

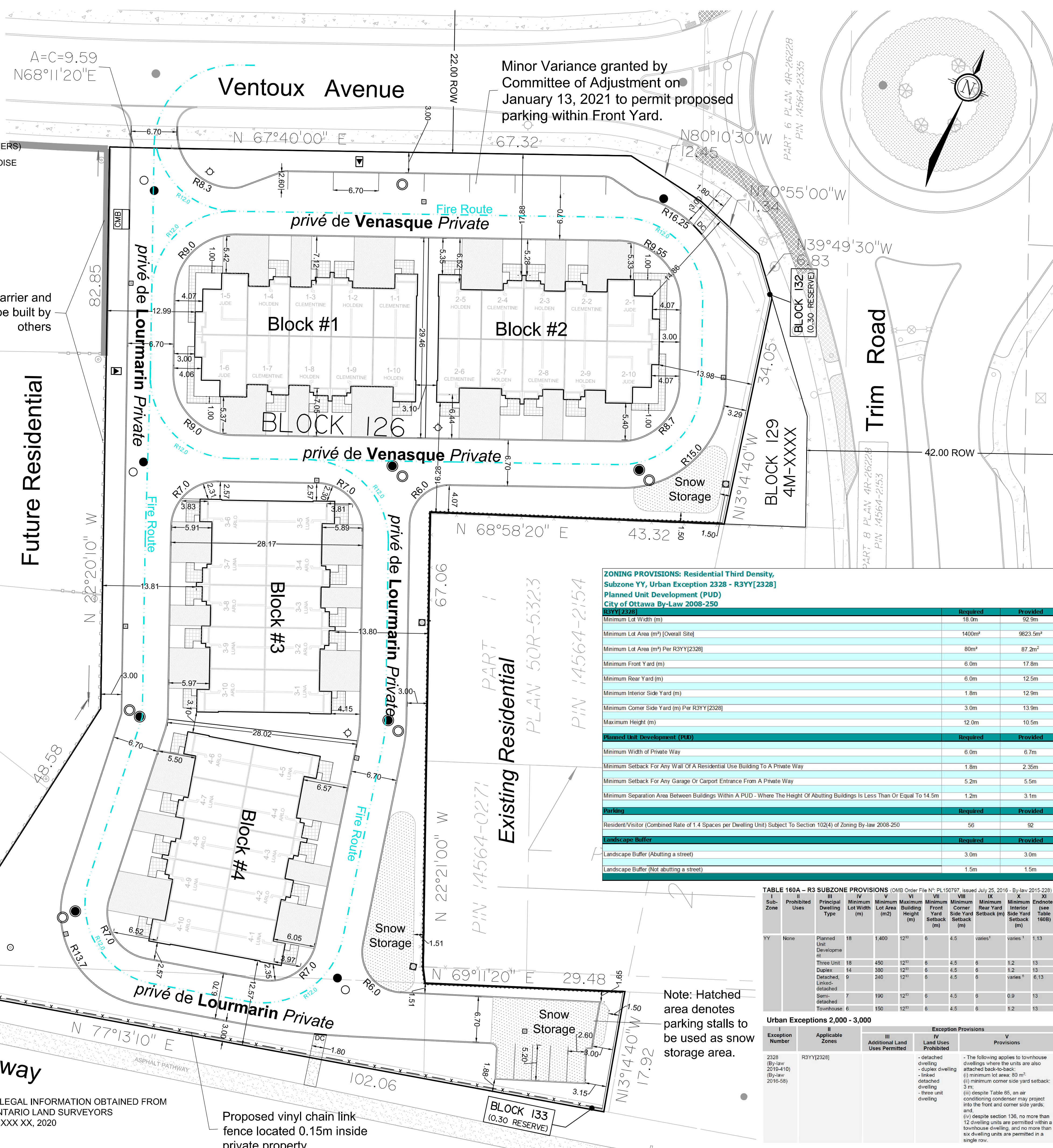
LEGEND

- SANITARY MANHOLE
- STORM MANHOLE
- HYD ○ HYDRANT
- ROAD CATCHBASIN
- ▲ HYDRO TRANSFORMER
- - - - - PROPOSED 1.5m BLACK VINYL CHAINLINK FENCE
- x - x - x - PROPOSED 1.8m WOOD PRIVACY FENCE (BY OTHERS)
- - - - - PROPOSED 2.5m HIGH NOISE BARRIER (BY OTHERS)
- CMB PROPOSED COMMUNITY MAILBOX

Socca Crescent

Future Residential

Future Transitway



Minor Variance granted by Committee of Adjustment on January 13, 2021 to permit proposed parking within Front Yard.

ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2328 - R3YY(2328) Planned Unit Development (PUD) City of Ottawa By-Law 2008-250

	Required	Provided
Planned Unit Development (PUD)		
Minimum Lot Width (m)	18.0m	92.9m
Minimum Lot Area (m²) [Overall Site]	1400m²	9823.5m²
Minimum Lot Area (m²) Per R3YY(2328)	80m²	87.2m²
Minimum Front Yard (m)	6.0m	17.8m
Minimum Rear Yard (m)	6.0m	12.5m
Minimum Interior Side Yard (m)	1.8m	12.9m
Minimum Corner Side Yard (m) Per R3YY(2328)	3.0m	13.9m
Maximum Height (m)	12.0m	10.5m
Planned Unit Development (PUD)		
Minimum Width of Private Way	6.0m	6.7m
Minimum Setback For Any Wall Of A Residential Use Building To A Private Way	1.8m	2.35m
Minimum Setback For Any Garage Or Carport Entrance From A Private Way	5.2m	5.6m
Minimum Separation Area Between Buildings Within A PUD - Where The Height Of Abutting Buildings Is Less Than Or Equal To 14.5m	1.2m	3.1m
Parking		
Resident/Visitor (Combined Rate of 1.4 Spaces per Dwelling Unit) Subject To Section 102(4) of Zoning By-law 2008-250	56	92
Landscape Buffer		
Landscape Buffer (Abutting a street)	3.0m	3.0m
Landscape Buffer (Not abutting a street)	1.5m	1.5m

TABLE 160A - R3 SUBZONE PROVISIONS (OMB Order File No: PL150757, issued July 25, 2016 - By-law 2015-238)

Sub-Zone	Prohibited Uses	III Principal Dwelling Type	IV Minimum Lot Width (m)	V Minimum Lot Area (m²)	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Side Yard Setback (m)	IX Minimum Rear Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI Minimum Enduses (see Table 160B)
YY	None	Planned Unit Development	18	1,400	12 ¹	6	4.5	varies ¹	varies ¹	1, 13
		Three Unit	18	450	12 ¹	6	4.5	6	1.2	13
		Duplex	14	380	12 ¹	6	4.5	6	1.2	13
		Detached, Linked, Detached	9	240	12 ¹	6	4.5	6	varies ¹	6, 13
		Semi-detached	7	190	12 ¹	6	4.5	6	0.9	13
		Townhouse	6	150	12 ¹	6	4.5	6	1.2	13

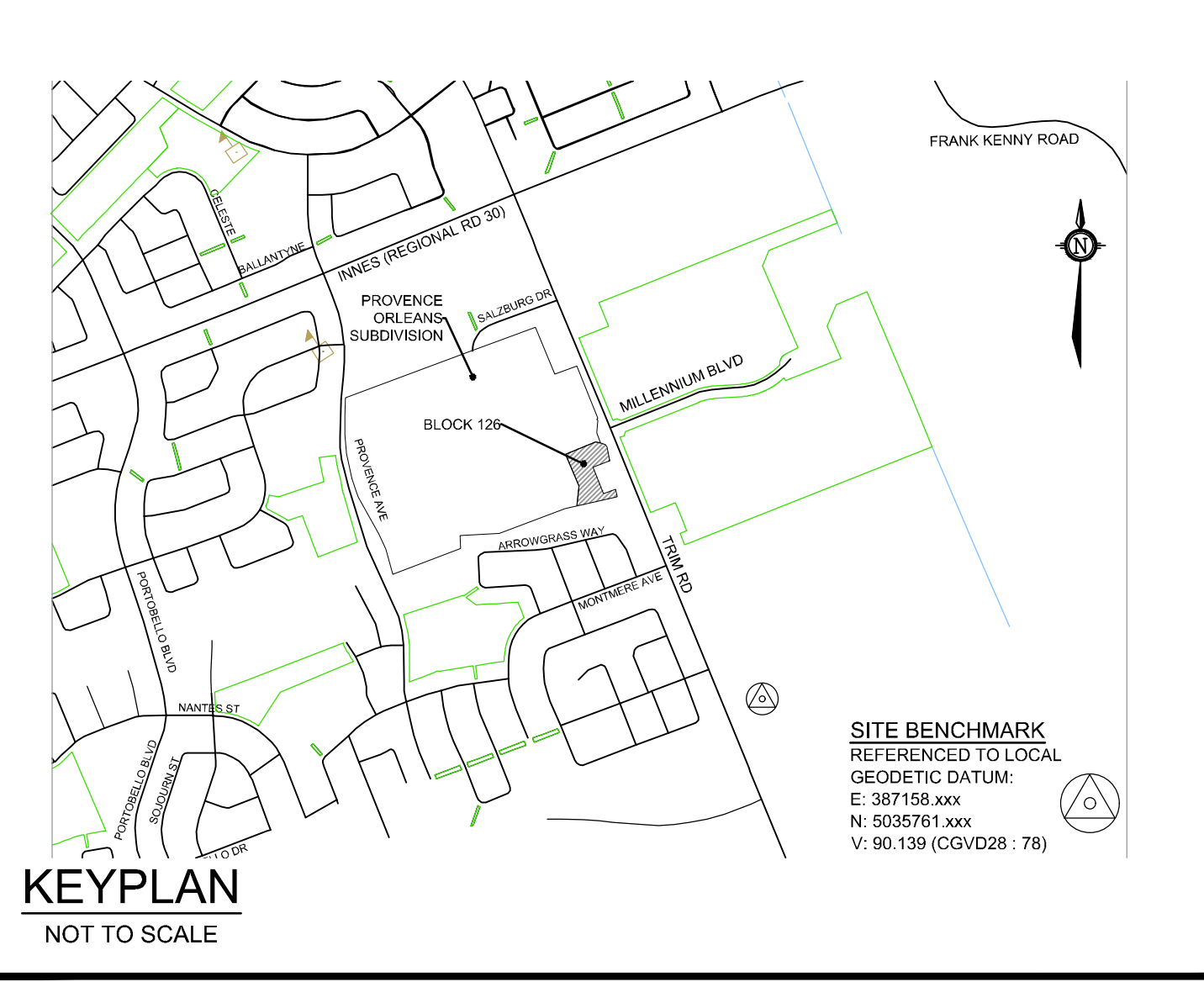
Urban Exceptions 2,000 - 3,000

I Exception Number	II Applicable Zones	III Additional Land Uses Permitted	IV Land Uses Prohibited	V Exception Provisions
2328 (By-law 2016-110) (By-law 2016-58)	R3YY(2328)		- detached dwelling - duplex dwelling - linked detached dwelling - three unit dwelling	- The following applies to townhouse dwellings where the units are also attached back-to-back: (i) minimum lot area: 80 m²; (ii) minimum corner side yard setback: 3 m; (iii) despite Table 65, an air conditioning condenser may project into the front and corner side yards; and, (iv) despite section 136, no more than 12 dwelling units are permitted within a townhouse dwelling, and no more than six dwelling units are permitted in a single row.

Note: Hatched area denotes parking stalls to be used as snow storage area.

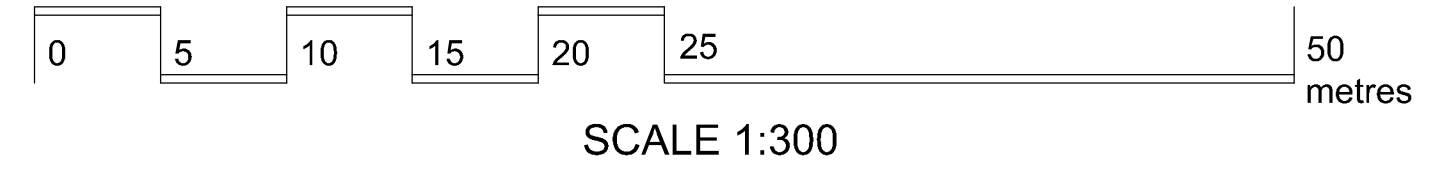
Proposed vinyl chain link fence located 0.15m inside private property

NOTE: THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM ANNIS, O'SULLIVAN VOLLEBEKK LTD., ONTARIO LAND SURVEYORS PLAN OF SUBDIVISION (4M-xxxx), DATED XXX XX, 2020 JOB No. 22023-20



SITE PLAN BLOCK 126

PART OF LOT 2
CONCESSION 9
TOWNSHIP OF CUMBERLAND
CITY OF OTTAWA



No.	REVISION	DATE	BY
6	REVISED PER COMMENTS	MAR 05/21	RT
5	REVISED PER COMMENTS	JAN 20/21	RT
4	ISSUED FOR SITE PLAN SUBMISSION	NOV 24/20	RT
3	REVISED PER COMMENTS	SEPT 17/20	RT
2	ISSUED FOR SITE PLAN APPROVAL	JUNE 26, 20	RT
1	ISSUED FOR SITE PLAN SUBMISSION	JUNE 12, 20	RT

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ISSUED: MARCH, 2021
PROJECT No.: 120057
DRAWING No.: 120057-SP