD SETBACK (MIN)	7.5 m WHERE ABUTTING A RESIDENTIAL ZONE	> 7.5 m
INTERIOR SIDE YARD SETBACK (MIN)	5 m FOR MIXED USE BUILDING ABUTTING A RESIDENTIAL ZONE	> 5 m
FLOOR SPACE INDEX (MAX)	2	1.1
BUILDING HEIGHT (MAX)	32 m	32 m
LANDSCAPED AREA (MIN. WIDTH ABUTTING A STREET)	3 m	6.01 m

PARKING PROVISIONS (AREA C & AREA D)		
BICYCLE PARKING SPACES - RESIDENTIAL (MIN.)	0.5 PER DWELLING UNIT	195
BICYCLE PARKING SPACES - NON-RESIDENTIAL (MIN.)	1 PER 250 m ² GFA RETAIL = 3	3
TOTAL PRIVATE AMENITY AREA (MIN.)	6 m ² PER DWELLING UNIT = 2 346 m ²	2 346 m ²
COMMUNAL AMENITY AREA (MIN.)	50% OF REQUIRED TOTAL AMENITY AREA = 1173 m ²	1173 m ²
WATERCOURSE SETBACK (MIN.)		
	I) FOR TRIBUTARIES 2 AND 3 (NORTH AND EAST): 20 m TO CENTERLINE OF WATERCOURSE	I) FOR TRIBUTARIES 2 AND 3 (NORTH AND EAST): 20 m TO CENTERLINE OF WATERCOURSE
	II) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE	II) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension encur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER Landscape Architect
Gino Aiello
 50 Camelot Drive, Nepean, ON K2G 5X8
 T 613 852 1343

CIVIL Civil
NOVATECH
 240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P6
 T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE Mechanical Engineer
NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
 555 Leggett Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3
 T 613 224 2761 Fax 613 951 0586

INGÉNIEUR EN STRUCTURE Structural Engineer
CIMA+
 740, rue Notre-Dame O., Montréal, QC H3C 3X6
 T 514 337 2462

ARCHITECTES Architect
NEUF architect(e)s
 630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
 T 514 847 1117 NEUFArchitectes.com

SCEAU / Seal



CLIENT Client
LÉPINE
 206-555 Leggett Dr., Tower A, Ottawa, ON K2K 2X3
 T 613 591 9090 F 613 591 9095

COMPANY NAME
910 MARCH ROAD

EMPLACEMENT Location NO PROJECT No.
 910 MARCH ROAD 12712.00

NO	RELEASE	DATE (aa-mm-jj)
0	ISSUED FOR ZONING	2023.01.26
1A	ISSUED FOR SITE PLAN	2023.03.29

Preliminary
 DO NOT USE FOR CONSTRUCTION

DESSIN PAR Drawn by Z.S. VÉRIFIÉ PAR Checked by K.P.
 DATE (aa-mm-jj) 23/03/29 ÉCHELLE Scale As indicated

TITRE DU DESSIN Drawing Title
1ST FLOOR SITE PLAN

PREVIOUS REVISION: 0.14
 CURRENT REVISION: 1.0
 REVISION Revision NO. DESSIN Dwg Number
1.0 A060



P3 PARKING LEVEL
1:300
GRAPHIC SCALE: 1:300

# NOTE	DESCRIPTION
1	TOP OF BANK ORDINARY HIGHT WATER MARK
2	EXISTING MUNICIPAL MUPITRAL
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING P1 OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SIDEWALK
8	EXISTING TRIBUTARIES
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	ELEVATOR MECHANICAL PENTHOUSE
15	BIKE RACK
16	EXISTING FIRE HYDRANT
18	P2 LEVEL - OUTLINE
19	DEPRESSED CURB
20	EXIT STAIR
21	P3 LEVEL - OUTLINE
22	COMMERCIAL TERRACE
23	CANOPY PROFILE
24	WATER TANK ACCESS
25	PERGOLA
26	FIRE DEPARTMENT CONNECTION

LINE TYPE LEGEND	
---	PROPERTY LINE
---	REQUIRED SETBACKS
---	SETBACKS AS PER PROPOSED ZONING

LOCKER SCHEDULE	
Description	Count
P3 PARKING LEVEL LOCKER	125
P2 PARKING LEVEL LOCKER	143
P1 PARKING LEVEL LOCKER	122
GRAND TOTAL	390

BIKE SCHEDULE	
Description	Count
P1 PARKING LEVEL BICYCLE RACK	192
1ST FLOOR LEVEL BICYCLE RACK	6
GRAND TOTAL	198

BICYCLE RACK LEGEND	
F.M.S. - FLOOR MOUNTED SINGLE - 600 x 1800	
F.M.D. - FLOOR MOUNTED DOUBLE - 600 x 1800	
W.M.S. - WALL MOUNTED SINGLE - 500 x 1500	

PARKING SPACE	
Description	COUNT
P3 PARKING LEVEL STANDARD SMALL: 2400mmx4600mm	15
STANDARD: 2600mmx5200mm	107
P2 PARKING LEVEL STANDARD SMALL: 2400mmx4600mm	42
STANDARD: 2600mmx5200mm	188
P1 PARKING LEVEL BARRIER FREE PARKING: 2400mmx5200mm	6
BARRIER FREE PARKING: 3400mmx5200mm	6
STANDARD SMALL: 2400mmx4600mm	19
STANDARD: 2600mmx5200mm	86
STANDARD: PARKING SPACE FOR VISITORS	66
1ST FLOOR LEVEL BARRIER FREE: REF. TYPE C (3400mmx6000mm)	1
STANDARD: PARKING SPACE FOR COMMERCIAL	19
STANDARD: PARKING SPACE FOR VISITORS	7
GRAND TOTAL	568

PARKING LEGEND	
[Symbol A] BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)	
[Symbol B] BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)	
[Symbol T] TYPICAL PARKING SPACE 5.2m X 2.6m (min.)	
[Symbol V T] TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)	
[Symbol C T] TYPICAL PARKING SPACE FOR SHOPPING CENTER 5.2m X 2.6m (min.)	
[Symbol S] SMALL CAR PARKING SPACE 4.6m X 2.4m (min.)	
[Symbol V S] SMALL CAR PARKING SPACE FOR VISITORS 4.6m X 2.4m (min.)	
[Symbol Z] ZONE WITH A CLEAR HEIGHT OF 2300mm min.	
[Symbol D] DRIVING AISLE IN GARAGE	
[Symbol P] PEDESTRIAN TRAFFIC	
[Symbol X] ZONES WHICH ARE CONSIDERED PART OF THE EXIT AND CANNOT BE PENETRATED BY ANY ELECTRICAL AND MECHANICAL NOT SERVICING THE EXIT	

PLAN SYMBOL LEGEND	
[Symbol RA] RAILING OR GUARDRAIL TYPE: SEE PAGE A303 FOR DETAILS	
[Symbol GN] GENERAL NOTES: SEE LEGEND FOR DESCRIPTION	
[Symbol WC] WINDOW OR CURTAIN WALL TYPE: SEE PAGE A004 & A005 FOR DETAILS	
[Symbol WT] WALL TYPE: SEE PAGE A800 FOR DETAILS	
[Symbol RT XX] ROOF TYPE: SEE PAGE A800 FOR DETAILS	
[Symbol XX] DOOR NUMBER: SEE PAGE A800 & A801 FOR DETAILS	
[Symbol RXX] ROOM NUMBER: SEE PAGE A800 & A801 FOR DETAILS	
[Symbol XX] MATERIAL TYPE: SEE PAGE A400 & A404 FOR LEGEND	

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architects and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER / Landscape Architect
Gino Aiello
50 Camelot Drive, Nepean, ON K2G 5X8
T 613 852 1343

CIVIL Civil
NOVATECH
240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P6
T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE / Mechanical Engineer
NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
555 Legget Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3
T 613 224 2761 Fax 613 951 0586

INGÉNIEUR EN STRUCTURE / Structural Engineer
CIMA+
740, rue Notre-Dame O., Montréal, QC H3C 3X6
T 514 337 2462

ARCHITECTES Architect
NEUF architect(e)s
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT / Client
LÉPINE
206-555 Legget Dr., Tower A, Ottawa, ON K2K 2X3
T 613 591 9090 F 613 591 9095

COMPANY NAME
910 MARCH ROAD

EMPLACEMENT / Location NO PROJET No.
910 MARCH ROAD 12712.00

NO	RELEASE	DATE (aa-mm-jj)
0	ISSUED FOR ZONING	2023.01.26
1A	ISSUED FOR SITE PLAN	2023.03.29

Preliminary
DO NOT USE FOR
CONSTRUCTION

DESSIN PAR / Drawn by VERIFIÉ PAR / Checked
Z.S K.P.

DATE (aa-mm-jj) ÉCHELLE / Scale
23/03/29 As indicated

TITRE DU DESSIN / Drawing Title
P3 LEVEL PARKING

PREVIOUS REVISION: 0.14
CURRENT REVISION: 1.0
REVISION / Revision NO. DESSIN / Dwg Number
1.0 A100a

Autodesk Docs://12712_910 MARCH ROAD/M&M_12712_ARC_BDD_R22.rvt



# NOTE	DESCRIPTION
1	TOP OF BANK ORDINARY HIGHT WATER MARK
2	EXISTING MUNICIPAL MUPITRAL
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING P1 OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SIDEWALK
8	EXISTING TRIBUTARIES
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	ELEVATOR MECHANICAL PENTHOUSE
15	BKE RACK
16	EXISTING FIRE HYDRANT
17	P2 LEVEL - OUTLINE
18	DEPRESSED CURB
19	EXIT STAIR
20	P3 LEVEL - OUTLINE
21	COMMERCIAL TERRACE
22	CANOPY PROFILE
23	WATER TANK ACCESS
24	PERGOLA
25	FIRE DEPARTMENT CONNECTION

LINE TYPE LEGEND	
---	PROPERTY LINE
---	REQUIRED SETBACKS
---	SETBACKS AS PER PROPOSED ZONING

LOCKER SCHEDULE	
Description	Count
P3 PARKING LEVEL LOCKER	125
P2 PARKING LEVEL LOCKER	143
P1 PARKING LEVEL LOCKER	122
GRAND TOTAL	390

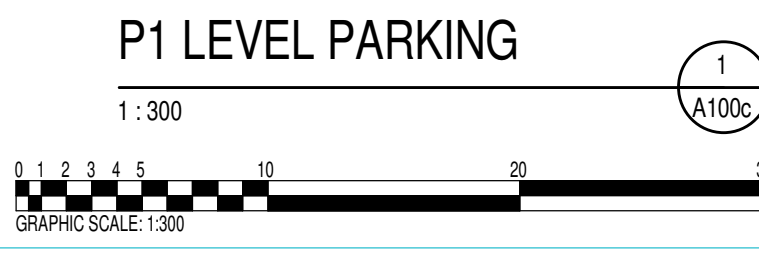
BIKE SCHEDULE	
Description	Count
P1 PARKING LEVEL BICYCLE RACK	192
1ST FLOOR LEVEL BICYCLE RACK	6
GRAND TOTAL	198

BICYCLE RACK LEGEND	
F.M.S. - FLOOR MOUNTED SINGLE - 600 x 1800	
F.M.D. - FLOOR MOUNTED DOUBLE - 600 x 1800	
W.M.S. - WALL MOUNTED SINGLE - 500 x 1500	

PARKING SPACE	
	COUNT
P3 PARKING LEVEL STANDARD SMALL: 2400mmx4600mm	15
STANDARD: 2600mmx5200mm	107
P2 PARKING LEVEL STANDARD SMALL: 2400mmx4600mm	42
STANDARD: 2600mmx5200mm	188
P1 PARKING LEVEL BARRIER FREE PARKING: 2400mmx5200mm	6
BARRIER FREE PARKING: 3400mmx5200mm	6
STANDARD SMALL: 2400mmx4600mm	19
STANDARD: 2600mmx5200mm	86
STANDARD: PARKING SPACE FOR VISITORS	66
1ST FLOOR LEVEL BARRIER FREE: REF. TYPE C (3400mmx6000mm)	1
STANDARD: PARKING SPACE FOR COMMERCIAL	19
STANDARD: PARKING SPACE FOR VISITORS	7
GRAND TOTAL	568

PARKING LEGEND	
[Symbol]	BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)
[Symbol]	BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)
[Symbol]	TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
[Symbol]	TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)
[Symbol]	TYPICAL PARKING SPACE FOR SHOPPING CENTER 5.2m X 2.6m (min.)
[Symbol]	SMALL CAR PARKING SPACE 4.6m X 2.4m (min.)
[Symbol]	SMALL CAR PARKING SPACE FOR VISITORS 4.6m X 2.4m (min.)
[Symbol]	ZONE WITH A CLEAR HEIGHT OF 2300mm min.
[Symbol]	DRIVING AISLE IN GARAGE
[Symbol]	PEDESTRIAN TRAFFIC
[Symbol]	ZONES WHICH ARE CONSIDERED PART OF THE EXIT AND CANNOT BE PENETRATED BY ANY ELECTRICAL AND MECHANICAL NOT SERVICING THE EXIT

PLAN SYMBOL LEGEND	
[Symbol]	RAILING OR GUARDRAIL TYPE: SEE PAGE A300 FOR DETAILS
[Symbol]	GENERAL NOTES: SEE LEGEND FOR DESCRIPTION
[Symbol]	WINDOW OR CURTAIN WALL TYPE: SEE PAGE A004 & A005 FOR DETAILS
[Symbol]	WALL TYPE: SEE PAGE A800 FOR DETAILS
[Symbol]	ROOF TYPE: SEE PAGE A800 FOR DETAILS
[Symbol]	DOOR NUMBER: SEE PAGE A800 & A801 FOR DETAILS
[Symbol]	ROOM NUMBER: SEE PLANS FOR DETAILS
[Symbol]	MATERIAL TYPE: SEE PAGE A400 @ A404 FOR LEGEND



NOTES LIST

- TOP OF BANK ORDINARY HIGHT WATER MARK
- EXISTING MUNICIPAL MUPITRAL
- EXISTING UTILITY POLE TO BE REMOVED
- UNDERGROUND PARKING P1 OUTLINE
- GROUND FLOOR OUTLINE
- 2ND FLOOR - OUTLINE
- NEW SIDEWALK
- EXISTING TRIBUTARIES
- RETAINING WALL
- EXISTING UTILITY POLE
- OVERHEAD WIRES
- PRIVATE BALCONY
- PRIVATE TERRACE
- ELEVATOR MECHANICAL PENTHOUSE
- BKE RACK
- EXISTING FIRE HYDRANT
- P2 LEVEL - OUTLINE
- DEPRESSED CURB
- EXIT STAIR
- P3 LEVEL - OUTLINE
- COMMERCIAL TERRACE
- CANOPY PROFILE
- WATER TANK ACCESS
- PERGOLA
- FIRE DEPARTMENT CONNECTION

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. These architectural documents are the exclusive property of NEUF architects and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER / Landscape Architect
Gino Aiello
 50 Camelot Drive, Nepean, ON K2G 5X8
 T 613 852 1343

CIVIL / Civil
NOVATECH
 240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P6
 T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE / Mechanical Engineer
NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
 555 Legget Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3
 T 613 224 2761 Fax 613 951 0586

INGÉNIEUR EN STRUCTURE / Structural Engineer
CIMA+
 740, rue Notre-Dame O., Montréal, QC H3C 3X6
 T 514 337 2462

ARCHITECTES / Architect
NEUF architect(e)s
 630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
 T 514 847 1117 NEUFarchitectes.com



CLIENT / Client
 ★ ★ ★ ★ ★
LÉPINE
 206-555 Legget Dr., Tower A, Ottawa, ON K2K 2X3
 T 613 591 9090 F 613 591 9095

COMPANY NAME
910 MARCH ROAD

EMPLACEMENT / Location NO PROJECT No.
 910 MARCH ROAD 12712.00

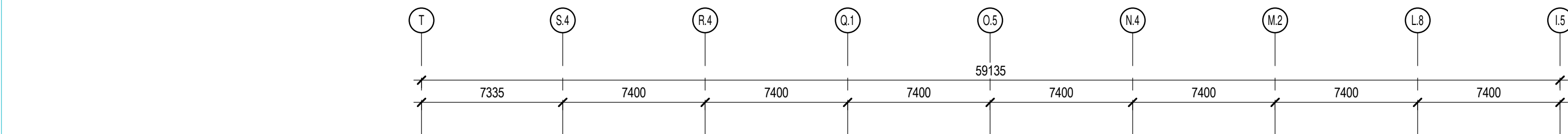
NO RELEASE DATE (aa-mm-jj)
 0 ISSUED FOR ZONING 2023.01.26
 1.A ISSUED FOR SITE PLAN 2023.03.29

DESSIN PAR Drawn by Z.S. VÉRIFIÉ PAR Checked by K.P.
 DATE (aa.mm.jj) 23/03/29 ÉCHELLE Scale As indicated
 TITRE DU DESSIN Drawing Title

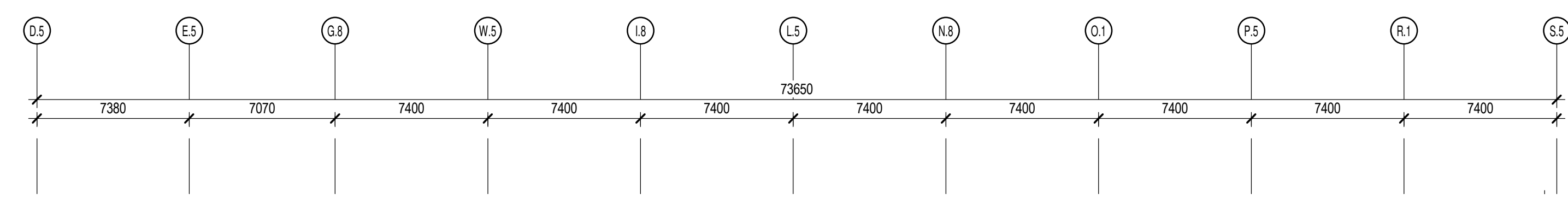
P1 LEVEL PARKING

PREVIOUS REVISION: 0.14
 CURRENT REVISION: 1.0
 REVISION / Revision NO. DESSIN Dwg Number

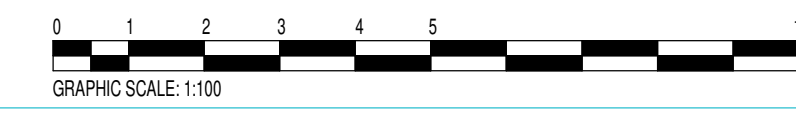
1.0 A100c



EAST ELEVATION
1:200



WEST ELEVATION
1:200



NOTES LIST	
# NOTE	DESCRIPTION
1	TOP OF BANK ORDINARY HEIGHT WATER MARK
2	EXISTING MUNICIPAL MULTIPAL
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING P1 OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SIDEWALK
8	EXISTING TRIBUTARIES
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	ELEVATOR MECHANICAL PENTHOUSE
15	BIKE RACK
16	EXISTING FIRE HYDRANT
18	P2 LEVEL - OUTLINE
19	DEPRESSED CURB
20	EXIT STAIR
21	P3 LEVEL - OUTLINE
22	COMMERCIAL TERRACE
23	CANOPY PROFILE
24	WATER TANK ACCESS
25	PERGOLA
26	FIRE DEPARTMENT CONNECTION

LINE TYPE LEGEND	
	PROPERTY LINE
	YARD SETBACK
	ENVIRONMENTAL SETBACK

EXTERIOR MATERIAL LEGEND	
	PRECAST - SMOOTH FINISH, TYPE 1
	PRECAST - SMOOTH FINISH, TYPE 2
	PRECAST - WOOD PATTERN, TYPE 1
	PRECAST - WOOD PATTERN, TYPE 2
	PRECAST - WOOD PATTERN, TYPE 3
	PRECAST - PATTERN LARGE STONE
	PRECAST - VERTICAL STREEK PATTERN
	METAL CLADDING
	EIFS PANELS
	METAL COVER COLUMNS AND PERGOLA, PAINTED

PLAN SYMBOL LEGEND	
	RAILING OR GUARDRAIL TYPE - SEE PAGE A303 FOR DETAILS
	GENERAL NOTES - SEE LEGEND FOR CURTAIN WALL TYPE
	WINDOW OR CURTAIN WALL TYPE - SEE PAGE A303 FOR DETAILS
	WALL TYPE - SEE PAGE A800 FOR DETAILS
	ROOF TYPE - SEE PAGE A800 FOR DETAILS
	DOOR NUMBER - SEE PAGE A900 & A901 FOR DETAILS
	ROOM NUMBER - SEE PLANS FOR DETAILS
	EXTERIOR MATERIAL TYPE - SEE PAGE A400 & A401 FOR LEGEND

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension en erreur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER Landscape Architect
Gino Aiello
50 Camelot Drive, Nepean, ON K2G 5X8
T 613 852 1343

CIVIL Civil
NOVATECH
240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P6
T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE Mechanical Engineer
NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
555 Legget Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3
T 613 224 2761 Fax 613 951 0586

INGÉNIEUR EN STRUCTURE Structural Engineer
CMA+
740, rue Notre-Dame O., Montréal, QC H3C 3X6
T 514 337 2462

ARCHITECTES Architect
NEUF architect(e)s
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT Client
LÉPINE
206-555 Legget Dr., Tower A, Ottawa, ON K2K 2X3
T 613 591 9090 F 613 591 9095

COMPANY NAME
910 MARCH ROAD

EMPLACEMENT Location NO PROJET No.
910 MARCH ROAD 12712.00

NO RELEASE DATE (aa-mm-jj)
0 ISSUED FOR ZONING 2023.01.26
1.A ISSUED FOR SITE PLAN 2023.03.29

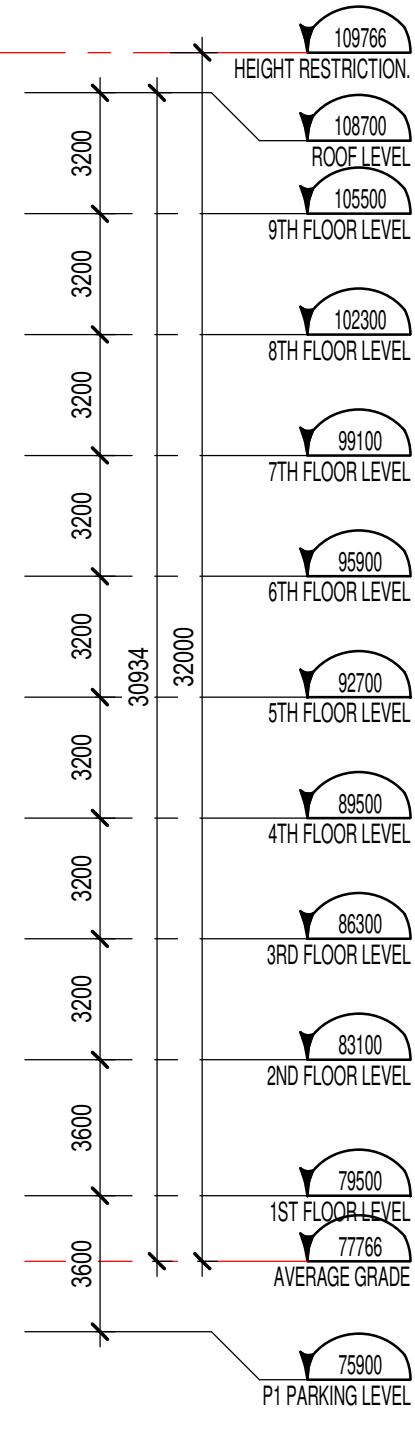
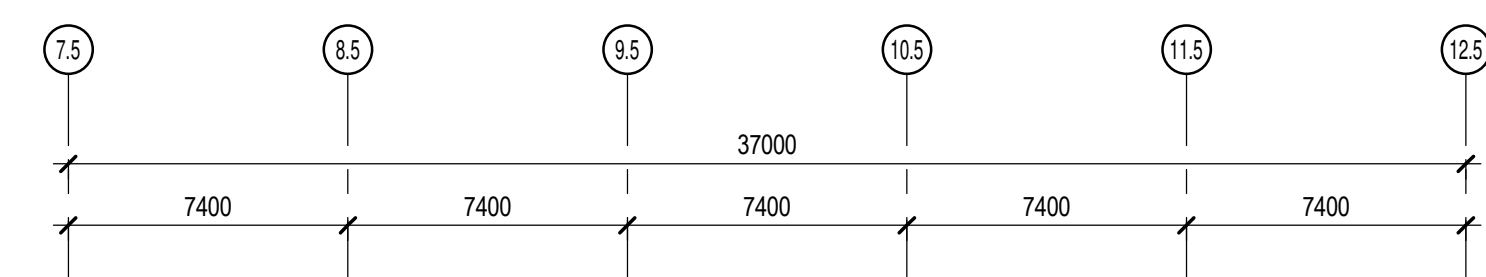
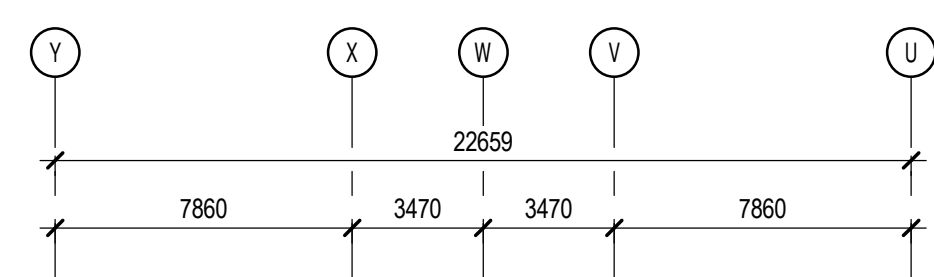
DESSINÉ PAR Drawn by
ZS CI VÉRIFIÉ PAR Checked
ZS CI K.P.

DATE (aa-mm-jj) ÉCHELLE Scale
23/03/29 As indicated
TITRE DU DESSIN Drawing Title
EAST & WEST ELEVATIONS

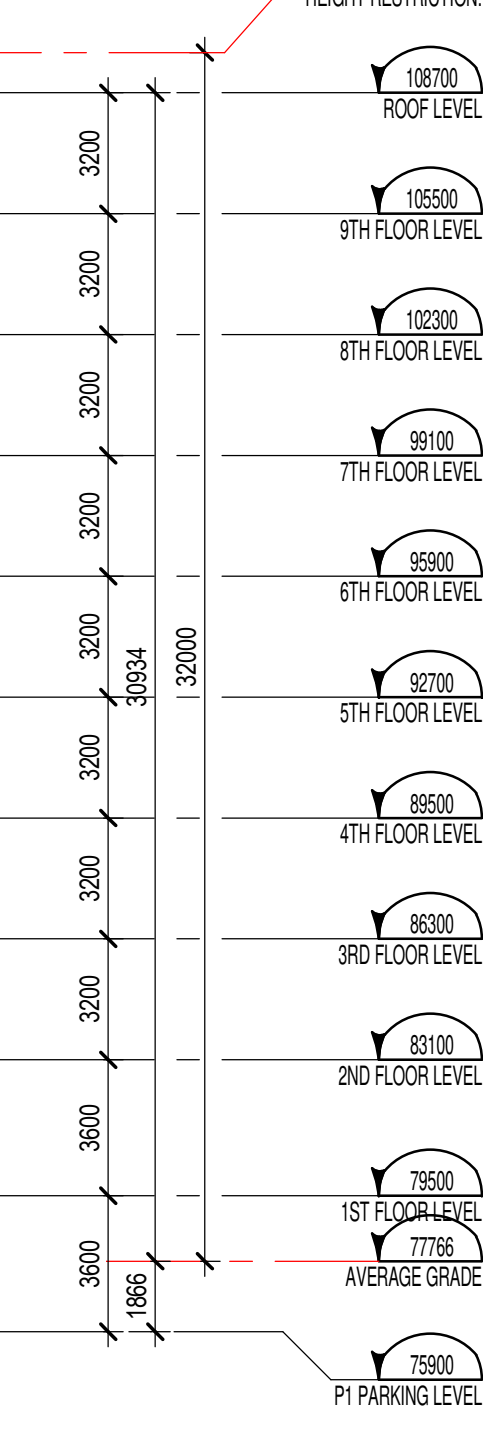
PREVIOUS REVISION: 1.0
CURRENT REVISION: 1.0
REVISION Revision NO. DESSIN Dwg Number

1.0 A400

Autodesk Docs://12712_910 MARCH ROAD/M&M_12712_ARC_BBD_R22.rvt



NORTH-EAST ELEVATION
1 : 200
3
A401



NORTH ELEVATION
1 : 200
2
A401

NOTES LIST	
# NOTE	DESCRIPTION
1	TOP OF BANK ORDINARY HIGH WATER MARK
2	EXISTING MUNICIPAL MULTIPATH
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING P1 OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SIDEWALK
8	EXISTING TRIBUTARIES
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	ELEVATOR MECHANICAL PENTHOUSE
15	BIKE RACK
16	EXISTING FIRE HYDRANT
18	P2 LEVEL - OUTLINE
19	DEPRESSED CURB
20	EXIT STAIR
21	P3 LEVEL - OUTLINE
22	COMMERCIAL TERRACE
23	CANOPY PROFILE
24	WATER TANK ACCESS
25	PERGOLA
26	FIRE DEPARTMENT CONNECTION

NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architects and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER / Landscape Architect
Gino Aiello
50 Camélot Drive, Nepean, ON K2G 5X8
T 613 852 1343

CIVIL CIVIL
NOVATECH
240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P6
T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE / Mechanical Engineer
NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
555 Legget Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3
T 613 224 2761 Fax 613 951 0586

INGÉNIEUR EN STRUCTURE / Structural Engineer
CIMA+
740, rue Notre-Dame O., Montréal, QC H3C 3X6
T 514 337 2462

ARCHITECTES / Architect
NEUF architect(e)s
630, boul. René-Lévesque O. 32e étages, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



206-555 Legget Dr., Tower A, Ottawa, ON K2K 2X3
T 613 591 9090 F 613 591 9095

COMPANY NAME
910 MARCH ROAD

EMPLACEMENT / Location NO PROJECT No.
910 MARCH ROAD 12712.00

NO RELEASE DATE (aa-mm-jj)
0 ISSUED FOR ZONING 2023.01.26
1.A ISSUED FOR SITE PLAN 2023.03.29

Preliminary
DO NOT USE FOR
CONSTRUCTION

DESSIN PAR / Drawn by ZS CI
DATE (aa.mm.jj) 23/03/29
TITRE DU DESSIN / Drawing Title

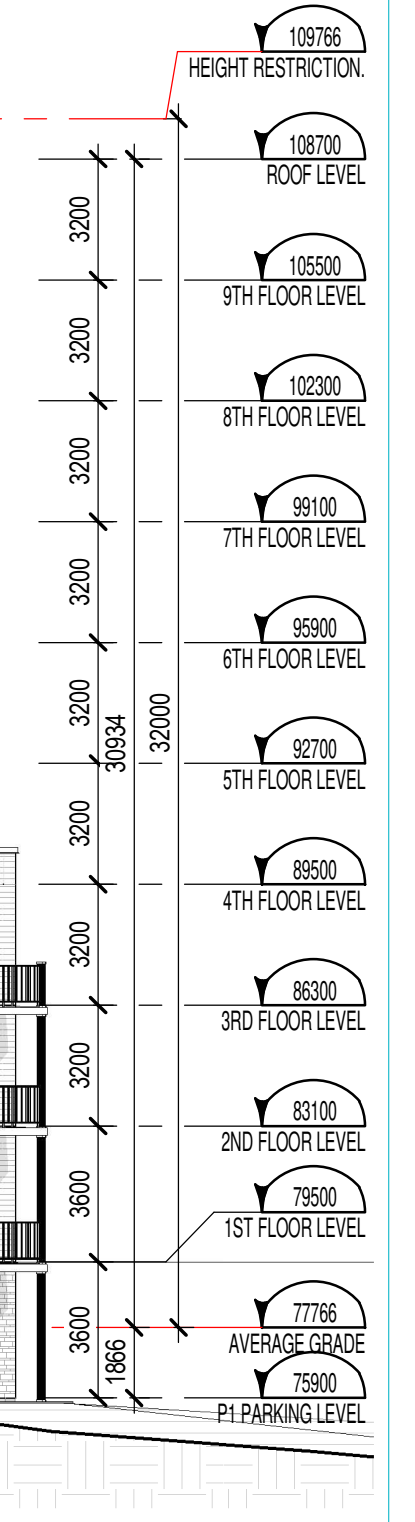
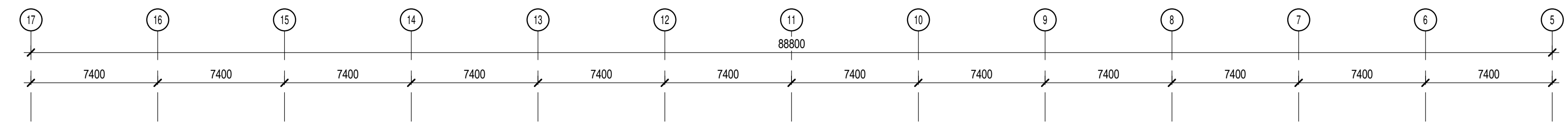
VERIFIÉ PAR / Checked K.P.
DATE (aa.mm.jj) 23/03/29
ÉCHELLE / Scale As indicated

NORTH & SOUTH ELEVATIONS
PREVIOUS REVISION: 1.14
CURRENT REVISION: 1.0
REVISION Revision NO. DESSIN Dwg Number

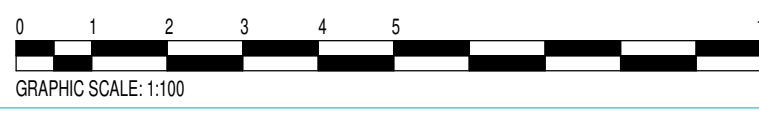
LINE TYPE LEGEND	
	PROPERTY LINE
	YARD SETBACK
	ENVIRONMENTAL SETBACK

EXTERIOR MATERIAL LEGEND	
	PRECAST - SMOOTH FINISH, TYPE 1
	PRECAST - SMOOTH FINISH, TYPE 2
	PRECAST - WOOD PATTERN, TYPE 1
	PRECAST - WOOD PATTERN, TYPE 2
	PRECAST - WOOD PATTERN, TYPE 3
	PRECAST - PATTERN LARGE STONE
	PRECAST - VERTICAL STREEK PATTERN
	METAL CLADDING
	EIFS PANELS
	METAL COVER COLUMNS AND PERGOLA, PAINTED

PLAN SYMBOL LEGEND	
	RAILING OR GUARDRAIL TYPE - SEE PAGE A303 FOR DETAILS
	GENERAL NOTES - SEE LEGEND FOR DESCRIPTION
	WINDOW OR CURTAIN WALL TYPE - SEE PAGE A803 FOR DETAILS
	WALL TYPE - SEE PAGE A800 FOR DETAILS
	ROOF TYPE - SEE PAGE A800 FOR DETAILS
	DOOR NUMBER - SEE PAGE A800 & A801 FOR DETAILS
	ROOM NUMBER - SEE PLANS FOR DETAILS
	EXTERIOR MATERIAL TYPE - SEE PAGE A400 & A401 FOR LEGEND



SOUTH ELEVATION
1 : 200
1
A401



Autodesk Docs://12712_910 MARCH ROAD.MAM_12712_ARC_BBD_R22.rvt

Autodesk Docs://12712_910 MARCH ROAD/M&M_12712_ARC_BBD_R22.rvt

NOTES LIST	
# NOTE	DESCRIPTION
1	TOP OF BANK ORDINARY HIGH WATER MARK
2	EXISTING MUNICIPAL MURTRIAL
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING P1 OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SIDEWALK
8	EXISTING TRIBUTARIES
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	ELEVATOR MECHANICAL PENTHOUSE
15	BIKE RACK
16	EXISTING FIRE HYDRANT
18	P2 LEVEL - OUTLINE
19	DEPRESSED CURB
20	EXIT STAIR
21	P3 LEVEL - OUTLINE
22	COMMERCIAL TERRACE
23	CANOPY PROFILE
24	WATER TANK ACCESS
25	PERGOLA
26	FIRE DEPARTMENT CONNECTION

NOTES GÉNÉRALES General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architects and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Veuillez aviser l'architecte de toute dimension en erreur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER Landscape Architect

Gino Aiello
50 Camelot Drive, Nepean, ON K2G 5X8
T 613 852 1343

CIVIL Civil

NOVATECH
240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P6
T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE Mechanical Engineer

NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
555 Legget Drive, Tower A, Suite 212, Ottawa, ON K2K 2X3
T 613 224 2761 Fax 613 951 0586

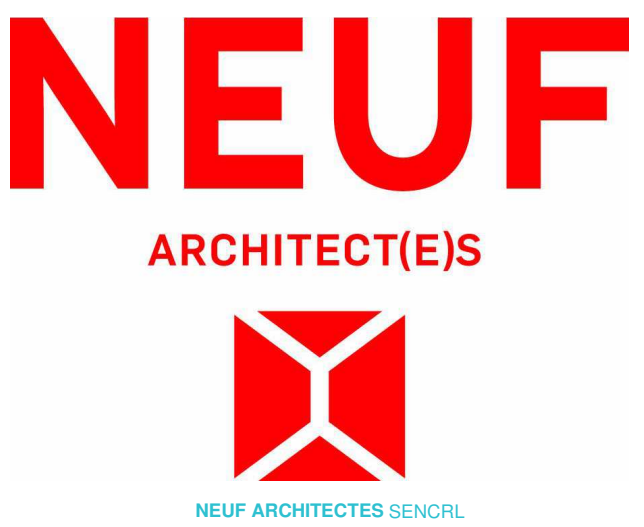
INGÉNIEUR EN STRUCTURE Structural Engineer

CIMA+
740, rue Notre-Dame O., Montréal, QC H3C 3X6
T 514 337 2462

ARCHITECTES Architect

NEUF architect(e)s
630, boul. René-Lévesque O. 32e étages, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCÉAU / Seal



CLIENT Client



206-555 Legget Dr., Tower A, Ottawa, ON K2K 2X3
T 613 591 9090 F 613 591 9095

COMPANY NAME

910 MARCH ROAD

EMPLACEMENT Location
910 MARCH ROAD

NO PROJET No.
12712.00

NO	RELEASE	DATE (aa-mm-jj)
0	ISSUED FOR ZONING	2023.01.26
0.1	FOR DESIGN COORDINATION	2022.05.24

DESSINÉ PAR Drawn by
ZS CI

VÉRIFIÉ PAR Checked
K.P.

DATE (aa.mm.jj)
23/03/29

ÉCHELLE Scale
As indicated

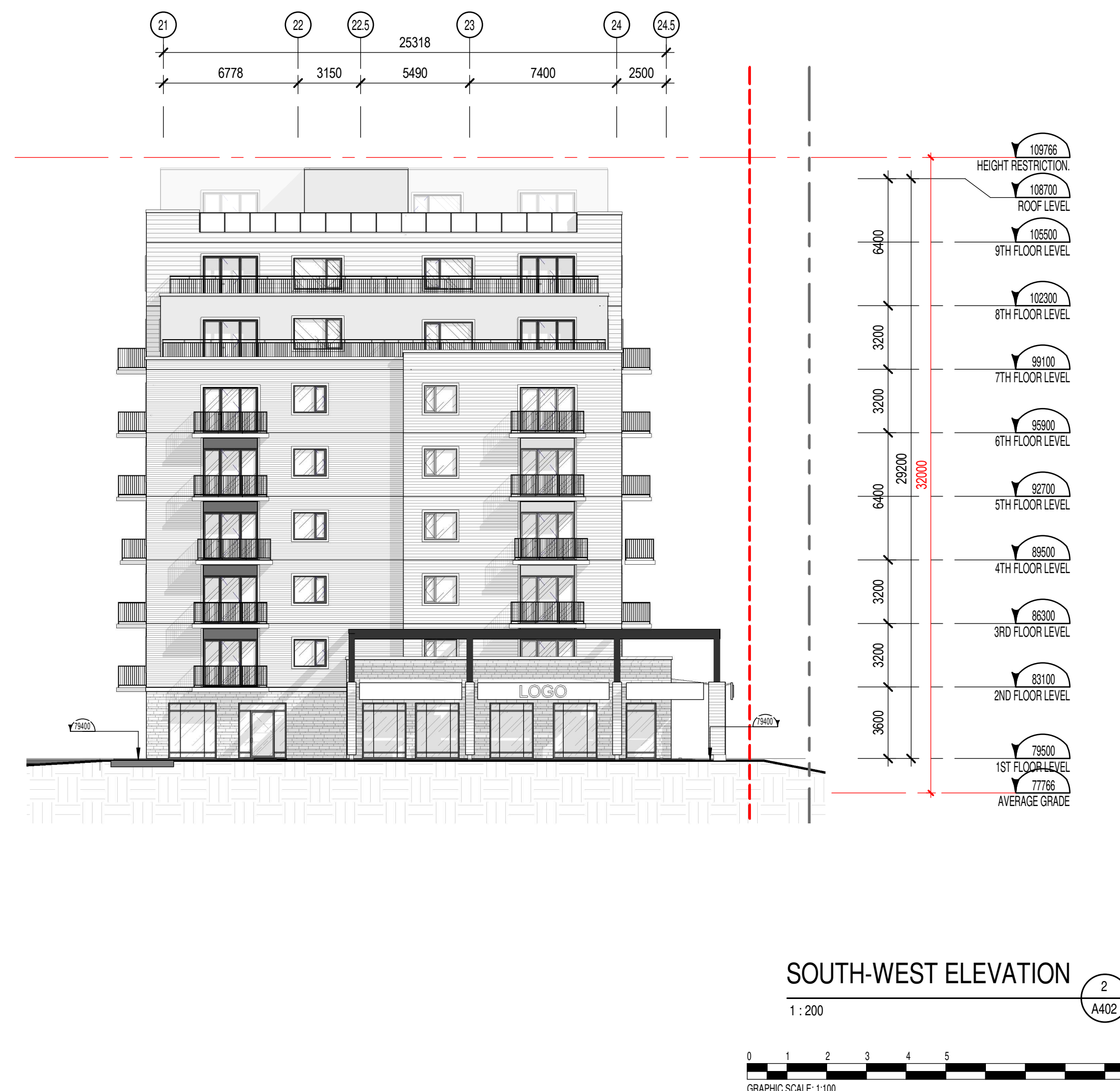
PARTIAL ELEVATION

PREVIOUS REVISION: 0.1
CURRENT REVISION: 1.0
RÉVISION Revision

NO. DESSIN Dwg Number

1.0

A402



LINE TYPE LEGEND

---	PROPERTY LINE
- - - - -	YARD SETBACK
- . - . - . -	ENVIRONMENTAL SETBACK

EXTERIOR MATERIAL LEGEND

[Pattern]	PRECAST - SMOOTH FINISH, TYPE 1
[Pattern]	PRECAST - SMOOTH FINISH, TYPE 2
[Pattern]	PRECAST - WOOD PATTERN, TYPE 1
[Pattern]	PRECAST - WOOD PATTERN, TYPE 2
[Pattern]	PRECAST - WOOD PATTERN, TYPE 3
[Pattern]	PRECAST - PATTERN LARGE STONE
[Pattern]	PRECAST - VERTICAL STREEK PATTERN
[Pattern]	METAL CLADDING
[Pattern]	EIFS PANELS
[Pattern]	METAL COVER COLUMNS AND PERGOLA, PAINTED

PLAN SYMBOL LEGEND

[Symbol]	RAILING OR GUARDRAIL TYPE • SEE PAGE A303 FOR DETAILS
[Symbol]	GENERAL NOTES • SEE LEGEND FOR DESCRIPTION
[Symbol]	WINDOW OR CURTAIN WALL TYPE • SEE PAGE A803 FOR DETAILS
[Symbol]	WALL TYPE • SEE PAGE A800 FOR DETAILS
[Symbol]	ROOF TYPE • SEE PAGE A800 FOR DETAILS
[Symbol]	DOOR NUMBER • SEE PAGE A800 & A801 FOR DETAILS
[Symbol]	ROOM NUMBER • SEE PLANS FOR DETAILS
[Symbol]	EXTERIOR MATERIAL TYPE • SEE PAGE A400 & A401 FOR LEGEND

SOUTH-WEST ELEVATION
1 : 200
GRAPHIC SCALE: 1:100