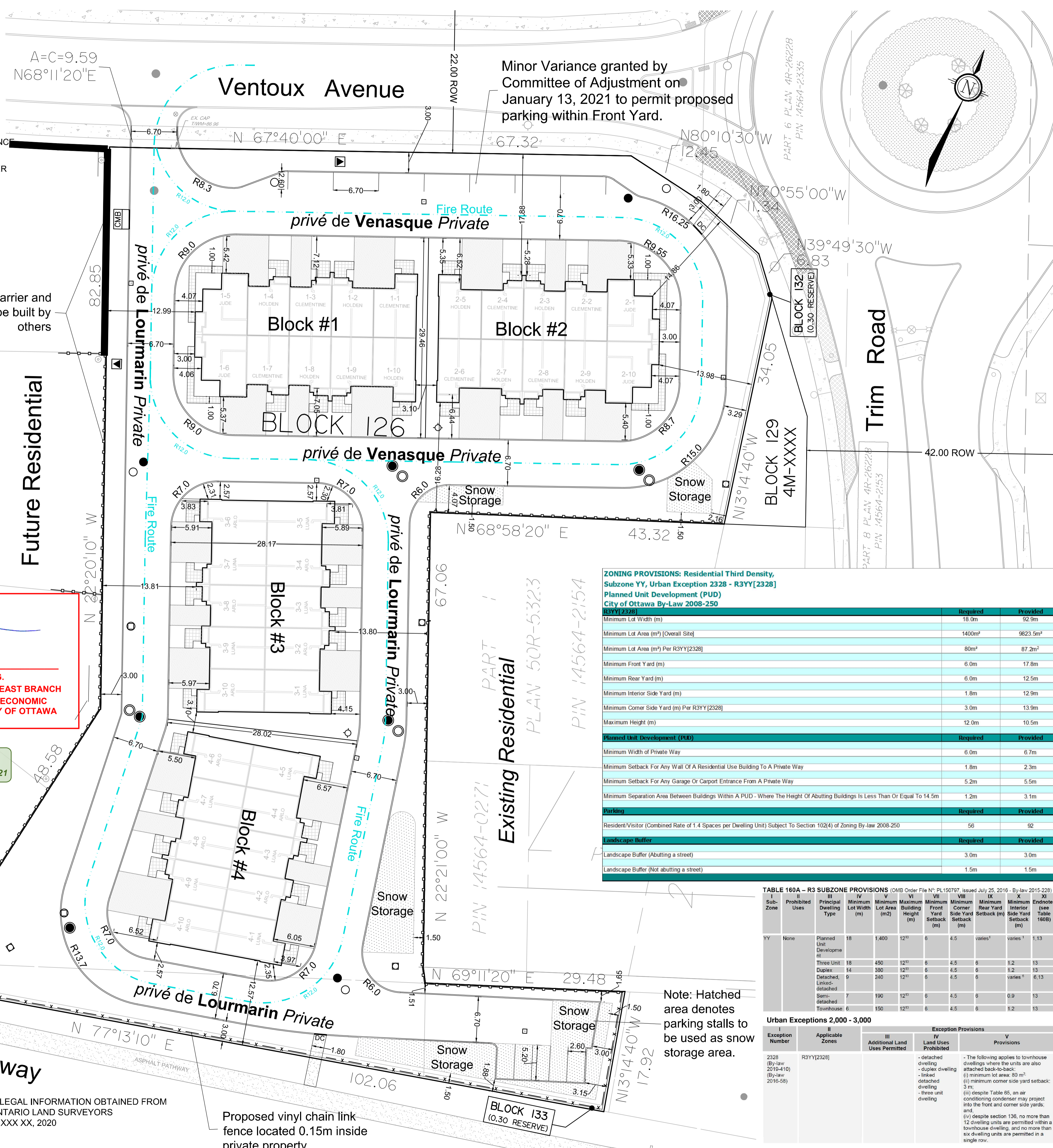
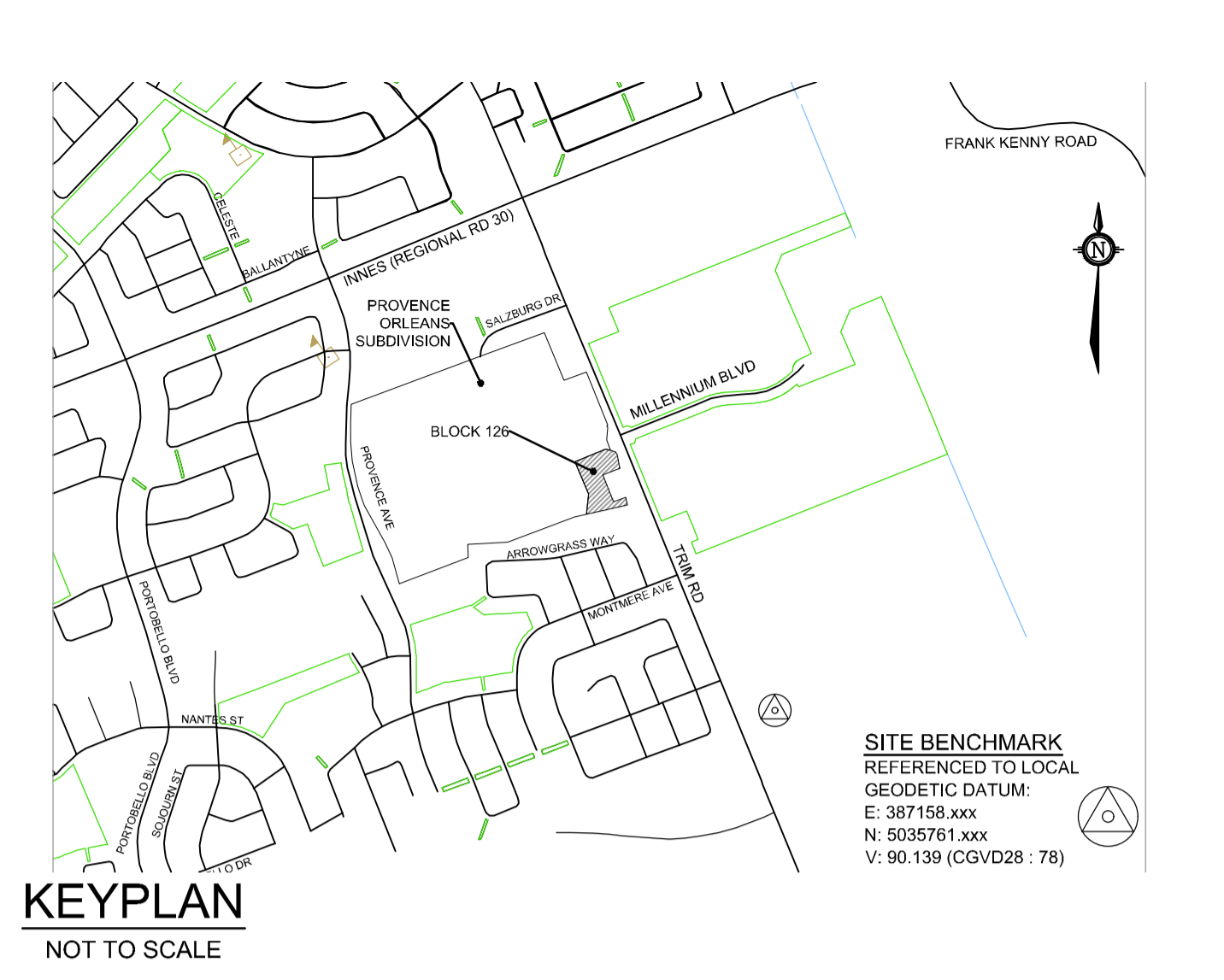
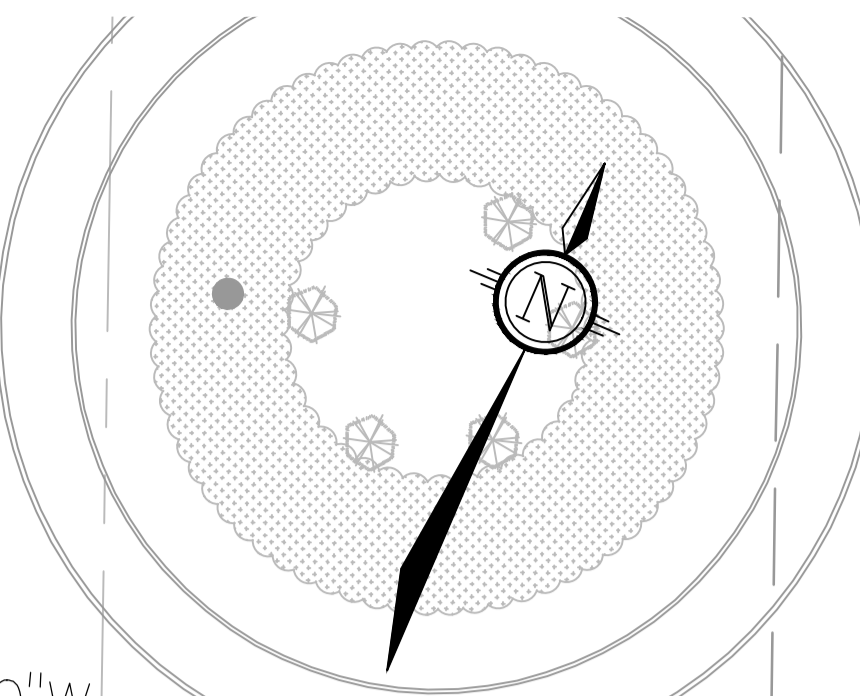


**LEGEND**

- SANITARY MANHOLE
- STORM MANHOLE
- HYD ○ HYDRANT
- ROAD CATCHBASIN
- ▲ HYDRO TRANSFORMER
- x-x-x- 1.5m BLACK VINYL CHAINLINK FENCE
- 1.8m WOOD PRIVACY FENCE
- 2.5m HIGH NOISE BARRIER
- [CMB] PROPOSED COMMUNITY MAILBOX



Minor Variance granted by Committee of Adjustment on January 13, 2021 to permit proposed parking within Front Yard.



# SITE PLAN BLOCK 126

PART OF LOT 2  
CONCESSION 9  
TOWNSHIP OF CUMBERLAND  
CITY OF OTTAWA



**ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2328 - R3YY(2328) Planned Unit Development (PUD) City of Ottawa By-Law 2008-250**

	Required	Provided
<b>R3YY(2328)</b>		
Minimum Lot Width (m)	18.0m	92.9m
Minimum Lot Area (m²) (Overall Site)	1400m²	9823.5m²
Minimum Lot Area (m²) Per R3YY(2328)	80m²	87.2m²
Minimum Front Yard (m)	6.0m	17.8m
Minimum Rear Yard (m)	6.0m	12.5m
Minimum Interior Side Yard (m)	1.8m	12.9m
Minimum Corner Side Yard (m) Per R3YY(2328)	3.0m	13.9m
Maximum Height (m)	12.0m	10.5m
<b>Planned Unit Development (PUD)</b>	<b>Required</b>	<b>Provided</b>
Minimum Width of Private Way	6.0m	6.7m
Minimum Setback For Any Wall Of A Residential Use Building To A Private Way	1.8m	2.3m
Minimum Setback For Any Garage Or Carport Entrance From A Private Way	5.2m	5.6m
Minimum Separation Area Between Buildings Within A PUD - Where The Height Of Abutting Buildings Is Less Than Or Equal To 14.5m	1.2m	3.1m
<b>Parking</b>	<b>Required</b>	<b>Provided</b>
Resident/Visitor (Combined Rate of 1.4 Spaces per Dwelling Unit) Subject To Section 102(4) of Zoning By-law 2008-250	56	92
<b>Landscape Buffer</b>	<b>Required</b>	<b>Provided</b>
Landscape Buffer (Abutting a street)	3.0m	3.0m
Landscape Buffer (Not abutting a street)	1.5m	1.5m

**TABLE 160A - R3 SUBZONE PROVISIONS** (OMB Order File No: PL150757, issued July 25, 2016 - By-law 2015-238)

Sub-Zone	Prohibited Uses	III Principal Dwelling Type	IV Minimum Lot Width (m)	V Minimum Lot Area (m²)	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Rear Yard Setback (m)	IX Minimum Side Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI Endnotes (see Table 160B)
YY	None	Planned Unit Development or Three Unit	18	1,400	12 <sup>(1)</sup>	6	4.5	varies <sup>1</sup>	varies <sup>1</sup>	1, 13
		Duplex	18	450	12 <sup>(1)</sup>	6	4.5	6	1.2	13
		Detached, Linked, Detached Semi-detached	14	380	12 <sup>(1)</sup>	6	4.5	6	1.2	13
		Detached Townhouse	9	240	12 <sup>(1)</sup>	6	4.5	6	varies <sup>1</sup>	6, 13
		Detached Townhouse	7	190	12 <sup>(1)</sup>	6	4.5	6	0.9	13
		Townhouse	6	150	12 <sup>(1)</sup>	6	4.5	6	1.2	13

**Urban Exceptions 2,000 - 3,000**

Exception Number	II Applicable Zones	III Additional Land Uses Permitted	IV Land Uses Prohibited	V Exception Provisions
2328 (By-law 2015-238) (By-law 2016-58)	R3YY(2328)		- detached dwelling - duplex dwelling - linked detached dwelling - three unit dwelling	- The following applies to townhouse dwellings where the units are also attached back-to-back: (i) minimum lot area: 80 m²; (ii) minimum corner side yard setback: 3 m; (iii) despite Table 65, an air conditioning condenser may project into the front and corner side yards; and, (iv) despite section 136, no more than 12 dwelling units are permitted within a townhouse dwelling, and no more than six dwelling units are permitted in a single row.

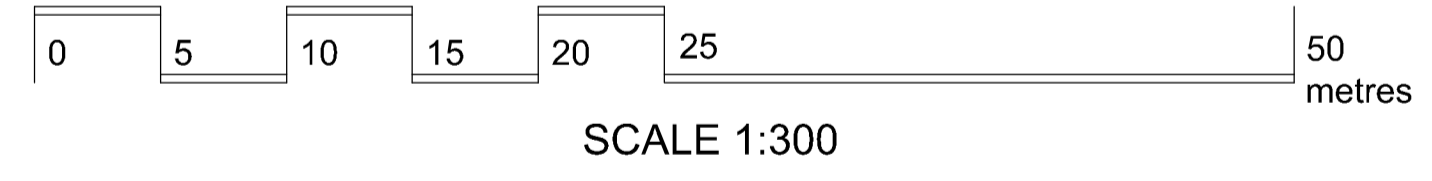
*Jeff McEwen*  
**JEFF MCEWEN P.ENG.**  
MANAGER, DEVELOPMENT REVIEW EAST BRANCH  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Jeff McEwen at 10:40 am, Jul 26, 2021

Note: Hatched area denotes parking stalls to be used as snow storage area.

Proposed vinyl chain link fence located 0.15m inside private property

NOTE:  
THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM ANNIS, O'SULLIVAN VOLLEBEKK LTD., ONTARIO LAND SURVEYORS  
PLAN OF SUBDIVISION (4M-XXXX), DATED XXX XX, 2020  
JOB No. 22023-20



No.	REVISION	DATE	BY
8	REVISED PER COMMENTS	MAY 17/21	RT
7	REVISED PER COMMENTS	APR 16/21	RT
6	REVISED PER COMMENTS	MAR 05/21	RT
5	REVISED PER COMMENTS	JAN 20/21	RT
4	ISSUED FOR SITE PLAN SUBMISSION	NOV 24/20	RT
3	REVISED PER COMMENTS	SEPT 17/20	RT
2	ISSUED FOR SITE PLAN APPROVAL	JUNE 26, 20	RT
1	ISSUED FOR SITE PLAN SUBMISSION	JUNE 12, 20	RT

**NOVATECH**  
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Website: www.novatech-eng.com

ISSUED: MAY, 2021  
PROJECT No.: 120057  
DRAWING No.: 120057-SP

M:\2020\120057\CAD\Planning\Site Plans\120057-SP.dwg, SP-A1, May 17, 2021, 8:52am, webdes

D07-12-20-0095