

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
 SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 4 CONCESSION 1, GEOGRAPHIC TOWNSHIP OF HUNTLEY, CITY OF OTTAWA, WEST OF PALLADIUM DRIVE, BLOCK 5, PIN 04508-0132 (LT)

PREPARED BY STANTEC GEOMATICS LTD.
 DATED DECEMBER 13, 2019

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION
 IP13 - BUSINESS PARK INDUSTRIAL ZONE
 AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

OWNER
 PUROLATOR INC.
 2727 MEADOWPINE BLVD.
 MISSISSAUGA, ON
 L5N 0E1

BUILDING CLASSIFICATION:
 THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
 GROUP F DIVISION 2 - UP TO 4 STOREYS, INCREASE AREA (3.2.2.69.) - TABLE 3.2.2.69.B.
 GROUP D - UP TO 6 STOREYS, SPRINKLERED, NONCOMBUSTIBLE CONSTRUCTION (3.2.2.51.)

BUILDING STATISTICS:
 NUMBER OF STOREYS = 2
 THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
 NUMBER OF ACCESS ROUTES PROVIDED = 2

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

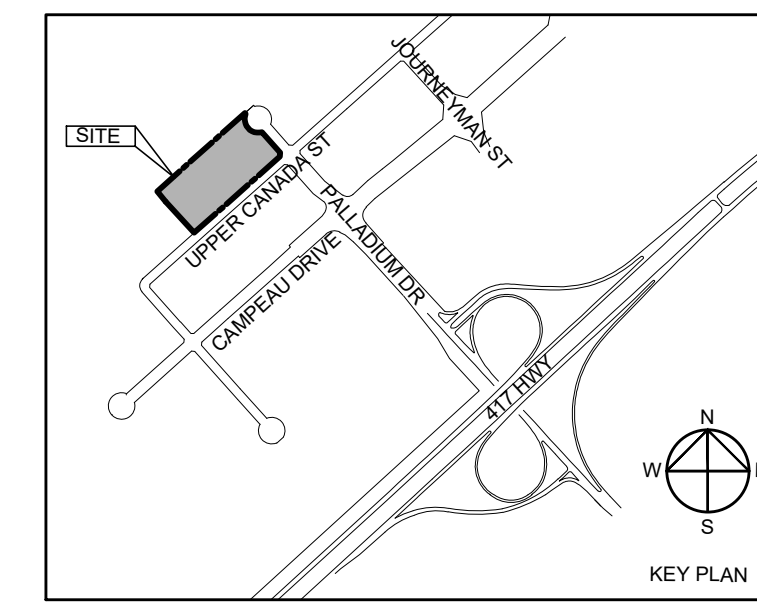
AREAS

| | FOOTPRINT GROSS CONSTRUCTED AREA | GROSS FLOOR AREA (PER ZONING BY-LAW DEFINITION) |
|-----------|---|---|
| WAREHOUSE | 7,002 m ² / 75,370 ft ² | 6,986 m ² / 75,197 ft ² |
| GARAGE | 806 m ² / 8,675 ft ² | 730 m ² / 7,860 ft ² |
| OFFICE | 803 m ² / 7,643 ft ² | 1,298 m ² / 13,969 ft ² |
| BUILDING | 8,611 m ² / 92,688 ft ² | 9,014 m ² / 97,026 ft ² |

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

| ZONING MECHANISM | REQUIRED | PROVIDED |
|---------------------------------------|---|--|
| ADDRESS | 1400 UPPER CANADA STREET/ 3275 PALLADIUM DRIVE | WAREHOUSE |
| DEFINITION | IP 13 BUSINESS PARK INDUSTRIAL ZONE | |
| MIN LOT WIDTH | NO MINIMUM | |
| MIN. LOT AREA | 750 m ² | 31969.7 m ² |
| MIN. FRONT YARD SETBACK | 6 m | 9.51 m |
| MIN. CORNER SIDE SETBACK | 6 m | 25.27 m |
| MIN. INT. SIDE YARD SETBACK | 4 m | 47.08 m |
| MIN. REAR YARD SETBACK | 6 m | 15.00 m |
| MAX. LOT COVERAGE | 55 % | 28 % |
| MAX. FLOOR SPACE INDEX | 2 | 0.31 |
| MAX. BUILDING HEIGHT | 22 m | 7.5 m |
| MIN. WIDTH OF LANDSCAPING | 3 m ABUTTING A STREET | MIN. 3 m |
| STANDARD PARKING SPACE | 2.6m x 5.2m | 2.75m x 6.1m |
| ACCESSIBLE PARKING SPACE | 3.6m x 5.2m | 3.4m x 6.1m (TYPE A), 2.4 x 6.1m (TYPE B) |
| PARKING REQUIREMENTS AREA C: SUBURBAN | 56 OFFICE: 2.4 / 100 m ² G.F.A INDUSTRIAL USE: 0.8 / 100 m ² G.F.A | 161 |
| BARRIER-FREE PARKING | 6 | 3 (TYPE A) + 3 (TYPE B) |
| LOADING SPACES | 2 | 9 |
| BICYCLE PARKING RATE | 4 (1 / 2000 m ² OF G.F.A.) | 12 |
| GROSS FLOOR AREA | | ±9,014 m ² (97,026 s.f.) |
| BUILDING AREA (FOOTPRINT) | | 8,611 m ² (92,688 s.f.) |

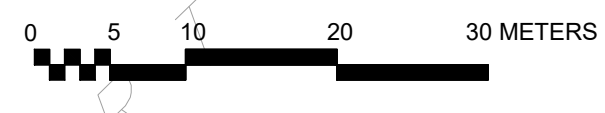
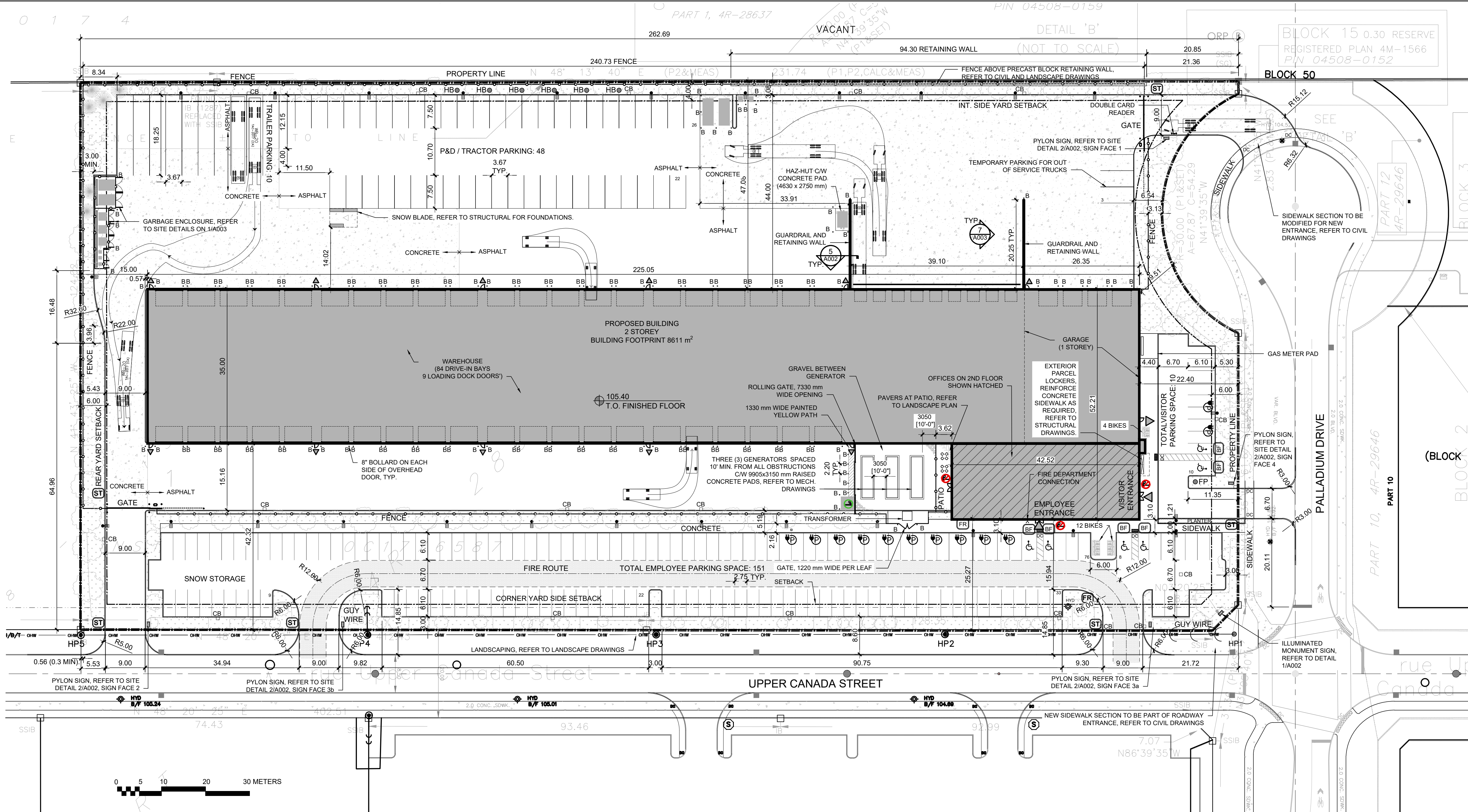


LEGEND

- PROPERTY LINE
- YARD SETBACK
- FENCE REFER TO LANDSCAPE DRAWINGS
- HYDRO EASEMENT LINE SETBACK
- FIRE HYDRANT
- CATCH BASIN - SEE CIVIL
- MANHOLE - SEE CIVIL
- MAIN ENTRANCE/EXIT
- CAMERA - SEE ELEC
- LIGHT STANDARD - SEE ELEC
- GARBAGE ENCLOSURE
- 2 ELECTRIC CAR CHARGING STATIONS PER POST, REFER TO DETAIL 6/A002
- HYDRO POLE
- EXTERIOR LIGHT POLE - SEE ELEC
- T.W.S.I.
- IN-GROUND BOLLARD, REFER TO SITE DETAIL 3/A002
- HEATER BLOCK PEDESTAL (1 PEDESTAL FOR EVERY 2 PARKING SPACES)
- FLAG POLE, REFER TO LANDSCAPE DRAWINGS
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN
- CONCRETE PAD AND SIDEWALK
- ASPHALT
- 6m WIDE FIRE ROUTE, REFER TO CIVIL
- PAVERS REFER TO LANDSCAPE PLAN
- NEW DEPRESSED CURB
- NEW CURB
- CATCH BASIN, REFER TO CIVIL DRAWINGS FOR LOCATION

SIGNAGE LEGEND:

- NO TRESPASSING
- FIRE ROUTE
- HANDICAP PARKING
- STOP SIGN
- 10x10' DESIGNATED SMOKING AREA
- NO SMOKING SIGN



1 ARCHITECTURAL SITE PLAN
 A001 SCALE 1:500



| no. | revision | date |
|-----|-------------------------------------|--------------|
| 12. | RE-ISSUE FOR SITE PLAN CONTROL | 29 SEPT 2023 |
| 11. | ISSUE FOR 60% SUBMISSION | 16 AUG 2023 |
| 10. | RE-ISSUE FOR SPA AND 30% SUBMISSION | 15 JUNE 2023 |
| 9. | ISSUE FOR CLIENT APPROVAL | 30 MAR 2023 |
| 8. | TENDER PACKAGE #1 | 12-FEB-2021 |
| 7. | ISSUED FOR 60% SUBMISSION | 15-JAN-2021 |
| 6. | ISSUED FOR SITE PLAN CONTROL R1 | 16-DEC-2020 |
| 5. | ISSUED FOR 30% REVIEW | 13-NOV-2020 |
| 4. | ISSUED FOR SITE PLAN CONTROL | 18-SEP-2020 |
| 3. | FOR CLIENT REVIEW | 30-JUL-2020 |
| 2. | FOR CLIENT REVIEW | 17-MAR-2020 |
| 1. | FOR CLIENT MEETING | 17-DEC-2019 |

N45 ARCHITECTURE INC.
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project
PUROLATOR DISTRIBUTION KANATA
 1400 UPPER CANADA STREET
 KANATA, ON, CANADA

north arrow seal

drawing title
SITE PLAN

| | |
|--------------------------|-------------------------------|
| scale AS SHOWN | drawn by DL |
| date 29-Sep-2023 | checked by RM |
| project number 23-778 | drawing number A001 |

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.
 DO NOT SCALE DRAWINGS

revision
11

CITY'S FILE NO.: D07-12-20-0125