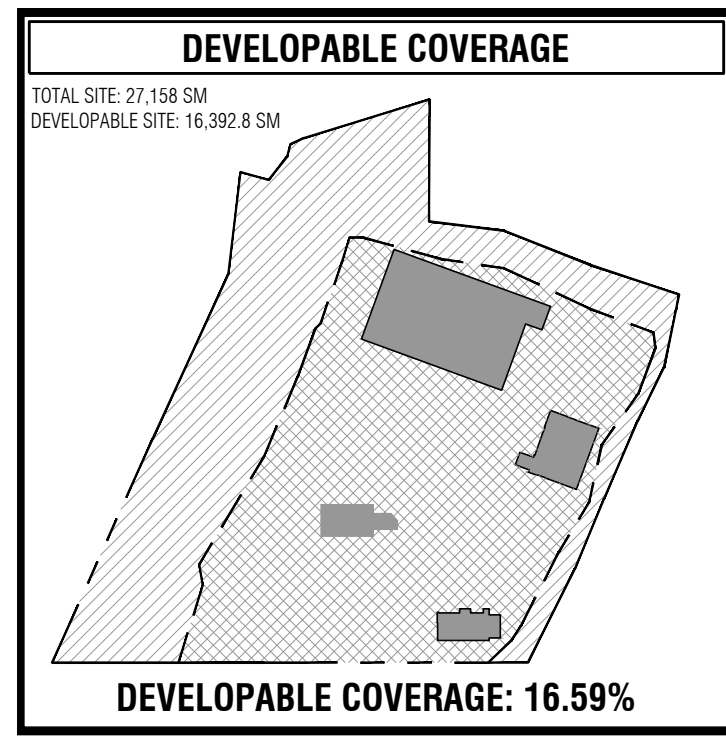
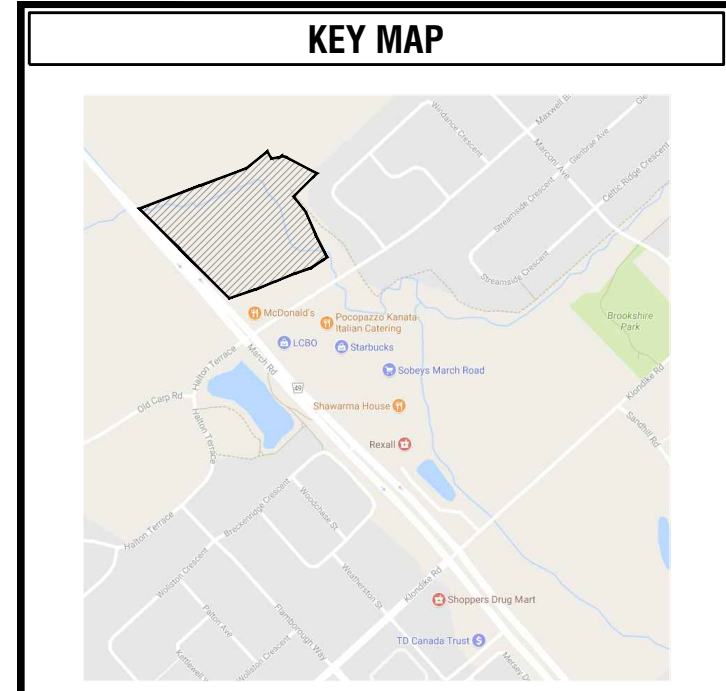


SIGN FACE AREA (PER SIDE): 12.84 sqm
BY LAW MAXIMUM SIGN FACE AREA (PER SIDE): 14.00 sqm

2 DOUBLE SIDED PYLON SIGN DETAIL
1:50



1 CONCEPT SITE PLAN
1:500



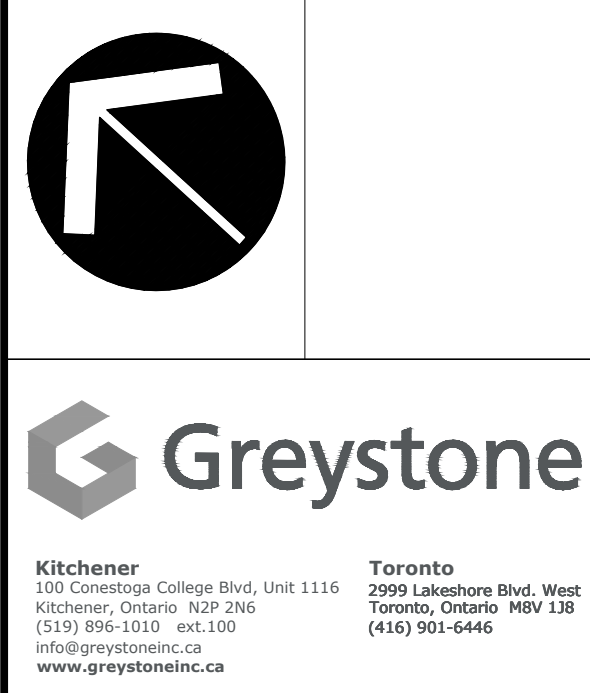
SITE DATA

	SF	SM	ACRES
TOTAL SITE	292,230	27,158	6.71
TOTAL DEVELOPABLE AREA	174,450	16,392.8	4.09
PROPOSED BUILDING COVERAGE			
GAS BAR C/W TM HORTONS	4,737	440.10	1.62%
RETAIL	19,758.6	1,835.63	6.76%
RESTAURANT A	2,359	219.18	0.81%
ROYAL BANK OF CANADA	4,483	416.44	1.53%
TOTAL	37,337.6	3,911.35	13.92%
PARKING DATA			
REQUIRED PARKING (AREA C):			
RETAIL: 3.41/100SM		63 SPACES	
GAS BAR: NONE		0 SPACES	
RESTAURANT: 10/100 SM (41.036=42)		42 SPACES	
BANK: 3.4/100SM		15 SPACES	
TOTAL REQUIRED PARKING		120 SPACES	
PROVIDED PARKING		150 SPACES	
PROVIDED BARRIER FREE PARKING		10 SPACES	
TOTAL PROVIDED PARKING		160 SPACES	
REGULAR PARKING SPACE: 2.6m x 5.2m			
BARRIER FREE PARKING SPACE: (WITH 1.5m ACCESS AISLE)			
TYPE A: 3.4m x 5.2m			
TYPE B: 2.4m x 5.2m			
LANDSCAPING REQUIRED		15%	
LANDSCAPING PROVIDED		46.7%	

LEGEND

	PROPERTY LINE
	BUILDING SETBACK
	EDGE OF BANK
	EDGE OF BANK OFFSET
	IRON BAR
	BARRIER FREE PARKING
	TRAFFIC FLOW ARROWS
	PARKING COUNT
	GARBAGE BIN
	SIGNALIZED INTERSECTION
	SECONDARY ENTRANCE
	PRINCIPLE ENTRANCE
	PEDESTRIAN CROSSWALK
	NO PARK ZONE
	BARRIER FREE SIGN
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:
 - CHECK AND VERIFY ALL DIMENSIONS ON SITE.
 - REPORT ALL ERRORS AND/OR OMISSIONS TO GREYSTONE BEFORE CONTINUING WITH ANY WORK.
 THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS NOTED OTHERWISE.
 THESE DRAWINGS ARE NOT TO BE SCALED. ERRORS MADE BY PERSONS SCALING THESE DRAWINGS SHALL NOT BE THE RESPONSIBILITY OF GREYSTONE.
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2 ISSUED FOR SPA 06.26.20
 1 ISSUED FOR CLIENT REVIEW 03.27.20

REV.	DESCRIPTION	DATE
2	ISSUED FOR SPA	06.26.20
1	ISSUED FOR CLIENT REVIEW	03.27.20

PROJECT FOR:

WEXFORD
COMMERCIAL DEVELOPMENTS LTD.

PROJECT: NEW BUILD

CREEKSIDE LANDING
MARCH ROAD
KANATA, ONTARIO

DRAWING: SITE PLAN

DRAWN:	CHECKED:	JOB NUMBER:
M.M.W.	S.R.	17300
DATE (YYYY/MM/DD):	SCALE:	
2020.06.26	AS NOTED	
DRAWING NUMBER:	REVISION NUMBER:	
A1.0	RO	