



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
MANAGER, DEVELOPMENT REVIEW
PLANNING, INFRASTRUCTURE AND ECONOMIC DEVELOPMENT DEPARTMENT**

Site Location: 70 & 80 Silo Street (file Address 280 Eric Czapnik Way)

File No.: D07-12-20-0104

Date of Application: September 2, 2020

This SITE PLAN CONTROL application submitted by Paul Robinson – P.H. Robinson Consulting, on behalf of Landric Homes is APPROVED as shown on the following plan(s):

1. **Site Plan & Planning Schedules**, A100 prepared by DCA, dated October 2019, revision 10, dated January 29, 2021
2. **Pre Development Vegetation Map**, L-TP1 prepared by Lashley + Associates, revision 3, dated January 8, 2021.
3. **Pre Development Vegetation Map**, L-TP2 prepared by Lashley + Associates, revision 3, dated January 8, 2021.
4. **Landscape Plan**, L-100 prepared by Lashley + Associates, revision 4, dated January 8, 2021.
5. **Landscape Detail**, L-101 prepared by Lashley + Associates, revision 3, dated January 8, 2021.
6. **Elevations**, A300, prepared by DCA, dated October 2019, revision 14, dated April 8, 2021
7. **Elevations**, A301, prepared by DCA, dated October 2019, revision 14, dated April 8, 2021
8. **Elevations**, A302, prepared by DCA, dated October 2019, revision 14, dated April 8, 2021
9. **Erosion & Sediment Control Plan**, C101, prepared by LRL Engineering, revision 2 dated February 11, 2021
10. **Grading and Drainage Plan**, C301, prepared by LRL Engineering, revision 2 dated February 11, 2021
11. **Servicing Plan**, C401, prepared by LRL Engineering, revision 2 dated March 31, 2021
12. **Stormwater Management Plan**, C601, prepared by LRL Engineering, revision 2 dated February 11, 2021
13. **Pre Development Watershed Plan**, C701, prepared by LRL Engineering, revision 2 dated February 11, 2021

14. **Post-Development Watershed Plan**, C-702, prepared by LRL Engineering, revision 2 dated February 11, 2021
15. **Construction Details Plan**, C901, prepared by LRL Engineering, revision 2 dated February 11, 2021
16. **Construction Details Plan**, C902, prepared by LRL Engineering, revision 1 dated February 11, 2021

And as detailed in the following report(s):

1. **Geotechnical Investigation**, prepared by LRL Engineering, dated August 2020
2. **Stormwater Management and Servicing Report**, prepared by LRL Engineering, Revision 2, dated February 11, 2021
3. **Brisebois Creek Setback -Recommended Mitigation Measures**, 280 Eric Czapnik Way, prepared by Muncaster Environmental Planning Inc., dated October 20th, 2020
4. **Traffic Noise Impact Assessment for the Proposed Residential Development at 280 Eric Czapnik Way**, prepared Freefield Ltd., dated 31st August 2020.

And subject to the following General and Special Conditions:

General Conditions

1. Execution of Agreement Within One Year

The applicant shall enter into a standard site development agreement consisting of the following conditions. In the event the Owner fails to enter into such agreement within one year, this approval shall lapse.

2. Permits

The Owner shall obtain such permits as may be required from Municipal or Provincial authorities and shall file copies thereof with the General Manager, Planning and Growth Management Branch.

3. Stormwater Management

The Owner covenants and agrees that on completion of all stormwater management Works, the Owner shall provide certification to the City through a professional engineer that all measures have been implemented in conformity with the approved plans and Design Brief.

4. Barrier Curbs

The Owner agrees that the parking areas (and entrances) shall have barrier curbs and shall be constructed in accordance with a design professional and approved by the General Manager, Planning and Growth Management Branch.

5. Sewer Discharge

The Owner acknowledges and agrees that while under construction, any water discharged to the sanitary sewer due to dewatering shall meet the requirements of the City of Ottawa Sewer Use By-law.

6. Construction Fencing

The Owner shall be required to install construction fencing at its expense, in such a location as may be determined by the General Manager, Planning and Growth Management Branch.

7. Reinstatement of City Property

The Owner shall reinstate at its expense, to the satisfaction of the General Manager, Planning and Growth Management Branch, any property of the City, including, but not limited to, sidewalks and curbs, boulevards, that are damaged as a result of the subject development.

Special Conditions

8. Development Charges

The owner agrees and acknowledges paying the development charges for their site for the works associated for Outer Greenbelt Development Area, Millennium Park Development and N5 Channelization with registration or upon the issuance of the first conditional building permit, whichever comes first.

9. Shop Drawings

The Owner agrees and acknowledges that their Contractor is required to provide Shop Drawings for any special structures typically not available as per the City detail standard's and product listing to the City to the satisfaction of the General Manager, Planning, Infrastructure & Economic Development Department prior to installations of those works. Shop drawings shall be stamped and signed by a professional Engineer licensed in the Province of Ontario. All costs for Shop Drawings shall be born by the Owner or his contractors.

The Owner agrees and acknowledges that their Contractor is required to provide Shop Drawings for TWSI's as per the City S.P. No. F-3512 to the City to the satisfaction of the General Manager, Planning, Infrastructure & Economic Development Department.

10. Approvals

The Owner acknowledges and agrees that if temporary dewatering is required in excess of 50,000 litres per day on site for approved works that they shall apply to the MECP for a dewatering activity discharge approval. Furthermore, all cost shall be borne by the Owner.

11. Sewer Flow Management Plan

The Owner agrees and acknowledges that their Contractor is required to provide a Sewer Flow Management Plan (SFMP) as per City Standard S.P. No: F1007 for any bypass sewage pumping and discharge.

12. Contaminants

The Owner agrees and acknowledges that should buried materials such as refuse, concrete and asphalt or undesirable cobbles and materials be excavated on site they shall be removed from the excavations and be removed off site as per the direction of the on-site geotechnical engineer.

13. Soil Management

The Owner acknowledges and agrees to retain an environmental consultant to identify areas on the subject lands where excess soils, fill and/or construction debris will be removed. If through further testing any of these materials are found to be contaminated, the Owner acknowledges and agrees to dispose, treat or recycle these materials at a waste disposal site or landfill licensed for that purpose by the Ministry of the Environment, Conservation and Parks.

14. Inspection

The Owner shall have competent professional engineering inspection personnel on-site during the period of construction and the General Manager, Planning, Infrastructure & Economic Development Department shall always have the right to inspect the installation of the Works. Should it be found in the sole opinion of the General Manager, Planning, Infrastructure & Economic Development Department that such personnel are not on site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Infrastructure & Economic Development Department may order all work in the project to be stopped.

15. Snow Storage

The Owner acknowledges and agrees that any portion of the subject lands which is intended to be used for permanent or temporary snow storage shall be as shown on the approved site plan or as otherwise approved by the General Manager, Planning and Growth Management Branch and shall not interfere with approved grading and drainage patterns or servicing. Snow storage areas shall be setback from property lines, foundations, fencing or landscaping a minimum of 1.5 metres. Snow storage areas shall not occupy driveways, fire routes, aisles, required parking spaces or any portion of a road allowance.

16. Geotechnical Investigation

The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Geotechnical Investigation Report (the "Report"), referenced in Schedule "E" herein, are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Infrastructure and Economic Development Department with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Report, prior to construction of the foundation and at the completion of the Works, which confirmation shall be to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.

17. Inlet Control Devices (ICDs)

The Owner acknowledges and agrees to install and maintain in good working order the required in-ground stormwater inlet control devices, as recommended in the approved **Servicing Plan, C401**, prepared by LRL Engineering, revision 3 dated March 31, 2021 referenced in Schedule "E" herein. The Owner further acknowledges and agrees it shall assume all maintenance and replacement responsibilities in perpetuity. The Owner shall keep all records of inspection and maintenance in perpetuity and shall provide said records to the City upon its request.

18. Stormwater Works Certification

Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports, referenced in Schedule "E" herein. The Owner further acknowledges and agrees to provide the General Manager, Planning, Infrastructure and Economic Development Department with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports referenced in Schedule "E" herein.

19. Exterior Elevations Drawings

The Owner acknowledges and agrees to construct the proposed building in accordance with the approved Elevations Plans, referenced in Schedule “E” herein. The Owner further acknowledges and agrees that any subsequent proposed changes to the approved Elevations Plans shall be filed with the General Manager, Planning, Infrastructure and Economic Development and agreed to by both the Owner and the City prior to the implementation of such changes. No amendment to this Agreement shall be required.

20. Residential Waste and Recycling Collection

The Owner acknowledges and agrees that the City will provide waste collection and cart (and/or container) recycling collection for the residential units. The Owner shall provide an adequate storage room or space for waste containers and recycling carts (and/or containers). The Owner acknowledges and agrees that it is recommended that the containers and carts be placed on a concrete floor. The Owner shall provide an adequate constructed road access to the waste/recycling storage room or area suitable for waste/recycling vehicles as direct access to the containers and carts is required. The Owner acknowledges and agrees that any additional services (i.e. winching of containers) may result in extra charges.

21. Noise Control Attenuation Measures

The Owner acknowledges and agrees to implement the noise control attenuation measures recommended in the approved Traffic Noise Impact Assessment for the Proposed Residential Development at 280 Eric Czapnik prepared by Freefield Ltd., dated 31st August 2020, as follows:

- a.** Each unit is to be equipped with central air conditioning;
- b.** prior to the issuance of a building permit, a review of building components (windows, walls, doors) is required and must be designed to achieve indoor sound levels within the City of Ottawa’s noise criteria;
- c.** all units within the building identified on the approved Site Plan, shall have the following building requirements:
 - i.** AIF 27 or STC 30 window type is required to reduce the indoor noise levels
 - ii.** 1st Floor = EW5; 2nd Floor = EW5, and 3rd Floor = 78% EW5 and 22% EW2 wall types are required to reduce the indoor noise levels
- d.** notice respecting noise shall be registered against the lands, at no cost to the City, and a warning clause shall be included in all agreements

of purchase and sale or lease agreements, as detailed in paragraph below.

22. Notice on Title – Noise Control Attenuation Measures

The Owner, or any subsequent owner of the whole or any part of the subject lands, acknowledges and agrees that all agreements of purchase and sale or lease agreements shall contain the following clauses, which shall be covenants running with the subject lands:

Forced Air Heating System and Ducting

“The Purchaser/Lessee for himself, his heirs, executors, administrators, successors and assigns acknowledges being advised that this dwelling unit has been fitted with a central air conditioning system which will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the City of Ottawa’s noise criteria.”

“The Purchaser/Lessee covenants with the Vendor/Lessor that the above clauses, verbatim, shall be included in all subsequent agreements of purchase and sale, and lease agreements for the lands described herein, which covenant shall run with the said lands.”

23. Site Lighting Certificate

- (a) In addition to the requirements contained in clause 19 of Schedule “C” hereto, the Owner acknowledges and agrees, prior to the issuance of a building permit, to provide the City with a certificate from an acceptable professional engineer, licensed in the Province of Ontario, which certificate shall state that the exterior site lighting has been designed to meet the following criteria:
 - (i) it must be designed using only fixtures that meet the criteria for full cut-off (sharp cut-off) classification, as recognized by the Illuminating Engineering Society of North America (IESNA or IES);
 - (ii) and it must result in minimal light spillage onto adjacent properties. As a guideline, 0.5 fc is normally the maximum allowable spillage.
- (b) The Owner acknowledges and agrees that, upon completion of the lighting Works and prior to the City releasing any associated securities, the Owner shall provide certification satisfactory to the General Manager, Planning, Infrastructure and Economic Development, from a Professional Engineer, licensed in the Province of Ontario, that the site lighting has been constructed in accordance with the Owner’s approved design plan.

24. RVCA - Geotechnical Requirement

That the Owner acknowledges and agrees to implement all the recommendations in the Report “Geotechnical Investigation- Proposed Apartment Building, Block 9, Eric Czapnik Way, Orleans, Ontario” dated August 2000, prepared by LRL Engineering.

25. RVCA – Brisebois Creek Setback

That the Owner acknowledges and agrees to implement all the recommendations in the Report “Brisebois Creek Setback -Recommended Mitigation Measures, 280 Eric Czapnik Way, City File D07-12-20-0104” dated October 20th, 2020, prepared by Muncaster Environmental Planning Inc.

26. RVCA – Site Works

That the Owner acknowledges and agrees that prior to commencement of construction of this site plan (clearing, grubbing, roads, utilities any off-site works, etc.) the Owner shall:

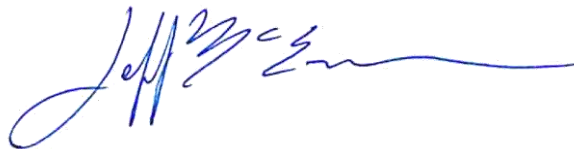
- a) The owner acknowledges and agrees to implement the **Erosion & Sediment Control Plan, C101**, prepared by LRL Engineering, revision 2 dated February 11, 2021
- b) Provide certification to the City of Ottawa and the Conservation Partners by a professional engineer that the plan has been implemented.

27. Consent to Enter

Upon execution of the Site Plan Agreement, the Owner agrees to provide the City a certificate of Insurance which names the City as an additional insured and a letter of credit which covers the full amount of the works within Block 8 on 4M-1542, described herein. The Owner will hereby by granted consent to enter, at no cost, to complete the work, All, to the satisfaction of the General Manger, Planning, Infrastructure and Economic Development Department.

June 16th, 2021

Date



Jeff McEwen
Manager, Development Review, East
Planning, Infrastructure and Economic
Development Department

Attach: Site Plan Control Application– Supporting Information

SITE PLAN CONTROL APPLICATION SUPPORTING INFORMATION

SITE LOCATION

70 & 80 Silo Street (file Address 280 Eric Czapnik Way), D07-12-20-0104

SYNOPSIS OF APPLICATION

- The site is located on the west side of Silo Street at the terminus of Eric Czapnik Way. The property has a significant slope from the south to the north which has been incorporated into the design of the project.
- There is a strip of public land abutting the property to the south and a public park adjacent to it. To the east are existing on-street townhouses with a new low-rise apartment development to the south east and to the north is a small water course and the 174 Right of Way. To the east is more publicly owned land.
- The proposal consists of 2 four-storey apartment buildings, with a total of 72 units, connected with a one-storey breezeway between them housing some common amenities for the tenants. Parking is provided both under the buildings and on the surface on the southside of the property. Bicycle parking is located in the underground garage. Outdoor amenity space is located on the south side of the building and on the roof where there is a 11 metre by 19 metre raised accessible by elevator.
- The buildings' exterior is designed to provide visual interest with different materials and the location of balconies. The site is on municipal services and the owner will be grading some of the City's land along the southern property line to create a level terrace.

DECISION AND RATIONALE

This application is approved for the following reasons:

- The proposal is in conformity with the Mixed Use and Town Centre Policies of the City of Ottawa Official Plan.
- The proposal is consistent with the Urban Residential Designation in the Cumberland Town Centre Secondary Plan
- The proposal complies with the R5Z [1363] – Residential Fifth Density, Subzone Z, exception 1363 Zone.

- The site is to be developed on full municipal services. Buildings location, landscaping and parking reflect good site plan design principles

CONSULTATION DETAILS

Councillor Matthew Luloff has concurred with the proposed conditions of approval.

Public Comments

Summary of Comments - Public

The application was circulated to the local registered Community Association in conformity with the City's circulation policies.

Some local residence did request information and requested that pedestrian and cycling connections be made over this property to connect Eric Czapnik Way with the rest of the Cumberland town centre to the west. Staff looked into creating this linkage, however, grade changes were too challenging to allow this.

Technical Agency/Public Body Comments

Summary of Comments –Technical

The Rideau Valley Conservation Authority commented on slope stability, stormwater management and development within the 30 metres of the Brisehois Creek. The applicant and their consultant were able to address these concerns and staff have added conditions requested by the Conservation Authority into this approval.

Advisory Committee Comments

Summary of Comments – Advisory Committees

N/A

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was not processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority due to work load issues.

Contact : Steve Belan Tel: 613-580-2424 extension 27591, Fax : 613-560-6006 or e-mail : Steve.Belan@ottawa.ca