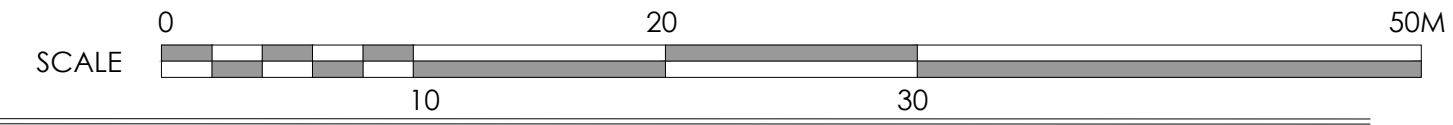


BANK STREET
[ROAD LAYOUT AS SHOWN SUBJECT TO FINAL DESIGN]



SITE INFORMATION:

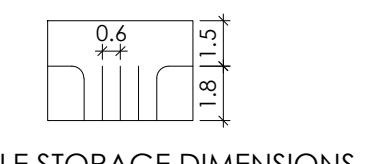
SITE AREA:	12,342.74 m ² = 1.23 ha (3.05 A)
ZONING:	EXISTING - DR PROPOSED - GM
PERMITTED USES:	- PLANNED UNIT DEVELOPMENT - STACKED DWELLING - HOME-BASED BUSINESS
LOT WIDTH (MIN.):	NO MINIMUM 68.56 m
LOT AREA (MIN.):	NO MINIMUM 12,342.74 m ²
BUILDING HEIGHT (MAX.):	18.0 m 12.00 m
FRONT YARD (MIN.):	3.0 m 3.01 m
REAR YARD (MIN.):	7.5 m 6.00 m
INTERIOR SIDE YARD (MIN.):	3.0 m 5.03 m
CORNER SIDE YARD (MIN.):	3.0 m 4.50 m
FLOOR SPACE INDEX (MAX):	2 1.04
MINIMUM WIDTH OF LANDSCAPED AREA: ABUTTING A STREET	3.0 m 3.0 m
ABUTTING AN INSTITUTIONAL ZONE	3.0 m 1.5 m
TOTAL LANDSCAPED AREA PROVIDED:	5,349.24m ² (43.34%)
PLANNED UNIT DEVELOPMENT REQUIREMENTS:	
MINIMUM WIDTH OF PRIVATE WAY:	6.0 m 6.0 m
BUILDING WALL SETBACK FROM PRIVATE WAY (MIN.):	1.8 m 2.8 m
SEPARATION BETWEEN BUILDINGS (MIN.):	1.2 m 5.07 m
AMENITY SPACE REQUIREMENTS:	
AMENITY SPACE REQUIRED @ 6.0m ² / UNIT (STACKED DWELLING) =	672.00m ²
COMMUNAL AMENITY SPACE REQUIRED (50%) =	336.00m ²
AMENITY SPACE PROVIDED: PRIVATE (BALCONIES)	545.92m ²
COMMUNAL	345.00m ²
TOTAL	890.92m ²

BUILDING INFORMATION:

BUILDING No.:	BUILDING AREA:	GROSS FLOOR AREA:	No. UNITS:	UNIT TYPES:	
BUILDING 1 =	TRADITIONAL BACK-TO-BACK TERRACE HOMES	615.9 m ²	2,399.52 m ²	20 UNITS	16 4
BUILDING 2 =	TRADITIONAL BACK-TO-BACK TERRACE HOMES	615.9 m ²	2,399.52 m ²	20 UNITS	16 4
BUILDING 3 =	TRADITIONAL BACK-TO-BACK TERRACE HOMES	615.9 m ²	2,399.52 m ²	20 UNITS	16 4
BUILDING 4 =	TRADITIONAL BACK-TO-BACK TERRACE HOMES	615.9 m ²	2,399.52 m ²	20 UNITS	16 4
BUILDING 5 =	URBAN BACK-TO-BACK TERRACE HOMES	409.2 m ²	1,636.8 m ²	16 UNITS	16 0
BUILDING 6 =	URBAN BACK-TO-BACK TERRACE HOMES	409.2 m ²	1,636.8 m ²	16 UNITS	16 0
TOTAL =		3,282.0 m²	12,871.68 m²	112 UNITS	96 16

PARKING:

PARKING REQUIRED: 1.2 Spaces / (112) d.u. + 0.2 / (112) d.u. (Visitor) = 134 + 22 = 156 Spaces
 PARKING PROVIDED: UNDERGROUND - 00 Spaces
 SURFACE 125 Spaces + 18 Visitor Spaces = 143 Spaces
 TOTAL = 143 Spaces
 62 PARKING SPACES (40% OF TOTAL REQUIRED (156)) INDICATED WITH AN * HAVE A WIDTH OF 2.4m. A LENGTH OF 4.6m. OR BOTH AS PER SECTION 106 (3)(a)
 V = VISITOR PARKING
 EV = ELECTRICAL VEHICLE PARKING
 BICYCLE PARKING REQUIRED: 0.5 / d.u. (112) = 56 Spaces
 BICYCLE PARKING PROVIDED: 36 (Accessory bldg.) + 22 (Surface) = 58 spaces



LEGEND/ ABBREVIATIONS:

- ⊙ GAS METERS LOCATION
- ⊠ BUILDING SERVICES LOCATION (IN LOWER LEVEL)
- D.C. DEPRESSED CURB
- ▬ TACTILE WALKING SURFACE INDICATOR
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ FIRE HYDRANT
- ⊕ LIGHT STANDARD
- ⊕ TRANSFORMER & MANHOLE

NOTE:
 SITE PLAN TO BE READ IN CONJUNCTION WITH:
 - SITE SERVICING AND GRADING PLAN PREPARED BY IBI GROUP
 - LANDSCAPING PLAN PREPARED BY JAMES B. LENNOX AND ASSOCIATES INC.
 BOUNDARIES DERIVED FROM: PLAN 4R -
 PREPARED BY J.D. BARNES LIMITED
 DATED MAY 21, 2020

APPROVED
 By Sean Moore at 9:30 am, Oct 20, 2021

SM

SEAN MOORE
 (A) MANAGER, SOUTH BRANCH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

M. David Blakely
 Architect Inc.
 2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
 Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

GENERAL NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
 3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
 4. DO NOT SCALE DRAWINGS.
 5. THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
 6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

No.	DATE	DESCRIPTION	INT.
1.	06/07/2020	FOR REVIEW	
2.	07/12/2020	FOR RESUBMISSION	
3.	07/12/2020	FOR RESUBMISSION	
4.	24/07/2020	SITE INFO UPDATED	
5.	22/07/2020	SITE INFO UPDATED	
6.	20/07/2020	AMENITY SPACE RELOCATED	
7.	17/08/2020	JOINING/ SITE INFO UPDATED/ BLDG. LIGHTING ADDED	
8.	31/08/2020	FOR SITE PLAN SUBMISSION	
9.	09/11/2020	PROPOSED TRANSFORMER LOCATIONS ADDED	
10.	11/11/2020	WALKWAYS & TRANSFORMER LOCATIONS REVISED	
11.	16/11/2020	DIMENSIONS ADDED	
12.	26/11/2020	CURBS & WALKWAYS REVISED/ FOR COORDINATION	

No.	DATE	DESCRIPTION	INT.
13.	07/12/2020	FOR RESUBMISSION	
14.	20/01/2021	PER CITY COMMENTS/ FOR RESUBMISSION	
15.	25/01/2021	CMBS RELOCATED	
16.	29/01/2021	CMBS AS PER CANADA POST	
17.	12/10/2021	REV. SOUND FENCE/ DELETE TWSIS @ ENTRY	

No.	DATE	DESCRIPTION	INT.
18.	18/11/2021	FOR REVIEW	
19.	18/11/2021	FOR REVIEW	
20.	18/11/2021	FOR REVIEW	
21.	18/11/2021	FOR REVIEW	
22.	18/11/2021	FOR REVIEW	
23.	18/11/2021	FOR REVIEW	
24.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
25.	18/11/2021	FOR REVIEW	
26.	18/11/2021	FOR REVIEW	
27.	18/11/2021	FOR REVIEW	
28.	18/11/2021	FOR REVIEW	
29.	18/11/2021	FOR REVIEW	
30.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
31.	18/11/2021	FOR REVIEW	
32.	18/11/2021	FOR REVIEW	
33.	18/11/2021	FOR REVIEW	
34.	18/11/2021	FOR REVIEW	
35.	18/11/2021	FOR REVIEW	
36.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
37.	18/11/2021	FOR REVIEW	
38.	18/11/2021	FOR REVIEW	
39.	18/11/2021	FOR REVIEW	
40.	18/11/2021	FOR REVIEW	
41.	18/11/2021	FOR REVIEW	
42.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
43.	18/11/2021	FOR REVIEW	
44.	18/11/2021	FOR REVIEW	
45.	18/11/2021	FOR REVIEW	
46.	18/11/2021	FOR REVIEW	
47.	18/11/2021	FOR REVIEW	
48.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
49.	18/11/2021	FOR REVIEW	
50.	18/11/2021	FOR REVIEW	
51.	18/11/2021	FOR REVIEW	
52.	18/11/2021	FOR REVIEW	
53.	18/11/2021	FOR REVIEW	
54.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
55.	18/11/2021	FOR REVIEW	
56.	18/11/2021	FOR REVIEW	
57.	18/11/2021	FOR REVIEW	
58.	18/11/2021	FOR REVIEW	
59.	18/11/2021	FOR REVIEW	
60.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
61.	18/11/2021	FOR REVIEW	
62.	18/11/2021	FOR REVIEW	
63.	18/11/2021	FOR REVIEW	
64.	18/11/2021	FOR REVIEW	
65.	18/11/2021	FOR REVIEW	
66.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
67.	18/11/2021	FOR REVIEW	
68.	18/11/2021	FOR REVIEW	
69.	18/11/2021	FOR REVIEW	
70.	18/11/2021	FOR REVIEW	
71.	18/11/2021	FOR REVIEW	
72.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
73.	18/11/2021	FOR REVIEW	
74.	18/11/2021	FOR REVIEW	
75.	18/11/2021	FOR REVIEW	
76.	18/11/2021	FOR REVIEW	
77.	18/11/2021	FOR REVIEW	
78.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
79.	18/11/2021	FOR REVIEW	
80.	18/11/2021	FOR REVIEW	
81.	18/11/2021	FOR REVIEW	
82.	18/11/2021	FOR REVIEW	
83.	18/11/2021	FOR REVIEW	
84.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
85.	18/11/2021	FOR REVIEW	
86.	18/11/2021	FOR REVIEW	
87.	18/11/2021	FOR REVIEW	
88.	18/11/2021	FOR REVIEW	
89.	18/11/2021	FOR REVIEW	
90.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
91.	18/11/2021	FOR REVIEW	
92.	18/11/2021	FOR REVIEW	
93.	18/11/2021	FOR REVIEW	
94.	18/11/2021	FOR REVIEW	
95.	18/11/2021	FOR REVIEW	
96.	18/11/2021	FOR REVIEW	

No.	DATE	DESCRIPTION	INT.
97.	18/11/2021	FOR REVIEW	
98.	18/11/2021	FOR REVIEW	
99.	18/11/2021	FOR REVIEW	
100.	18/11/2021	FOR REVIEW	

PROJECT: **PLANNED UNIT DEVELOPMENT**
4639 BANK STREET
OTTAWA, ONTARIO

CLIENT: **Glenview homes**

DRAWING TITLE: **SITE PLAN**

DATE: **JULY 2020** SCALE: **1 : 300** SHEET NO.: **SP1**

DRAWN BY: **mdb** CHECKED: **MDB**

D07-12-20-0115