

LEGEND

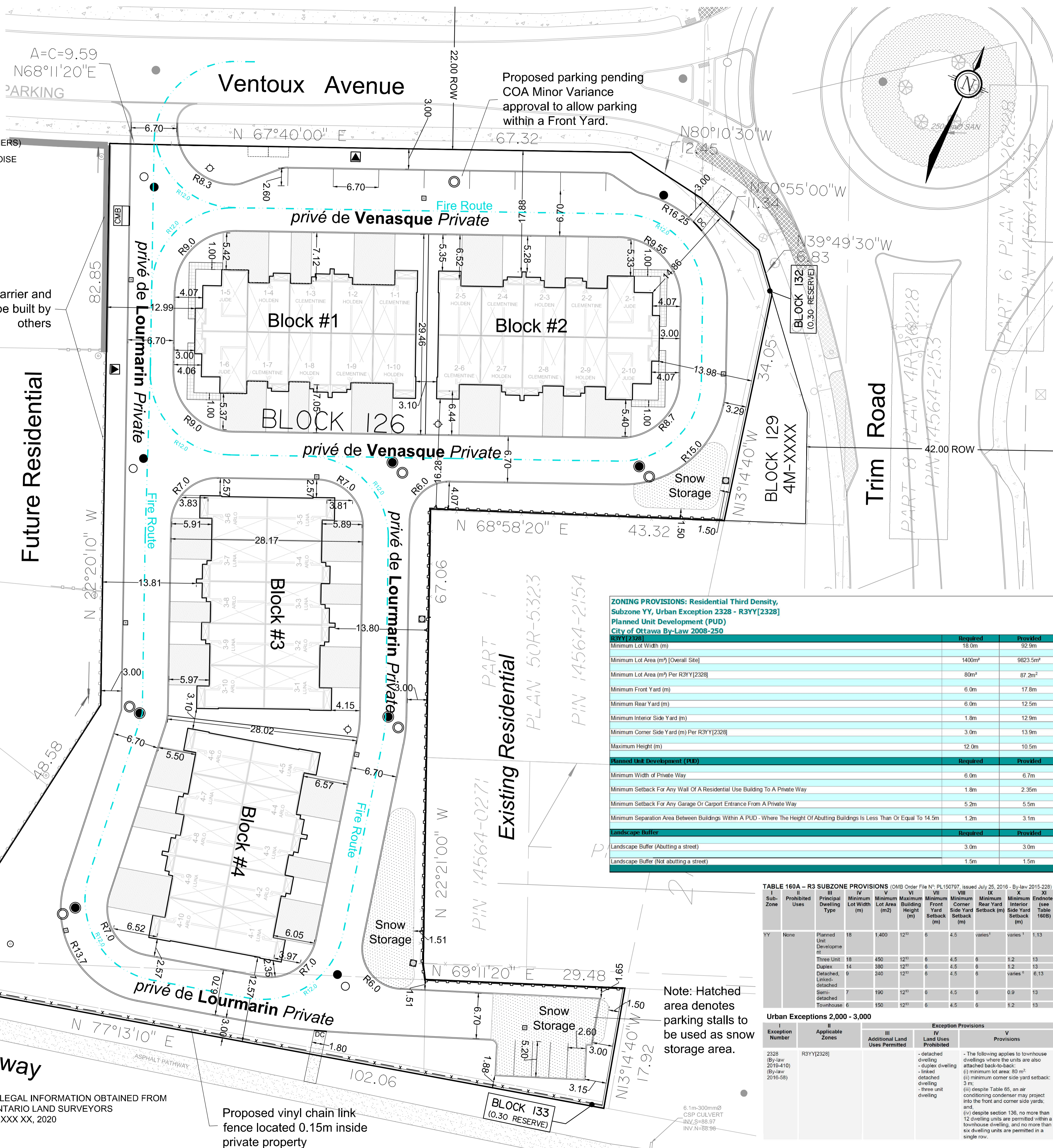
- SANITARY MANHOLE
- STORM MANHOLE
- HYD ○ HYDRANT
- ROAD CATCHBASIN
- ▲ HYDRO TRANSFORMER
- PROPOSED 1.5m BLACK VINYL CHAINLINK FENCE
- x-x-x- PROPOSED 1.8m WOOD PRIVACY FENCE (BY OTHERS)
- PROPOSED 2.5m HIGH NOISE BARRIER (BY OTHERS)
- CMB PROPOSED COMMUNITY MAILBOX

Socca Crescent

Future Residential

Future Transitway

NOTE:
THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM
ANNIS, O'SULLIVAN VOLLEBEKK LTD., ONTARIO LAND SURVEYORS
PLAN OF SUBDIVISION (4M-XXXX), DATED XXX XX, 2020
JOB No. 22023-20



Proposed parking pending
COA Minor Variance
approval to allow parking
within a Front Yard.

Proposed noise barrier and
privacy fence to be built by
others

Proposed vinyl chain link
fence located 0.15m inside
private property

ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2328 - R3YY[2328] Planned Unit Development (PUD) City of Ottawa By-Law 2008-250 R3YY[2328]

	Required	Provided
Minimum Lot Width (m)	18.0m	92.9m
Minimum Lot Area (m ²) [Overall Site]	1400m ²	9823.5m ²
Minimum Lot Area (m ²) Per R3YY[2328]	80m ²	87.2m ²
Minimum Front Yard (m)	6.0m	17.8m
Minimum Rear Yard (m)	6.0m	12.5m
Minimum Interior Side Yard (m)	1.8m	12.9m
Minimum Corner Side Yard (m) Per R3YY[2328]	3.0m	13.9m
Maximum Height (m)	12.0m	10.5m
Planned Unit Development (PUD)	Required	Provided
Minimum Width of Private Way	6.0m	6.7m
Minimum Setback For Any Wall Of A Residential Use Building To A Private Way	1.8m	2.35m
Minimum Setback For Any Garage Or Carport Entrance From A Private Way	5.2m	5.5m
Minimum Separation Area Between Buildings Within A PUD - Where The Height Of Abutting Buildings Is Less Than Or Equal To 14.5m	1.2m	3.1m
Landscape Buffer	Required	Provided
Landscape Buffer (Abutting a street)	3.0m	3.0m
Landscape Buffer (Not abutting a street)	1.5m	1.5m

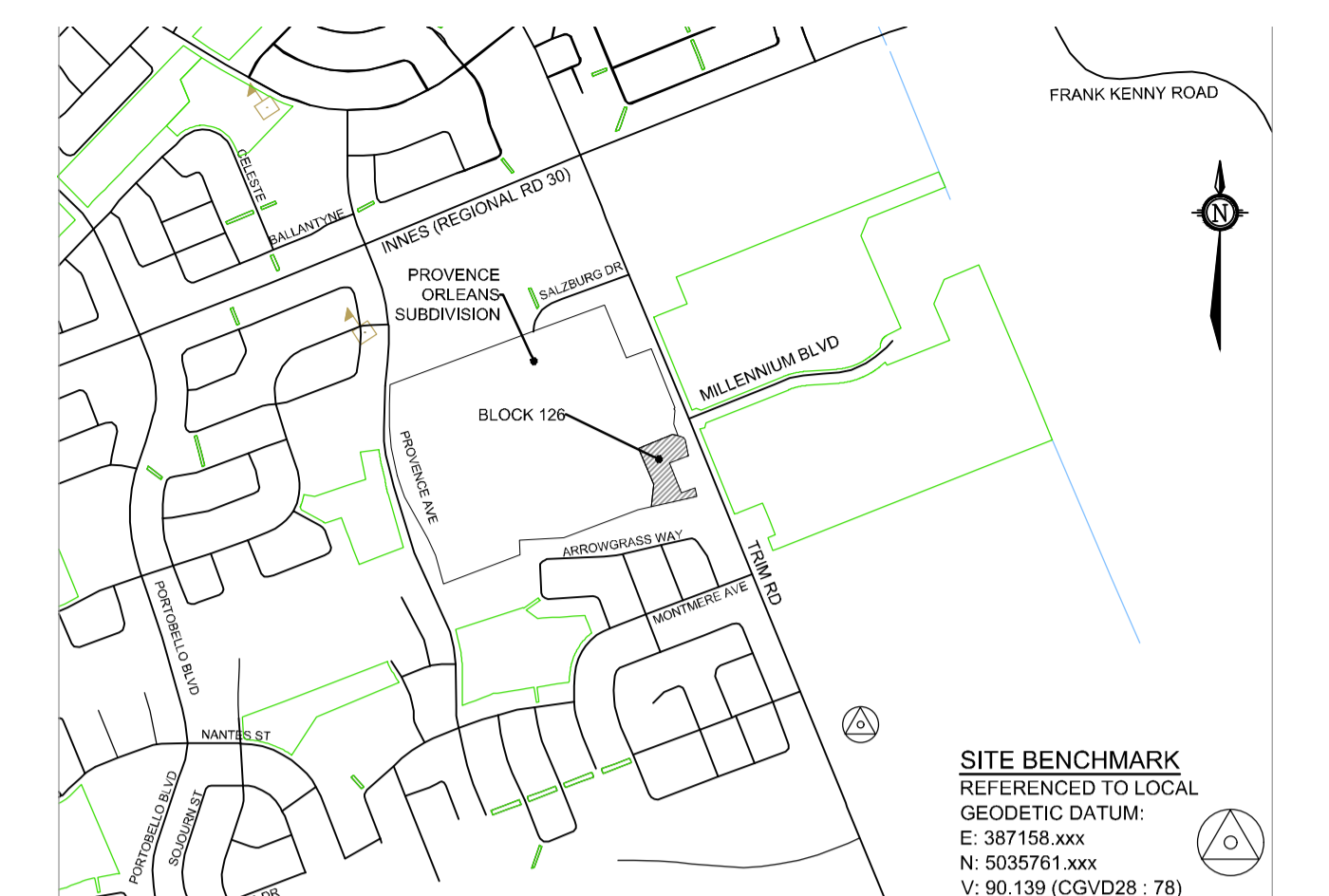
TABLE 160A - R3 SUBZONE PROVISIONS (OMB Order File No: PL150757, issued July 25, 2016 - By-law 2015-238)

Sub-Zone	Prohibited Uses	III Principal Dwelling Type	IV Minimum Lot Width (m)	V Minimum Lot Area (m ²)	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Rear Yard Setback (m)	IX Minimum Side Yard Setback (m)	X Minimum Interior Setback (m)	XI Endnotes (see Table 160B)
YY	None	Planned Unit Development	18	1,400	12 ⁽¹⁾	6	4.5	varies ¹	varies ¹	1, 13
		Three Unit	18	450	12 ⁽¹⁾	6	4.5	6	1.2	13
		Duplex	14	380	12 ⁽¹⁾	6	4.5	6	1.2	13
		Detached, Linked-detached	9	240	12 ⁽¹⁾	6	4.5	6	varies ¹	6, 13
		Semi-detached	7	190	12 ⁽¹⁾	6	4.5	6	0.9	13
		Townhouse	6	150	12 ⁽¹⁾	6	4.5	6	1.2	13

Urban Exceptions 2,000 - 3,000

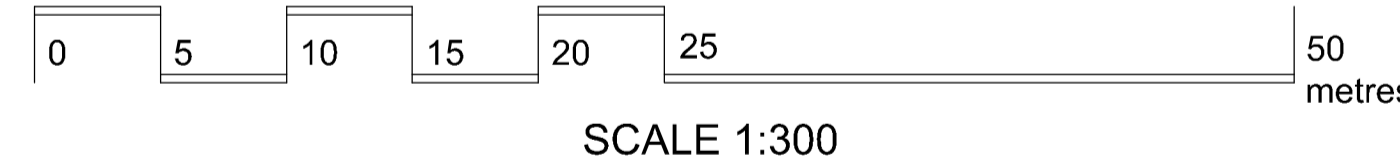
I Exception Number	II Applicable Zones	III Additional Land Uses Permitted	IV Land Uses Prohibited	V Exception Provisions
2328 (By-law 2016-58) (By-law 2016-58)	R3YY[2328]		- detached dwelling - duplex dwelling - linked dwelling - detached dwelling - three unit dwelling	- The following applies to townhouse dwellings where the units are also attached back-to-back: (i) minimum lot area: 80 m ² ; (ii) minimum corner side yard setback: 3 m; (iii) despite Table 65, an air conditioning condenser may project into the front and corner side yards; and, (iv) despite section 136, no more than 12 dwelling units are permitted within a townhouse dwelling, and no more than six dwelling units are permitted in a single row.

Note: Hatched area denotes parking stalls to be used as snow storage area.



SITE PLAN BLOCK 126

PART OF LOT 2
CONCESSION 9
TOWNSHIP OF CUMBERLAND
CITY OF OTTAWA



No.	REVISION	DATE	BY
4	ISSUED FOR SITE PLAN SUBMISSION	NOV 24/20	RT
3	REVISED PER COMMENTS	SEPT 17/20	RT
2	ISSUED FOR SITE PLAN APPROVAL	JUNE 26, 20	RT
1	ISSUED FOR SITE PLAN SUBMISSION	JUNE 12, 20	RT

ISSUED
NOVEMBER, 2020

PROJECT No.
120057

DRAWING No.
120057-SP

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