

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
 SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 4 CONCESSION 1, GEOGRAPHIC TOWNSHIP OF HUNTLEY, CITY OF OTTAWA, WEST OF PALLADIUM DRIVE, BLOCK 5, PIN 04508-0132 (LT)

PREPARED BY STANTEC GEOMATICS LTD.
 DATED DECEMBER 13, 2019

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION
 IP13 - BUSINESS PARK INDUSTRIAL ZONE
 AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

OWNER
 PUROLATOR INC.
 2727 MEADOWPINE BLVD.
 MISSISSAUGA, ON
 L5N 0E1

SURVEYOR
 STANTEC GEOMATIC Ltd.
 300-1331 CLYDE AVENUE
 OTTAWA, ON
 K2C 3G4

CIVIL ENGINEER
 ARCADIS / IBI
 400-333 PRESTON STREET
 OTTAWA, ON
 K1S 5N4

BUILDING CLASSIFICATION:
 THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
 GROUP F DIVISION 2 - UP TO 4 STOREYS, INCREASE AREA (3.2.2.69) - TABLE 3.2.2.69 B.
 GROUP D - UP TO 6 STOREYS, SPRINKLERED, NONCOMBUSTIBLE CONSTRUCTION (3.2.2.51)

BUILDING STATISTICS:
 NUMBER OF STOREYS = 2
 THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
 NUMBER OF ACCESS ROUTES PROVIDED = 2

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

AREAS

AREAS	FOOTPRINT GROSS CONSTRUCTED AREA	GROSS FLOOR AREA (PER ZONING BY-LAW DEFINITION)	% FROM THE BUILDING'S G.F.A.
WAREHOUSE	7,002 m ² / 75,370 ft ²	6,986 m ² / 75,197 ft ²	78%
GARAGE	806 m ² / 8,675 ft ²	730 m ² / 7,860 ft ²	8%
OFFICE	803 m ² / 7,643 ft ²	1,298 m ² / 13,969 ft ²	14%
ACCESSORY SALES AND DISPLAY AREA	67.8 m ² / 730 ft ²	58.6 m ² / 630 ft ²	0.7%
BUILDING	8,611 m ² / 92,688 ft ²	9,014 m ² / 97,026 ft ²	

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

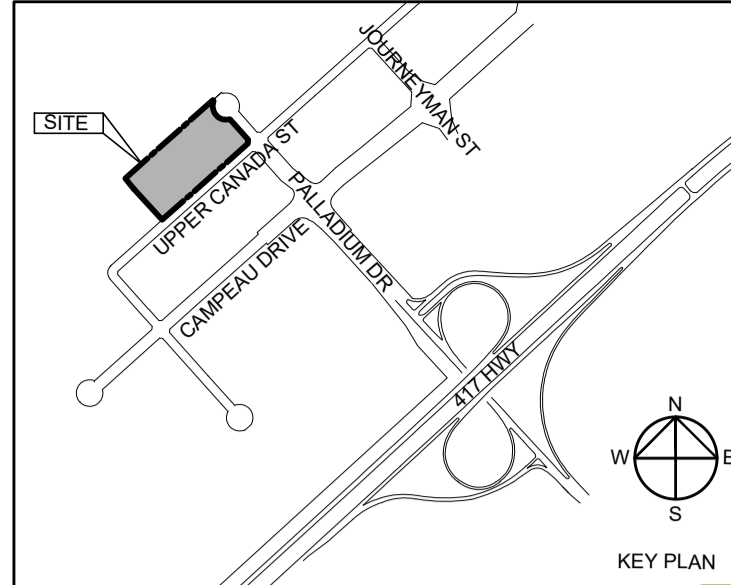
ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	1400 UPPER CANADA STREET/ 3275 PALLADIUM DRIVE	WAREHOUSE
DEFINITION	IP 13 BUSINESS PARK INDUSTRIAL ZONE	
MIN. LOT WIDTH	NO MINIMUM	
MIN. LOT AREA	750 m ²	31969.7 m ²
MIN. FRONT YARD SETBACK	6 m	9.51 m
MIN. CORNER SIDE SETBACK	6 m	25.27 m
MIN. INT. SIDE YARD SETBACK	4 m	47.08 m
MIN. REAR YARD SETBACK	6 m	15.00 m
MAX. LOT COVERAGE	55 %	28 %
MAX. FLOOR SPACE INDEX	2	0.31
MAX. BUILDING HEIGHT	22 m	7.5 m
MIN. WIDTH OF LANDSCAPING	3 m ABUTTING A STREET	MIN. 3 m
STANDARD PARKING SPACE	2.6m x 5.2m	2.75m x 6.1m
ACCESSIBLE PARKING SPACE	3.6m x 5.2m	3.4m x 6.1m (TYPE A), 2.4 x 6.1m (TYPE B)
PARKING REQUIREMENTS AREA C: SUBURBAN	56 OFFICE: 2.4 / 100 m ² G.F.A INDUSTRIAL USE: 0.8 / 100 m ² G.F.A	161
BARRIER-FREE PARKING	6	3 (TYPE A) + 3 (TYPE B)
LOADING SPACES	2	9
BICYCLE PARKING RATE	4 (1 / 2000 m ² OF G.F.A.)	24
GROSS FLOOR AREA		9,014 m ² (97,026 s.f.)
BUILDING AREA (FOOTPRINT)		8,611 m ² (92,688 s.f.)

SIGNAGE LEGEND:
 REFER TO TYPICAL DETAIL 2/A004 FOR TRAFFIC SIGN BASE. REFER TO SPEC SECTION 10 14 54 TRAFFIC SIGNAGE

- NO TRESPASSING
- FIRE ROUTE
- HANDICAP PARKING
- STOP SIGN
- 10x10' DESIGNATED SMOKING AREA, AREA TO BE PAINTED YELLOW
- NO SMOKING SIGN

PAINTED SIGN LEGEND:
 REFER TO SPEC SECTION 32 17 23 PAINTING TRAFFIC LINES AND MARKINGS

- PAINTED ARROW, REFER TO 1/A004
- PAINTED 'STOP' ON PAVEMENT C/W STOP LINE, REFER TO 7/A002
- WHITE PAINTED BARRIER-FREE PARKING SYMBOL
- WHITE PAINTED SYMBOL FOR ELECTRIC CAR CHARGING STATION
- PAINTED PARKING LINES: TRAILER AND TRACTOR PARKING - 4" YELLOW SERVICE TRUCK PARKING - 4" YELLOW STAFF AND VISITOR PARKING - WHITE



LEGEND

- PROPERTY LINE
- YARD SETBACK
- FENCE, REFER TO LANDSCAPE DRAWINGS
- HYDRO EASEMENT LINE SETBACK
- FIRE HYDRANT
- CATCH BASIN - SEE CIVIL
- MANHOLE - SEE CIVIL
- MAIN ENTRANCE/EXIT
- CAMERA - SEE ELEC
- LIGHT STANDARD - SEE ELEC

- GARBAGE ENCLOSURE
- PAINTED SYMBOL FOR ELECTRIC CAR CHARGING STATION, REFER TO DETAIL 6/A002
- HYDRO POLE
- EXTERIOR LIGHT POLE - SEE ELEC
- T.W.S.I.
- IN-GROUND BOLLARD, REFER TO SITE DETAIL 3/A002
- CATCH HEATER PEDESTAL (1 PEDESTAL FOR EVERY 2 PARKING SPACES) REFER TO DETAIL 2/A002

- LANDSCAPED AREA REFER TO LANDSCAPE PLAN
- CONCRETE PAD AND SIDEWALK
- ASPHALT
- 6m WIDE FIRE ROUTE, REFER TO CIVIL
- PAVERS REFER TO LANDSCAPE PLAN
- NEW DEPRESSED CURB
- NEW CURB
- CATCH BASIN, REFER TO CIVIL DRAWINGS FOR LOCATION
- MAN HOLE, REFER TO CIVIL DRAWINGS FOR LOCATION

APPROVED
 By Allison Hamlin at 11:40 am, Jan 17, 2024



Allison Hamlin

ALLISON HAMLIN
 MANAGER (A), DEVELOPMENT REVIEW WEST PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

no.	revision	date
18.	ISSUED FOR SITE PLAN APPROVAL	12 DEC 2023
17.	ISSUE FOR ZONING RESPONSE	7 DEC 2023
16.	ISSUE FOR TENDER PACKAGE #6	6 DEC 2023
15.	ISSUE FOR SPA RESPONSE	13 NOV 2023
14.	ISSUE FOR TP-05 POST-TENDER ADD No. 1	10 NOV 2023
13.	ISSUE FOR BLDG PERMIT & 90% SUBMISSION	26 OCT 2023
12.	RE-ISSUE FOR SITE PLAN CONTROL	29 SEPT 2023
11.	ISSUE FOR 60% SUBMISSION	16 AUG 2023
10.	RE-ISSUE FOR SPA AND 30% SUBMISSION	15 JUNE 2023
9.	ISSUE FOR CLIENT APPROVAL	30 MAR 2023
8.	TENDER PACKAGE #1	12-FEB-2021
7.	ISSUED FOR 60% SUBMISSION	15-JAN-2021
6.	ISSUED FOR SITE PLAN CONTROL R1	16-DEC-2020
5.	ISSUED FOR 30% REVIEW	13-NOV-2020
4.	ISSUED FOR SITE PLAN CONTROL	18-SEP-2020
3.	FOR CLIENT REVIEW	30-JUL-2020
2.	FOR CLIENT REVIEW	17-MAR-2020
1.	FOR CLIENT MEETING	17-DEC-2019

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 tel. 613.224.0095 fax 613.224.9811

project
PUROLATOR DISTRIBUTION KANATA
 1400 UPPER CANADA STREET
 KANATA, ON. CANADA

north arrow

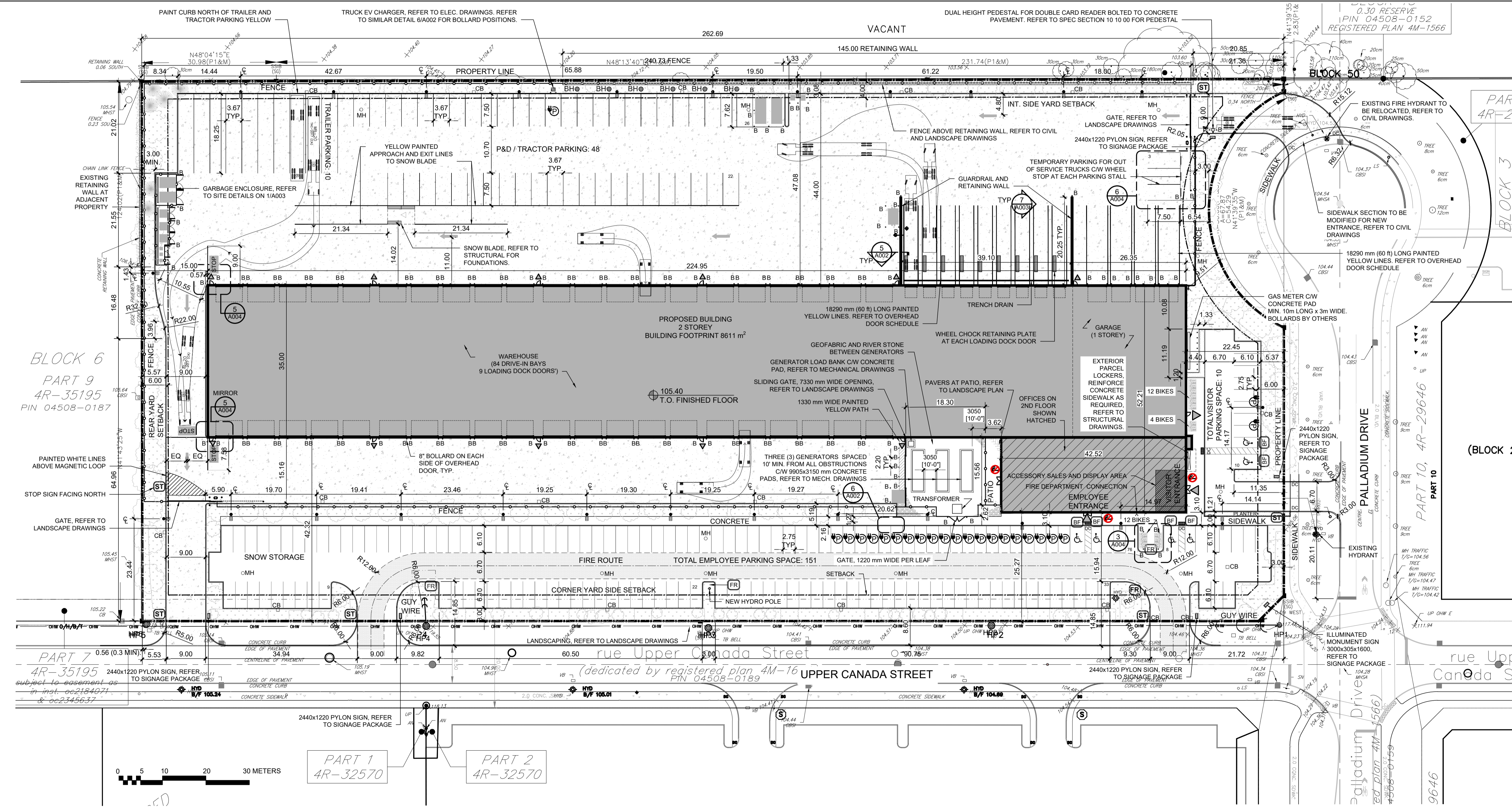
seal

drawing title
SITE PLAN

scale AS SHOWN	drawn by DL
date 11-Dec-2023	checked by RM
project number 23-778	drawing number A001

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.
 DO NOT SCALE DRAWINGS

revision
18



1 A001 ARCHITECTURAL SITE PLAN
 SCALE 1:500

0 5 10 20 30 METERS

CITY'S FILE NO.: D07-12-20-0125