

PROJECT INFORMATION	
ZONING	GM[2340]-h
SITE AREA	22,063.0 sq. m. (237,484 sq. ft.)
BUILDING HEIGHT	6 Storeys or 24.0 M
FRONT YARD SETBACK	3.0 M
CORNER YARD SETBACK	3.0 M
INTERIOR YARD SETBACK	5.0 M
REAR YARD SETBACK	0.0 M
LANDSCAPE BUFFER AROUND A PARKING LOT	3.0 M
LOADING SPACE - METRO	1
LOADING SPACE - RETAIL 'A'	0
PARKING - FOOD STORE	-3.4 PER 100M ² OF G.F.A.
PARKING - RETAIL	-3.4 PER 100M ² OF G.F.A.
GROSS BUILDING - AREAS	
G.F.A. - CITY OF OTTAWA'S DEFINITION	2,921.3 sq. m.
RETAIL FOOD - METRO	(31,445) sq. ft.
RETAIL STORE 'A' (ESTIMATE)	698.8 sq. m.
RETAIL STORE 'B' (ESTIMATE)	(7,500) sq. ft.
MIXED USE 'C' (ESTIMATE)	822.5 sq. m.
TOTAL AREA	5,035.1 sq. m.
G.F.A. - BUILDING FOOTPRINT	
RETAIL FOOD - METRO	4,324.0 sq. m.
RETAIL STORE 'A'	443,315 sq. ft.
RETAIL STORE 'B'	929.0 sq. m.
RETAIL STORE 'C'	(10,000) sq. ft.
MIXED USE 'C'	830.0 sq. m.
MIXED USE 'C'	(8,535) sq. ft.
MIXED USE 'C'	1,060.0 sq. m.
MIXED USE 'C'	(11,410) sq. ft.
TOTAL AREA	6,843.0 sq. m.
TOTAL AREA	(73,850) sq. ft.
CAR PARKING	
REQUIRED	
METRO - RETAIL FOOD	-3.4 PER 100 M ² OF G.F.A.
RETAIL - BLDG 'A'	-3.4 PER 100 M ² OF G.F.A.
RESTAURANT - BLDG 'B'	-3.4 PER 100 M ² OF G.F.A.
1st FL. RETAIL - BLDG 'C'	-3.4 PER 100 M ² OF G.F.A.
2nd FL. OFFICE - BLDG 'C'	-3.4 PER 100 M ² OF G.F.A.
TOTAL	171
PROVIDED	
METRO - RETAIL FOOD	-4.15 PER 1,000 M ² OF FOOTPRINT AREA
RETAIL - BLDG 'A'	30
RETAIL - BLDG 'B'	25
1st FL. RETAIL - BLDG 'C'	15
2nd FL. OFFICE - BLDG 'C'	15
TOTAL	275
METRO PARKING SPACE	
STANDARD PARKING SPACE	2.74 x 5.75 m
SMALL CAR PARKING SPACE	2.6 x 5.2 m
BARRIER FREE SPACE - TYPE A	3.4 x 5.2 m
BARRIER FREE SPACE - TYPE B	2.4 x 5.2 m
BICYCLE PARKING	
REQUIRED	
COMMERCIAL RETAIL	-1.0 PER 250M ² OF G.F.A.
PROVIDED	
COMMERCIAL RETAIL	-2,000M ² & OVER OF G.F.A.
COMMERCIAL CAFE	-0m ² TO 350M ² OF G.F.A.
TOTAL	3
LOADING	
PROVIDED	
COMMERCIAL RETAIL	-2,000M ² & OVER OF G.F.A.
COMMERCIAL CAFE	-0m ² TO 350M ² OF G.F.A.
TOTAL	3
LOT COVERAGE	
PAVED SURFACE =	10,464.1 sq. m. 47.4%
BUILDING FOOTPRINT =	6,281.0 sq. m. 28.5%
LANDSCAPE OPEN SPACE =	5,317.9 sq. m. 24.1%
TOTAL =	22,063.0 sq. m. 100.0%

NOTATION SYMBOLS:	
(01)	INDICATES DRAWING NOTES. LISTED ON EACH SHEET.
(02)	INDICATES ASSEMBLY TYPE. REFER TO TYPICAL ASSEMBLIES SCHEDULE.
(03)	INDICATES WINDOW TYPE. REFER TO WINDOW ELEVATIONS AND DETAILS ON A800 SERIES.
(04)	INDICATES DOOR TYPE. REFER TO DOOR SCHEDULES AND DETAILS ON A800 SERIES.
(05)	INDICATES DETAIL NUMBER.
(06)	TITLE
(07)	SCHEMATIC
(08)	DETAIL REFERENCE PAGE
(09)	DETAIL CROSS REFERENCE PAGE

DRAWING NOTES	
1	PROPERTY LINE
2	BUILDING SETBACK LINE
3	PROPOSED COMMERCIAL BUILDING
4	FUTURE DEVELOPMENT AREA
5	LANDSCAPE ISLAND WITH 150mm BARRIER CURB
6	BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK
7	HYDRO EQUIPMENT
8	CONCRETE SIDEWALK, WIDTH AS NOTED
9	TWSI TO BE LOCATED AND INSTALLED AS PER CITY REQUIREMENTS
10	PEDESTRIAN CROSS WALK WITH DEPRESSED CURBS
11	FIRE HYDRANT
12	STANDARD PARKING SPACE (2.6 X 5.2 M)
13	BARRIER FREE PARKING SPACE
14	DROPPED GARBAGE / LOADING BAYS WITH SCREEN WALL
15	LIGHT STANDARD - LOCATION TO BE CONFIRMED
16	CART CORRAL
17	PAINTED ISLAND AND/OR CURBS
18	PYLON SIGN
19	ELECTRIC VEHICLE SPACE WITH CHARGING STATION AND SIGNAGE
20	FAMILY PARKING SPACE WITH SIGNAGE
21	WATER STORAGE TANK. SEE CIVIL
22	BUILDING CANOPY
23	2 WAY ACCESS DRIVEWAY / ROAD
24	1 WAY ACCESS DRIVEWAY / ROAD
25	SIAMISE CONNECTION
26	FIRE ROUTE
27	SOFT LANDSCAPING
28	EXISTING FIRE HYDRANT
29	EXISTING LIGHT STANDARD
30	EXISTING HYDRO POLE
31	RELOCATE EXISTING LIGHT STANDARD
32	INTERNAL GARBAGE / RECYCLING AREA
33	TEMPORARY SNOW STORAGE AREA
34	MOUNTABLE CURB WITH CONCRETE TRUCK APRON
35	3.0m HT. SOUND BARRIER FENCE
36	BENCH
37	PAINTED ISLAND

REVISIONS:

No.	DESCRIPTION	DATE
1	REVISED FOR 2nd ROUND OF COMMENTS	May 21, 21
2	REVISED FOR 1st ROUND OF COMMENTS	Apr. 20, 21
3	ISSUED FOR SITE PLAN CONTROL	Aug. 31, 20
4	ISSUED FOR CONSULTANT REVIEW	July 9, 20
5	ISSUED FOR CONSULTANT REVIEW	June 25, 20

ARCHITECT SEAL:

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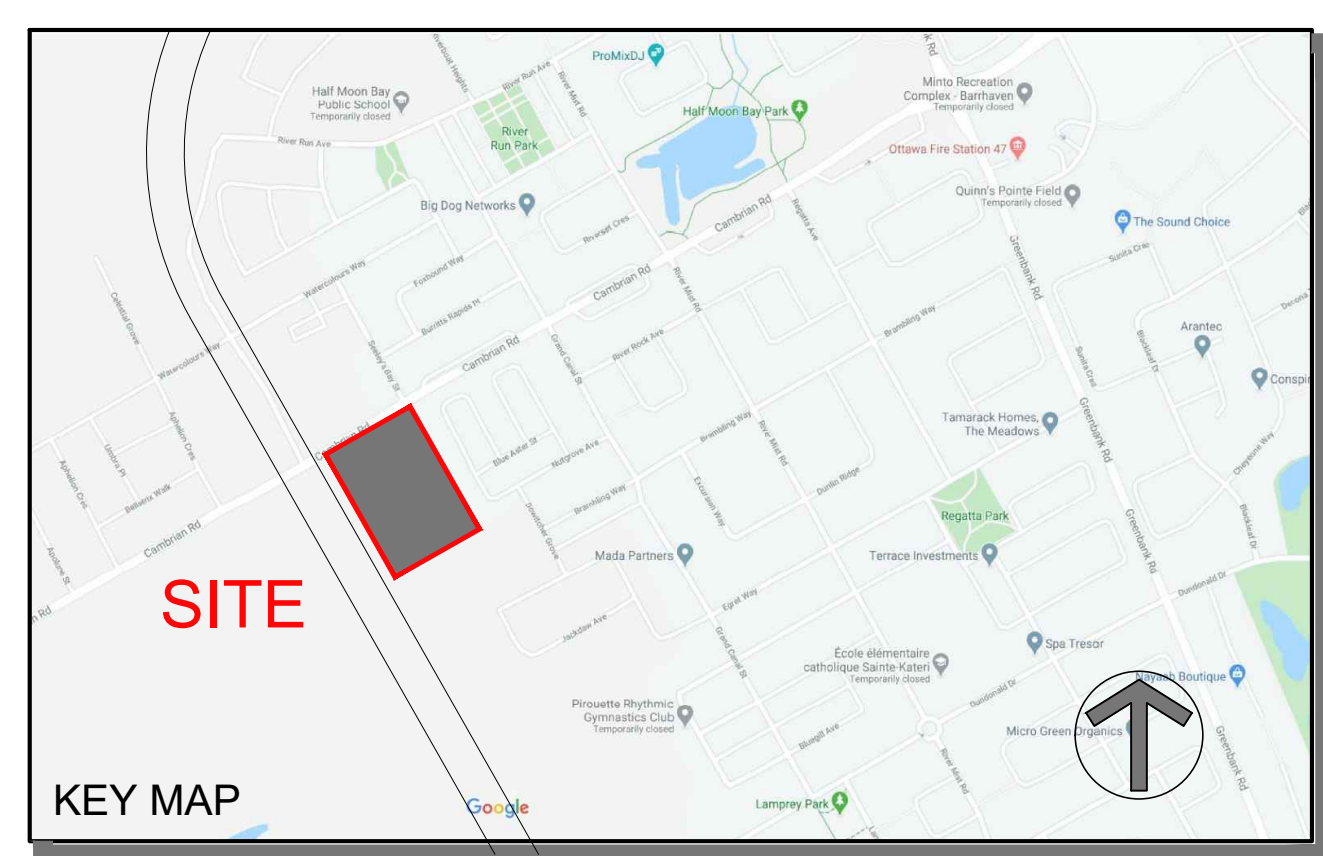
PROJECT TITLE:
METRO - BARRHAVEN
GREENBANK ROAD @
CAMBRIAN ROAD
 OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN

DRAWN: RV
CHECKED: R.V.
SCALE: 1:300
PROJECT No.: 1949

1 SITE PLAN
 SP-1
 SCALE = 1 : 300

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LEGAL DESCRIPTION
 PLAN OF SURVEY SHOWING
 TOPOGRAPHIC DETAIL OF
 PART OF LOT 10
 CONCESSION 3 (RIDEAU FRONT)
 CITY OF OTTAWA