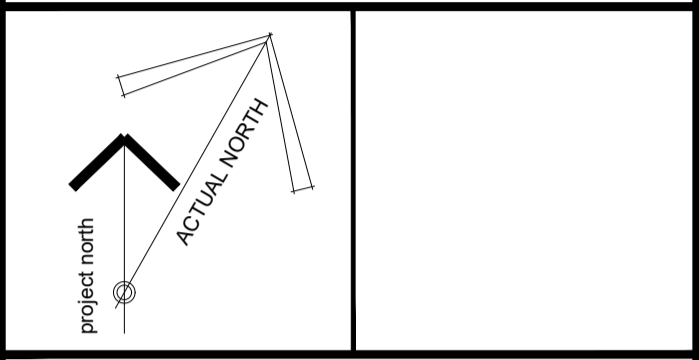


**GENERAL NOTES**

- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
- GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
- ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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**ISSUE RECORD:**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRECONSULTATION	2020-02-07
2	ISSUED FOR CLIENT REVIEW	2020-03-17
3	ISSUED FOR CONSULTANT COORD.	2020-03-30
4	ISSUED FOR COORDINATION	2020-06-12
5	ISSUED FOR SITE PLAN APPLICATION	2020-06-29
6	ISSUED FOR 50% COORDINATION	2020-10-06
7	REISSUED FOR SITE PLAN APPLICATION	2020-10-15
8	ISSUED FOR PERMIT	2020-11-06
9	ISSUED FOR COORDINATION	2020-11-26
10	ISSUED FOR COORDINATION	2021-01-29

1 SITE PLAN  
A100 SCALE: 1:200

GENERAL SITE PLAN NOTES:			PARKING:			ABBREVIATIONS:		
PROPERTY BOUNDARY INFORMATION, AND TOPOGRAPHIC INFORMATION DERIVED FROM SURVEYOR'S REAL PROPERTY REPORT 4M-1542, CITY OF OTTAWA, PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SINGED AND DATED DECEMBER 06, 2019			VEHICLE	REQUIRED	PROVIDED	BAL:	OUTLINE OF BALCONIES ABOVE *	
SITE AND BUILDING DATA, 280 ERIC CZAPNIK WAY			TENANT PARKING	0	59 INTERIOR SPACES 13 EXTERIOR SPACES	RET. WALL:	RETAINING WALL, REFER TO CIVIL	
SITE AREA: 1.3 acre / 5174.7m <sup>2</sup>			VISITOR PARKING	0.1 / UNIT (7 TOTAL)	8	TER:	GROUND FLOOR UNIT TERRACE SPACE	
GROSS BUILDING AREA B1: 2925.8m <sup>2</sup>			BARRIER FREE PARKING	2 TYPE A 2 TYPE B	2 TYPE A EXTERIOR 2 TYPE B EXTERIOR	* NOTE:	BALCONIES ARE CONSIDERED PERMITTED PROJECTIONS	
GROSS BUILDING AREA B2: 2925.8m <sup>2</sup>			TOTAL	84		DRAWING LEGEND:		
BUILDING AREA (OBC): 2189.7m <sup>2</sup>			BICYCLE PARKING	0.5 / UNIT (36 TOTAL)	18 EXTERIOR 18 INTERIOR	---	PROPERTY LINE	
ZONING:			INTERIOR PARKING SPACE SIZES:			---	SET BACK LINE	
PART 6 - RESIDENTIAL ZONES:			TOTAL INT. SPACES @ 2600mm	45		▲	MAIN BUILDING ENTRANCE	
ZONE RSZ - RESIDENTIAL FIFTH DENSITY ZONE			TOTAL INT. SPACES @ 2400mm	11		▲	EXIT DOOR	
AREA 2 ON SCHEDULE 1A			MAX. 40% OF INT. PARKING SPACES ALLOWED TO BE 2400mm	18.6%		OUTLINE OF NEW 4 STORY BUILDING		
ZONING PROVISIONS			AMENITY AREAS:			OUTLINE OF SINGLE STOREY PODIUM		
SETBACKS:			REQUIRED: 6m <sup>2</sup> PER UNIT   72 UNITS x 6m <sup>2</sup> = 432m <sup>2</sup> MINIMUM			SOFT LANDSCAPING, REFER TO LANDSCAPING DRAWINGS		
FRONT YARD: 3.0m MINIMUM			50% AMENITY AREA MUST BE COMMUNAL = 216m <sup>2</sup> MINIMUM			HARD SURFACE LANDSCAPING, REFER TO LANDSCAPING DRAWINGS		
INTERIOR SIDE LOT LINE: 3.0m MINIMUM FOR FIRST 21.0m OF LOT DEPTH, 6m MINIMUM BEYOND			PRIVATE PROVIDED:			CONCRETE WALKING SURFACE, REFER TO CIVIL DRAWINGS		
REAR YARD LOT LINE: 25% OF LOT DEPTH TO A MAXIMUM OF 7.5m			68 UNITS - EACH w/ BALCONY / TERRACE OF 5.4m <sup>2</sup> = 367.2m <sup>2</sup>			EXTENT OF NEW FIRE ACCESS ROUTE (6m WIDE, MAXIMUM 90m LONG), REFER TO CIVIL DRAWINGS		
BUILDING HEIGHT:			4 UNITS - EACH w/ BALCONY / TERRACE OF 12.3m <sup>2</sup> = 49.2m <sup>2</sup>					
MAXIMUM: 15.0m (OR 85.6m ABOVE SEA LEVEL)			TOTAL: 416.4m <sup>2</sup> PRIVATE AMENITY					
PROPOSED: 12.3m (OR 80.7m ABOVE SEA LEVEL)			COMMON PROVIDED:					
TOTAL: 262m <sup>2</sup> COMMUNAL			SEE SITE PLAN FOR LOCATION / AREA					
SITE: AREA: 5174.7m <sup>2</sup>			GARBAGE ROOM REQUIREMENTS:					
LANDSCAPING			AREA	REQUIRED	PROVIDED			
30%			43.3% (2244.5m <sup>2</sup> )*					
* TOTAL AREA INCLUDES SOFT AND HARD LANDSCAPING, REFER TO LANDSCAPING DRAWINGS FOR FINISHES			TYPE	REQUIRED	PROVIDED			
			GARBAGE	MAX. 0.231cu YARD / UNIT = 16.632cu YARDS	4x 4cu YARD CONTAINERS			
			FIBRE RECYCLING	MIN. 0.062cu YARD / UNIT = 4.46 cu YARDS	2x 3cu YARD CONTAINERS			
			GLASS RECYCLING	MIN. 0.018cu YARD / UNIT = 1.29 cu YARDS	2x 2cu YARD CONTAINERS			
			ORGANICS	1x 240L GREEN CONTAINER / 50 UNITS	2x 240L GREEN CONTAINER			
			* CALCULATIONS ARE BASED ON 72 RESIDENTIAL UNITS, DIVIDED BETWEEN 2x INTERIOR GARBAGE ROOMS					

**CLIENT**

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**PROJECT TITLE**  
HILLPARK APARTMENTS  
70 & 80 SILO STREET  
OTTAWA (ORLEANS), ON

**DRAWING TITLE**  
SITE PLAN & PLANNING SCHEDULES

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2019	IC   DR	3206	A100
SCALE AS NOTED	REVIEWED TO		

**ARCHITECTURAL**

D07-12-20-0104