

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
 SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN
 OF PART OF LOT 4 CONCESSION 1, CITY OF OTTAWA, PREPARED BY
 STANTEC GEOMATICS LTD.
 DATED DECEMBER 13, 2019

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE
 DESIGNATION
 IP13 - BUSINESS PARK INDUSTRIAL ZONE
 AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

BUILDING CLASSIFICATION:
 THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE
 ONTARIO BUILDING CODE 2012, (CURRENT EDITION) PART 3

OCCUPANCY:
 GROUP F DIVISION 2 - UP TO 4 STOREYS, INCREASE AREA (3.2.2.69) -
 TABLE 3.2.2.69 B.
 GROUP D - UP TO 6 STOREYS, SPRINKLERED, NONCOMBUSTIBLE
 CONSTRUCTION (3.2.2.51)

BUILDING STATISTICS:
 (CITY OF OTTAWA'S DEFINITIONS)
 BUILDING FOOTPRINT = 8,835 m² / 95,100 ft²
 WAREHOUSE FOOTPRINT: 7,888 m² / 84,690 ft²
 OFFICE FOOTPRINT: 967 m² / 10,410 ft²

GROSS FLOOR AREA = ±8,505 m² / 91,550 ft²

NUMBER OF STOREYS = 2
 THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
 NUMBER OF ACCESS ROUTES PROVIDED = 2

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

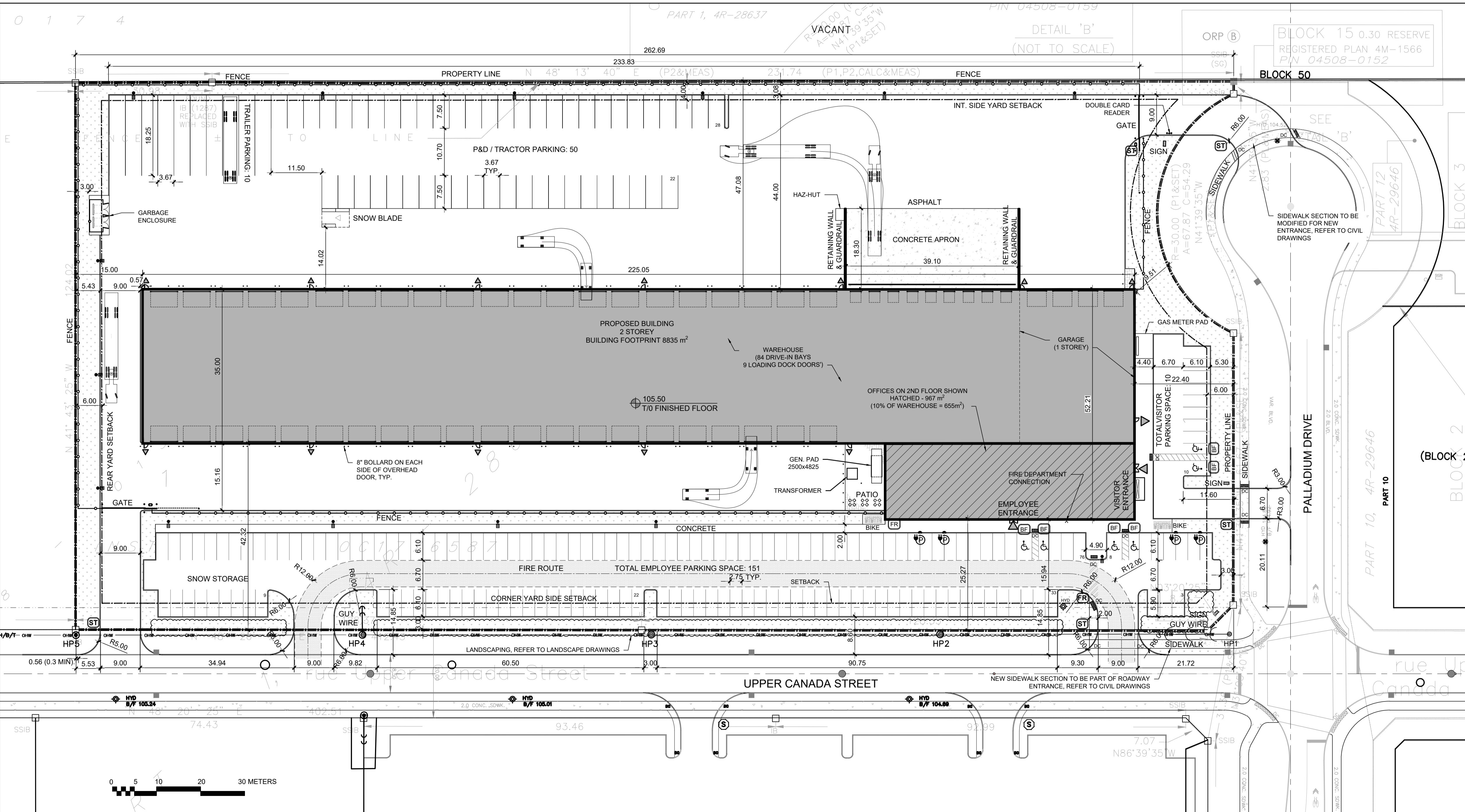
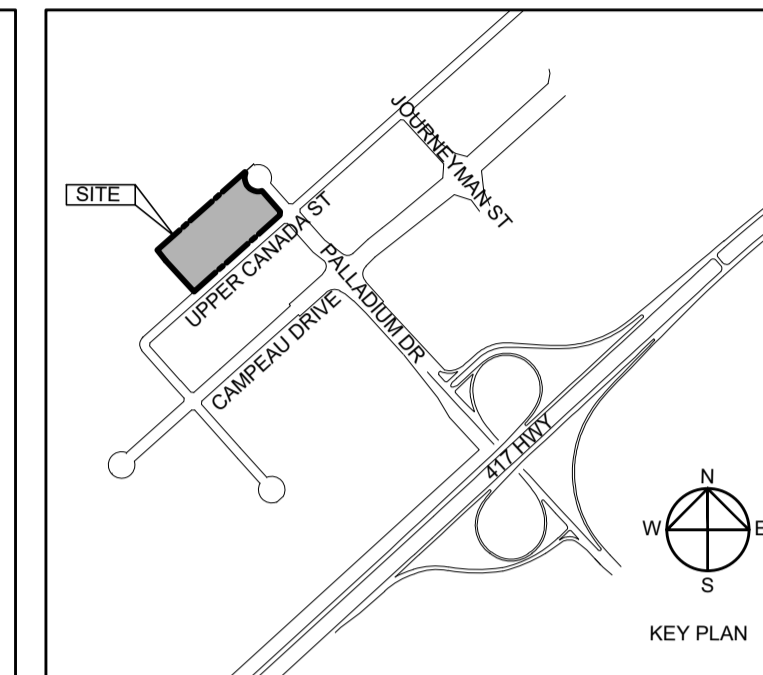
ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	1400 UPPER CANADA STREET	
DEFINITION	IP 13 BUSINESS PARK INDUSTRIAL ZONE	WAREHOUSE
MIN. LOT WIDTH	NO MINIMUM	
MIN. LOT AREA	750 m ²	31969.7 m ²
MIN. FRONT YARD SETBACK	6 m	9.51 m
MIN. CORNER SIDE SETBACK	6 m	25.27 m
MIN. INT. SIDE YARD SETBACK	4 m	47.08 m
MIN. REAR YARD SETBACK	6 m	15.00 m
MAX. LOT COVERAGE	55 %	28 %
MAX. FLOOR SPACE INDEX	2	0.31
MAX. BUILDING HEIGHT	22 m	7.5 m
MIN. WIDTH OF LANDSCAPING	3 m ABUTTING A STREET	MIN. 3 m
STANDARD PARKING SPACE	2.6m x 5.2m	2.75m x 6.1m
ACCESSIBLE PARKING SPACE	3.6m x 5.2m	3.4m x 6.1m (TYPE A), 2.4 x 6.1m (TYPE B)
PARKING REQUIREMENTS	OFFICE: 2.4 / 100 m ² G.F.A INDUSTRIAL USE: 0.8 / 100 m ² G.F.A	161
AREA C - SUBURBAN		
BARRIER-FREE PARKING	6	3 (TYPE A) + 3 (TYPE B)
LOADING SPACES	2	2
BICYCLE PARKING RATE	4 (1 / 2000 m ² OF G.F.A.)	12
GROSS FLOOR AREA		±8,505 m ² (91,550 s.f)
BUILDING AREA (FOOTPRINT)		8,835 m ² (95,100 s.f)

LEGEND

- PROPERTY LINE
- YARD SETBACK
- CHAINLINK FENCE, 2150mm HIGH, 3 STRANDS OF WIRE
- HYDRO EASEMENT LINE
- FIRE HYDRANT
- CATCH BASIN - SEE CIVIL
- MANHOLE - SEE CIVIL
- MAIN ENTRANCE/EXIT
- CAMERA - SEE ELEC
- GARBAGE ENCLOSURE
- NEW DEPRESSED CURB
- NEW CURB
- 2 ELECTRIC CAR CHARGING STATIONS PER POST
- HYDRO POLE
- EXTERIOR LIGHT POLE - SEE ELEC
- T.W.S.I.
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN
- CONCRETE PAD AND SIDEWALK
- ASPHALT
- 6m WIDE FIRE ROUTE, REFER TO CIVIL
- PAVERS REFER TO LANDSCAPE PLAN

SIGNAGE LEGEND:

- NO TRESPASSING
- FIRE ROUTE
- HANDICAP PARKING
- STOP SIGN



no.	revision	date
10.	RE-ISSUE FOR SPA AND 30% SUBMISSION	15 JUNE 2023
9.	ISSUE FOR CLIENT APPROVAL	30 MAR 2023
8.	TENDER PACKAGE #1	12-FEB-2021
7.	ISSUED FOR 60% SUBMISSION	15-JAN-2021
6.	ISSUED FOR SITE PLAN CONTROL R1	16-DEC-2020
5.	ISSUED FOR 30% REVIEW	13-NOV-2020
4.	ISSUED FOR SITE PLAN CONTROL	18-SEP-2020
3.	FOR CLIENT REVIEW	30-JUL-2020
2.	FOR CLIENT REVIEW	17-MAR-2020
1.	FOR CLIENT MEETING	17-DEC-2019

N45 ARCHITECTURE INC.
 71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
 tel. 613.224.0095 fax 613.224.9811

project
PUROLATOR DISTRIBUTION KANATA
 1400 UPPER CANADA STREET
 KANATA, ON, CANADA

north arrow

seal

drawing title
SITE PLAN

scale AS SHOWN	drawn by DL
date 19-Jun-2023	checked by RM
project number 22-778	drawing number A001

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.

DO NOT SCALE DRAWINGS

revision
10

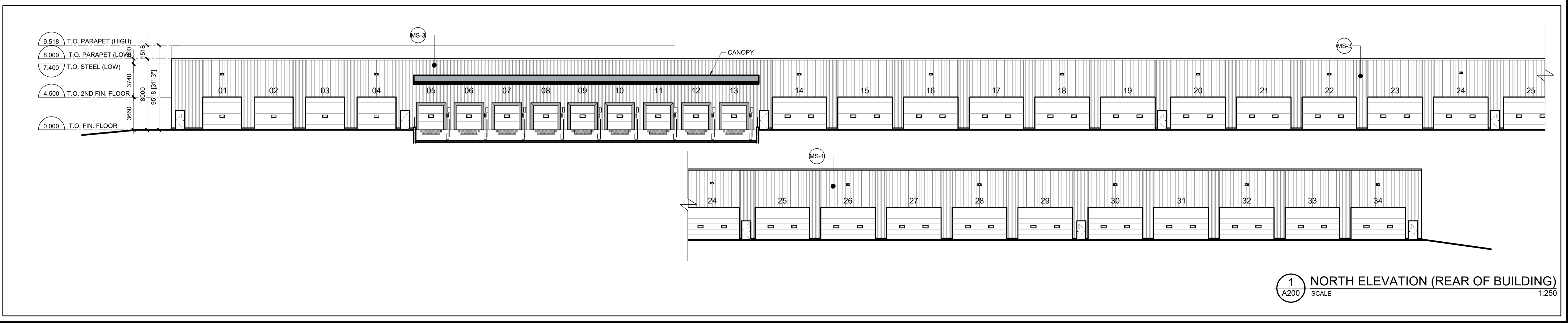
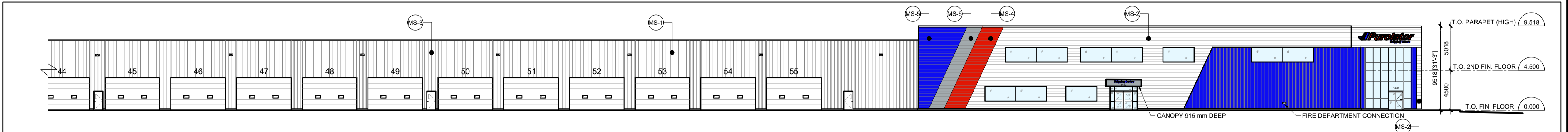
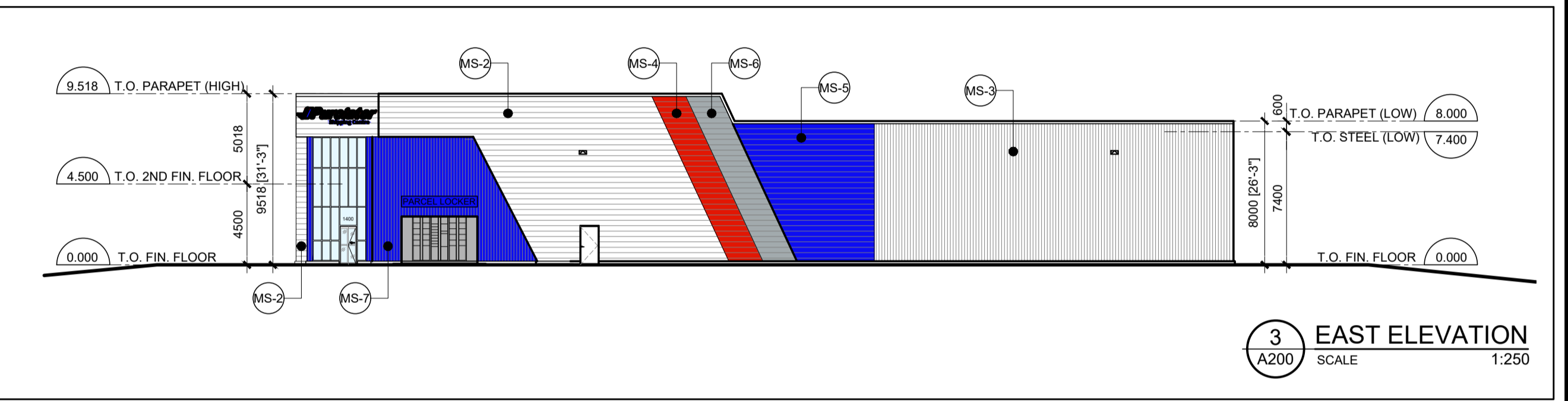
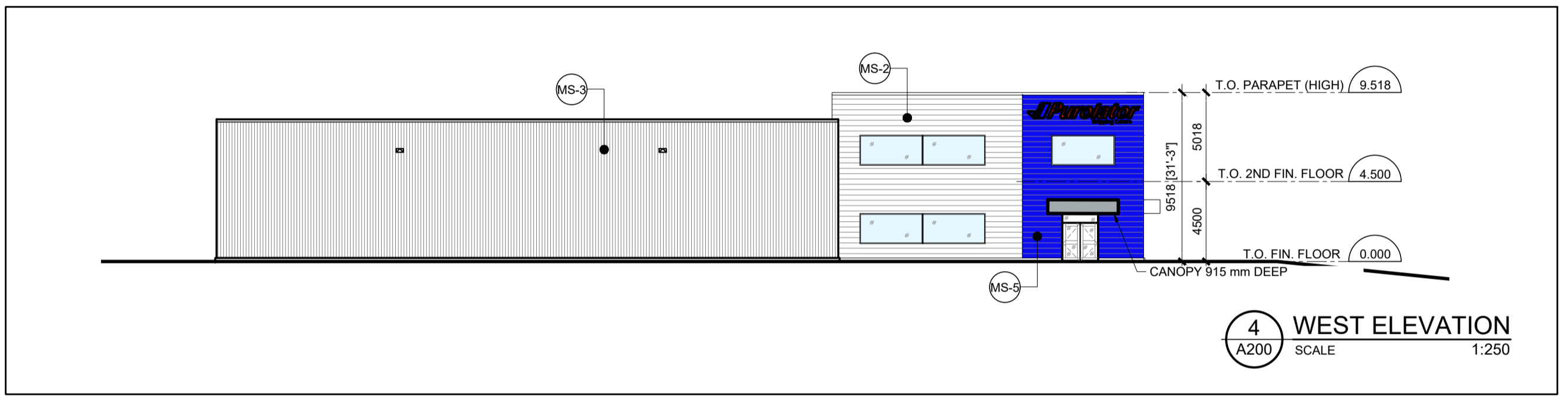
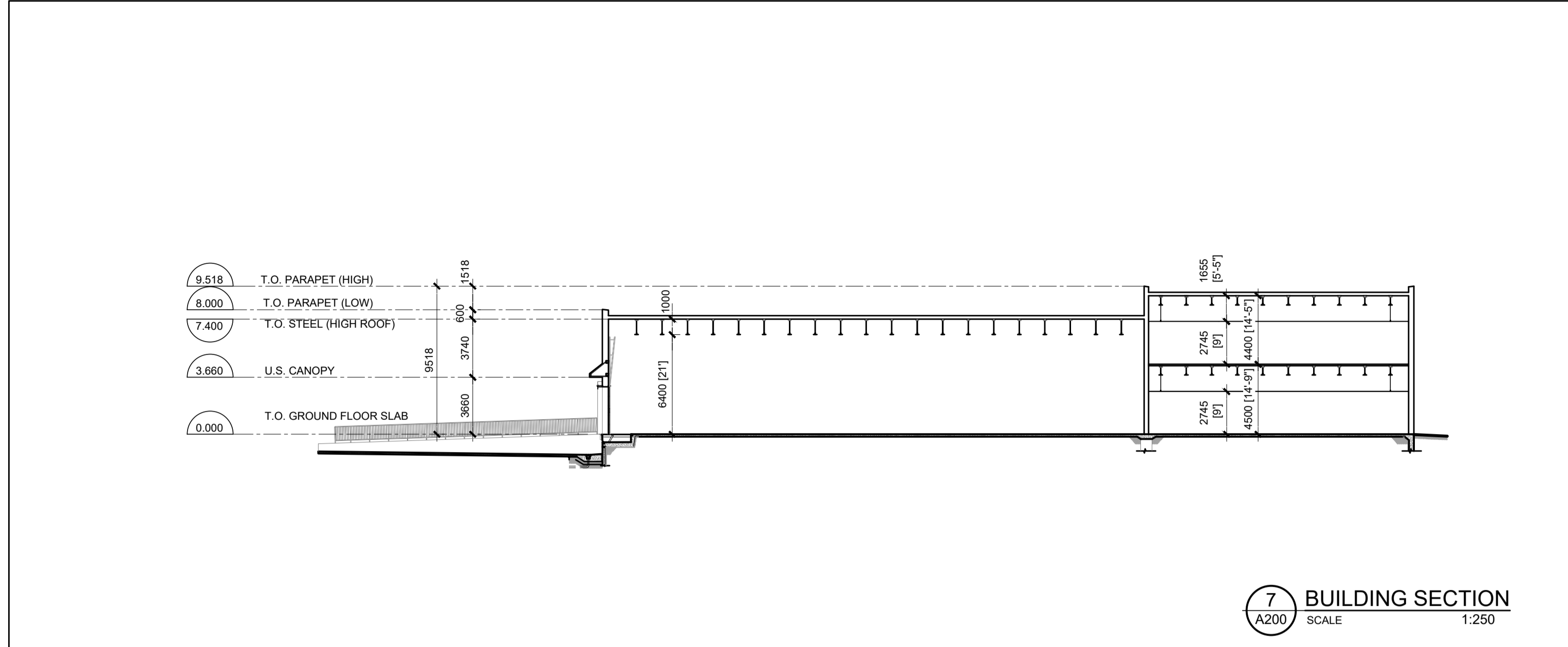
1 ARCHITECTURAL SITE PLAN
 SCALE 1:500

CITY'S FILE NO.: D07-12-20-0125

- NOTES:**
1. PROVIDE 16 mm FIRE TREATED PLYWOOD BACKING BEHIND METAL SIDING FOR THE FULL SIZE OF THE THREE (3) PUROLATOR ILLUMINATED SIGN AND AT EACH CAMERA LOCATION.
 2. PROVIDE WEATHERPROOFED SEALED CONDUITS THROUGHOUT EXTERIOR WALL TO THE SIGNS AND CAMERAS.
 3. PROVIDE EXTERIOR BOLLARDS ON BOTH SIDES OF EVERY DRIVE IN OVERHEAD DOORS.
 4. PROVIDE INTERIOR BOLT DOWN BOLLARDS ON BOTH SIDES OF EVERY VERTICAL LIFT OVERHEAD DOORS.

LEGEND

MS-1	VERTICAL WHITE METAL SIDING CANAM BONE WHITE (QC-18273), HF-11F	MS-5	HORIZONTAL BLUE METAL SIDING CANAM HF-11F CUSTOM COLOUR TO MATCH PANTONE 072C
MS-2	HORIZONTAL WHITE METAL SIDING CANAM BONE WHITE (QC-18273), HF-11F	MS-6	HORIZONTAL GREY METAL SIDING CANAM HF-11F CUSTOM COLOUR TO MATCH PANTONE 429C
MS-3	VERTICAL WHITE METAL SIDING CANAM BONE WHITE (QC-18273), M-2297	MS-7	VERTICAL BLUE METAL SIDING CANAM M-2297 CUSTOM COLOUR TO MATCH PANTONE 072C
MS-4	HORIZONTAL RED METAL SIDING CANAM HF-11F CUSTOM COLOUR TO MATCH PANTONE 485C		



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project
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KANATA**
1400 UPPER CANADA STREET
KANATA, ON, CANADA

north arrow seal

drawing title ELEVATIONS	
scale 1:250	drawn by DL
date 19-Jun-2023	checked by RM
project number 22-778	drawing number A200
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DO NOT SCALE DRAWINGS	revision 7