



**SITE PLAN CONTROL APPROVAL APPLICATION  
DELEGATED AUTHORITY REPORT  
MANAGER, DEVELOPMENT REVIEW**

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Site Location: Part of 3713 Borrisokane Road (Phase 2)

File No.: D07-12-20-0133

Date of Application: October 15, 2020

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This SITE PLAN CONTROL application submitted by FOTENN (attn.: Julie Carrara) on behalf of Caivan Greenbank North Inc., and Caivan Barrhaven Rental Inc., Attn: Hugo Lalonde, is APPROVED as shown on the following plan(s):

1. **Exterior Building Elevations, A201**, prepared by Figurr, dated October 23, 2019, revised December 4, 2020 (Rev 6).
2. **Landscape – Phase 1 & 2, L01**, prepared by NAK Design Strategies, dated December 2020, revised December 18, 2020 (Rev 9).
3. **Planting Details, D1**, prepared by NAK Design Strategies, dated December, 2020, revised December 18, 2020 (Rev 9).
4. **Amenities Details, D2**, prepared by NAK Design Strategies, dated December, 2020, revised December 18, 2020 (Rev 9).
5. **Site Information – Phase 1 & 2, A104**, prepared by Figurr, dated September 19, 2019, revised December 17, 2020 (Rev 6).
6. **Site Plan – Phase 1 & 2 Enlarged, A105**, prepared by Figurr, dated September 19, 2019, revised December 17, 2020 (Rev 6).
7. **Grading Plan 3713 Borrisokane Road, GP-1**, prepared by DSEL, dated December, 2019, revised January 5, 2021 (Revision 15).
8. **Grading Plan 3713 Borrisokane Road, GP-2**, prepared by DSEL, dated December, 2019, revised January 5, 2021 (Revision 15).
9. **Erosion Sediment Control Plan 3713 Borrisokane Road, EC-1**, prepared by DSEL, dated December, 2019, revised January 5 2021 (Revision 15).

10. **Site Servicing Plan 3713 Borrisokane Road**, SSP-1, prepared by DSEL, dated December, 2019, revised January 5, 2021 (Revision 15).
11. **Site Servicing Plan 3713 Borrisokane Road**, SSP-2, prepared by DSEL, dated December, 2019, revised January 5, 2021 (Revision 15).
12. **Detail Sheet 3713 Borrisokane Road**, DS-1, prepared by DSEL, dated December, 2019, revised 5, 2021 (Revision 15).
13. **Stormwater Drainage Plan – Ultimate, 3713 Borrisokane Road**, STM-1, prepared by DSEL, dated December, 2019, revised January 5, 2021 (Revision 15).
14. **Existing Conditions Plan 3713 Borrisokane Road**, EX-1, prepared by DSEL, dated December, 2019, revised January 5, 2021 (Revision 15).

And as detailed in the following report(s):

1. **Site Servicing and Stormwater Management Report**, Caivan Greenbank North Inc. 3713 Borrisokane Road, prepared by DSEL, dated January 2021 (Rev 9).
2. **Hydrogeological Review – Municipal Services**, Proposed Commercial / Industrial Development 3713 Borrisokane Road, prepared by Paterson Group Inc., dated October 2, 2020.
3. **Technical Memo**, Review of Paterson Memo – Hydrogeological Review – Municipal Services Proposed Commercial Development 3713 Borrisokane Road – Ottawa, dated November 4, 2020, prepared by Dillon Consulting
4. **Groundwater Field Investigation Memorandum**, 3713 Borrisokane Road, prepared by Paterson Group Inc., dated May 13, 2020.
5. **Stormwater Management Memorandum**, 3713 Borrisokane Road, prepared by DSEL, dated May 28, 2020.
6. **Review of Caivan ABIC Groundwater Field Investigation Memo**, prepared by Dillon Consulting, dated May 15, 2020
7. **3713 Borrisokane Road ABIC Facility, Transportation Impact Assessment Study Report**, prepared by CGH Transportation, dated April 2020.
8. **Geotechnical Investigation Proposed Proposed Warehouse Complex Borrisokane Road**, prepared by Paterson Group Inc., dated February 10, 2020 (Rev 1).
9. **Stationary Noise Assessment**, 3713 Borrisokane Road, prepared by Gradient Wind Engineering Inc., dated December 16, 2019.

10. **Phase 1 Environmental Site Assessment**, 3713 Borrisokane Road, prepared by Paterson Group Inc., dated November 25, 2019.
11. **Phase II Environmental Site Assessment**, 3713 Borrisokane Road, prepared by Paterson Group Inc., dated February 4, 2020.
12. **Environmental Impact Statement 3713 Borrisokane Road - Western Parcel**, prepared by Kilgour & Associates Ltd., dated December 13, 2019.

And subject to the following Standard and Special Conditions:

### **Standard Conditions**

1. The Owner shall enter into a standard site development agreement consisting of the following conditions. In the event the Owner fails to enter into such agreement within one year, this approval shall lapse.
2. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty days notice of any material change or cancellation of the policy.
3. The Owner shall obtain such permits as may be required from Municipal or Provincial authorities and shall file copies thereof with the General Manager, Planning, Infrastructure and Economic Development Department.
4. The Owner acknowledges and agrees that the parking areas and entrances shall have barrier curbs and shall be constructed in accordance with the approved drawings of a design professional, such drawings to be approved by the General Manager, Planning, Infrastructure and Economic Development Department.
5. The Owner shall provide adequate water supply for fire fighting for every building. Water supplies may be provided from a public water works system, automatic fire pumps, pressure tanks or gravity tanks.
6. The Owner shall design and construct sidewalk(s) within public rights-of-way or on other City owned lands to provide a pedestrian connection from or to the site as may be determined by the General Manager, Planning, Infrastructure and Economic Development Department. Such sidewalk(s) shall be constructed to City Standards.
7. The Owner shall reinstate, at its expense and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department, any property of the City, including, but not limited to, sidewalks, curbs and boulevards, which is damaged as a result of the subject development.

8. The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Infrastructure and Economic Development Department.
9. The Owner acknowledges and agrees, prior to the issuance of a building permit, to provide the City with a certificate from an acceptable professional engineer, licensed in the Province of Ontario, which certificate shall state that the exterior site lighting has been designed to meet the following criteria:
  - i. it must be designed using only fixtures that meet the criteria for full cut-off (sharp cut-off) classification, as recognized by the Illuminating Engineering Society of North America (IESNA or IES); and
  - ii. it must result in minimal light spillage onto adjacent properties. As a guideline, 0.5 fc is normally the maximum allowable spillage.
10. The Owner acknowledges and agrees that, upon completion of the lighting Works and prior to the City releasing any associated securities, the Owner shall provide certification satisfactory to the General Manager, Planning, Infrastructure and Economic Development Department, from a Professional Engineer, licensed in the Province of Ontario, that the site lighting has been constructed in accordance with the Owner's approved design plan.
11. Any portion of the lands which is intended to be used for snow storage shall be shown on the approved Site Plan or as otherwise approved by the General Manager, Planning, Infrastructure and Economic Development Department. The grading and drainage patterns and/or servicing of the site shall not be compromised by the storage of snow. Snow storage areas shall be setback from property lines, foundations, fencing or landscaping a minimum of 1.5 metres. Snow storage areas shall not occupy driveways, aisles, required parking spaces or any portion of a road allowance.
12. The Owner acknowledges and agrees that no snow storage shall be stored along the northern property line, and signs shall be posted along the northern property line that indicate 'No dumping of snow', to ensure it is made aware no snow shall be dumped or stored on City land or such that it drains onto City land containing the stormwater management facility.

### **Special Conditions**

1. Prior to registration, the Owner acknowledges and agrees they shall obtain all necessary permits from the Ministry of Transportation, including the 'Land-Use' permit for proximity to the 400 series highway.

2. Prior to registration, the Owner acknowledges and agrees the Ministry of Environment, Conservation and Parks (MECP) Environmental Compliance Approval (ECA) must be obtained for industrial land-use from the Province.
3. The Owner acknowledges that should a Conditional Building permit be granted, it will require the posting of a minimum 50% of the on-site securities, as identified in Schedule B/C herein. This shall be through either a Letter of Credit or a Certified Cheque, to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.
4. The Owner shall provide a construction traffic management plan prior to registration of the Agreement. Such plan shall be to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.
5. That the Owner acknowledges and agrees to implement all recommendations, design parameters and controls in accordance with the approved stormwater management plan **“Site Servicing and Stormwater Management Report, Caivan Greenbank North Inc. 3713 Borrisokane Road, prepared by DSEL, dated January 2021 (Rev 9).”**
6. The Owner acknowledges and agrees to provide certification by a professional engineer that the stormwater facilities have been constructed in accordance with the **Site Servicing and Stormwater Management Report, Caivan Greenbank North Inc. 3713 Borrisokane Road, prepared by DSEL, dated January 2021 (Rev 9)**, to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.
7. Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports, referenced in Schedule “E” herein. The Owner further acknowledges and agrees to provide the General Manager, Planning, Infrastructure and Economic Development Department with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports referenced in Schedule “E” herein.
8. Prior to registration, the Owner shall enter into a Roadway Modification Approval process for the works on Borrisokane Road as detailed in the approved functional roadway modification drawings. The Owner further acknowledges and agrees it shall be responsible for the cost of all roadway modifications identified in the Roadway Modification Approval Report, as approved by the Manager, Development Review (South Unit).

9. The Owner acknowledges and agrees all roof top mechanical equipment shall be screened with appropriate acoustical barriers or shall otherwise be MECP noise compliant.
10. The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Geotechnical Investigation Report (the "Report"), referenced as **"Geotechnical Investigation Proposed Proposed Warehouse Complex Borrisokane Road, prepared by Paterson Group Inc., dated February 10, 2020 Rev 1)**, herein, are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Infrastructure and Economic Development Department with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Report, prior to construction of the foundation and at the completion of the Works, which confirmation shall be to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.
11. The Owner(s) shall implement the following noise control attenuation measures recommended in the approved **8. Stationary Noise Assessment, 3713 Borrisokane Road, prepared by Gradient Wind Engineering Inc., dated December 16, 2019.**
12. Prior to registration, the Owner shall enter into a License of Occupation with the City for the portions of storm sewer infrastructure that extend into the City stormwater management facility to the immediate north of the subject property, to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development.

January 11, 2021

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Date

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Lily Xu  
 Manager, Development Review  
 Development Review, South  
 Planning, Infrastructure and Economic Development  
 Department

Enclosure: Site Plan Control Application approval – Supporting Information



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## SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

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**File Number:** D07-12-20-0133

### **SITE LOCATION**

The site is municipally addressed as part of 3713 Borrisokane Road and is located outside of the Urban Boundary in the Rural Area of Ottawa, as shown on the attached location map. The rural site has an area of 11.85 hectares but is also part of a larger 30-hectare parcel of land, of which approximately 19 hectares is located inside the Urban Boundary.

The site is bound to the north by Cambrian Road, to the east by future Greenbank Road, to the south by Barnsdale Road and to the west by Borrisokane Road and Highway 416. The Trail Road Landfill Facility is located within 500 metres of the subject site, across Highway 416 to the west.

The site, as mentioned above, is within the Rural Area of the City, and is adjacent the Barrhaven South Community Design Plan Area and the Barrhaven South Expansion Area Community Design Plan, where lands within the urban area are being developed by suburban development on urban services.

### **SYNOPSIS OF APPLICATION**

The City of Ottawa granted Site Plan Control approval (File D07-12-20-0002) on July 14, 2020 for a 9,340 square metre manufacturing facility and associated outdoor storage on this property (Phase 1), all on rural servicing.

The subject application is to permit the construction of Phase 2 of that initial proposal, for the development of a 3,250 square metre 2-storey office building. In total, Phases 1 and 2 will comprise of offices, a home building design centre, and a manufacturing and assembly facility, all on urban servicing.

### **Proposal Details**

The site plan illustrates a two-storey office and administration building with a total gross floor area of 3,250 square metres. The building will contain office and administration uses as well as a showroom use.

Overall, the site will yield approximately 200 parking spaces for the office, administrative, and manufacturing. Vehicular access to the site will be via Borrisokane Road and a future road at the southern limit of the property. The site is approved on servicing via municipal water and sanitary services.

### **Related Applications**

A related Official Plan and Zoning By-law Amendment application (ASC2018-PIE-PS-0046) was passed at Council on June 10th 2020, with no appeals.



The purpose of the Official Plan Amendment (OPA 243) was to re-designate the lands from 'Sand and Gravel Resource Area' to 'Rural Employment Area', with a site-specific policy to permit the expansion of the Public Service Area for the purpose of servicing the site with public services (sanitary and water). The 4.06-hectare northern portion of land is to be re-designated 'General Rural Area' for the purpose of locating a stormwater management facility servicing urban lands.

The purpose of the Zoning By-law Amendment was to re-zone a majority southern portion of the land (7.79 hectares) from 'Mineral Extraction Subzone 2 (ME2)' to 'Rural General Industrial Exception Zone (RG[895r]-h)' to allow the ABIC building and associated offices. The RG[895r]-h zone would add additional permitted uses of office, and display and sales to the list of permitted industrial land-uses in the RG zone. The list of industrial uses that are included in the RG zone and would make up the development proposal are Light Industrial, Storage Yard, and Warehouse.

The 'holding provision' ('h') was approved in order to prohibit connection to urban services until such time as a comprehensive servicing study is complete and is approved by the City.

The City requisitioned Dillon Consulting, to review the applicants Hydrogeological Memo prepared by Paterson Group in support of the removal of the Holding Provision (Memo entitled: "Hydrogeological Review – Municipal Services – Proposed Commercial Development 3713 Borrrosokane Road – Ottawa, dated October 2nd 2020"). The intent of the review conducted by Dillon Consulting was to advise the City if the subject site can proceed on municipal water, sanitary and stormwater services. Dillon Consulting has reviewed the information received and determined that the proposed sewers were not deep enough to affect the groundwater flow regime and therefore not impact groundwater flow from the Trail Road Landfill Facility. Furthermore, Paterson Group's conclusions of the low potential of the ABIC development to impact the groundwater regime is consistent with the overall groundwater flow model developed by Dillon Consulting.

### Municipal Sanitary Sewer

It is proposed that the development will be serviced by connecting to the 200 mm diameter sanitary sewer within Haiku Street via a network of 200 mm diameter sanitary sewers.

### Municipal Water

It is proposed to service the development by connecting to the 300 mm diameter watermain within Haiku Street via a 200 mm diameter service connection. Two fire hydrants are proposed within the subject site, one for the assembly plant (FH1) and one for the administration building (FH2). Refer to drawing SSP-1 and SSP-2 for a detailed servicing layout.

### Stormwater Management

To meet the stormwater objectives the proposed development will utilize surface storage. Runoff collected along the western side of the subject site (U1) will flow to overland towards the existing Borrisokane Road ditch. Once collected within the Borrisokane roadside ditch, stormwater will be conveyed approximately 1 km downstream towards the Jock River. Stormwater runoff within U1 is predominately landscaped areas. Quality controls will be provided via the existing Borrisokane ditch.

Runoff collected along the southern side of the subject site (U2) will flow overland south of the subject site. Stormwater within this area is considered clean as it is landscaping drainage. Pre-treatment is not anticipated to be required.

Stormwater runoff from the development is proposed to be collected via an internal storm sewer network and conveyed to a stormwater storage area located within the eastern portion of the site. Stormwater runoff collected from parking areas and drive aisles will be conveyed via the internal storm sewer network to an Aquashield AS-8 oil/grit separator (OGS) or an approved equivalent prior to discharging into the stormwater storage area.

### Transportation

Access to the site will be via 3 entrances on Borrisokane Road and 1 access along a private drive-aisle (which may be converted to a public road in the future). Two right-in, right-out accesses will be located along Borrisokane Road, with 1 full movement access at the private drive-aisle. A road modification process is underway and will be approved and secured for through this Site Plan Control process.

## **DECISION AND RATIONALE**

This application is approved for the following reasons:

- The site plan complies with the 'Rural Employment Area' designation of the City's Official Plan, where the site has a special Borrisokane Road Corridor Rural Employment Area designation permitting the proposed storage yard, manufacturing and industrial use.
- The site plan complies with the zoning performance standards of the 'Rural General Industrial Zone (RG[895r]-h)'.
- The Holding Provision ('h') can now be removed as the application has demonstrated how the site can proceed using municipal water and sanitary sewers.
- The site has been planned to ensure safe and functional access and egress, adequacy of servicing, and appropriate site design. All aspects of transportation, engineering and site design represents good land-use planning.

## **CONSULTATION DETAILS**

Councillor Moffatt has concurred with the proposed conditions of approval.

### Councillor Comments

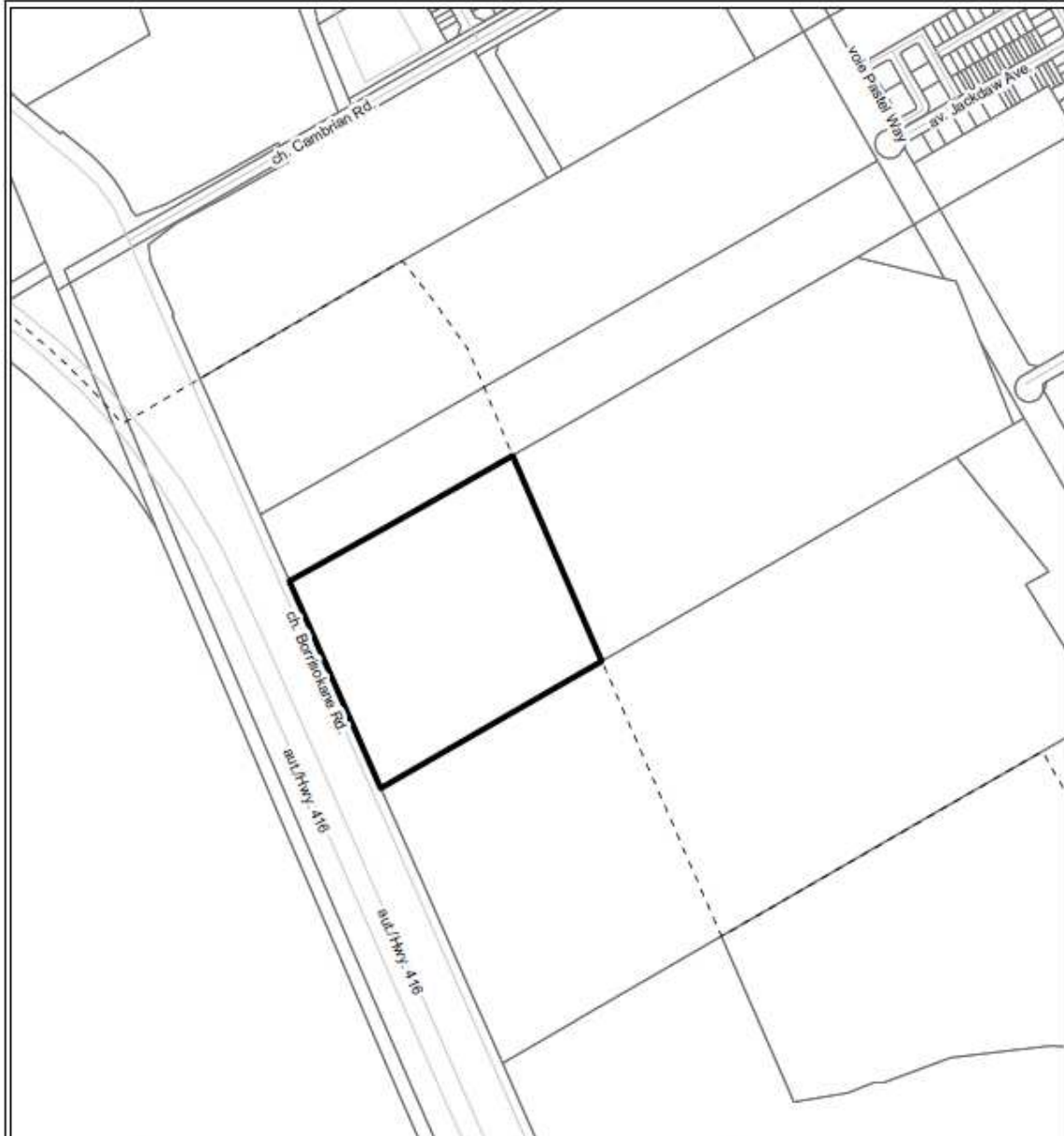
Councillor Moffatt is aware of this application.

## APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was not processed by the On-Time Decision Date established for the processing of an application that has Manager Delegated Authority due to the requirement multiple revisions to address engineering matters and related Zoning By-law and Official Plan Amendment applications.

**Contact:** Sean Moore - Tel: 613-580-2424, Ext. 16481; Fax: 613-580-2576; or E-mail: [sean.moore@ottawa.ca](mailto:sean.moore@ottawa.ca)

**Document 1 – Location Map**



		<p>LOCATION MAP / PLAN DE LOCALISATION ZONING KEY PLAN / SCHÉMA DE ZONAGE OFFICIAL PLAN AMENDMENT / MODIFICATION DU PLAN OFFICIEL SITE PLAN / PLAN D'EMPLACEMENT</p>	
		<b>Part of/partie de 3713 ch. Borrisokane Rd.</b>	
		<p>----- OP Urban Boundary / limite urbain PO</p>	
<p>20-0129-B</p>			
<p>I:\CO\2020\Zoning\Borrisokane_3713</p>			
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<p>REVISION / RÉVISION - 2020 / 02 / 3</p>		<p>D02-02-20-0002 D01-01-20-0001 D07-12-20-0002</p>	