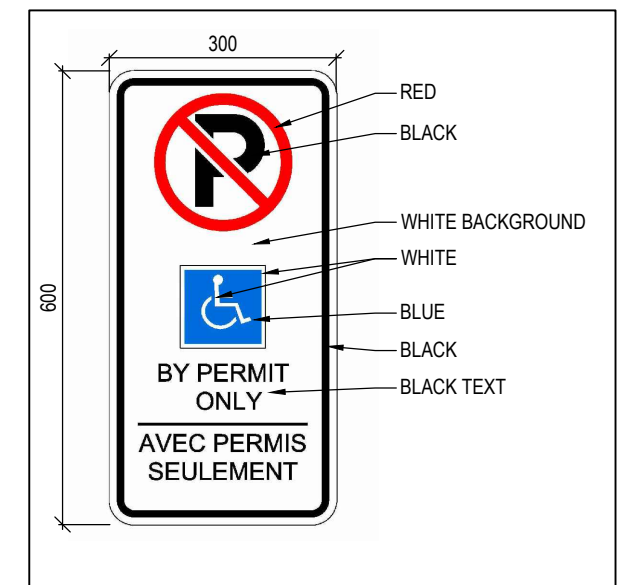
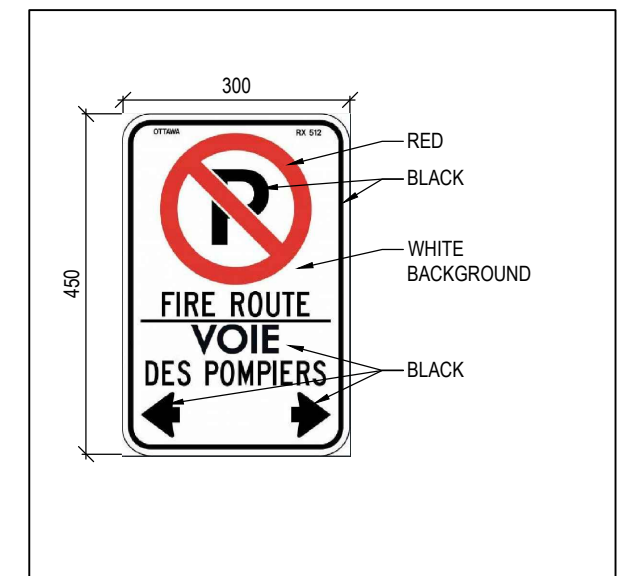


2 OVERALL SITE PLAN
A 104b 1:1000



4 B/F PARKING SIGN
A 104b 1:10



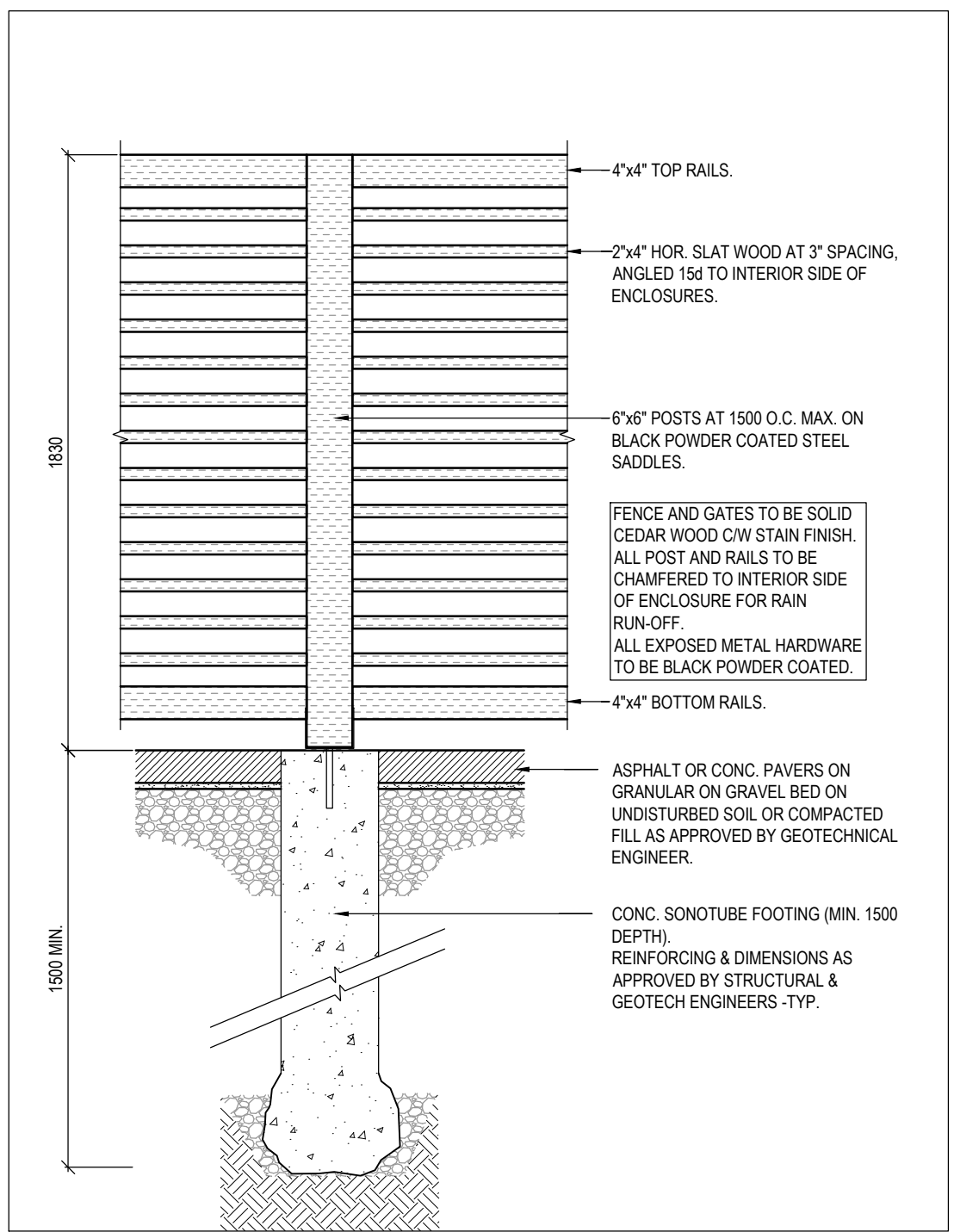
3 FIRE ROUTE SIGN
A 104b 1:10

APPROVED
By Lily Xu at 3:39 pm, Jan 11, 2021

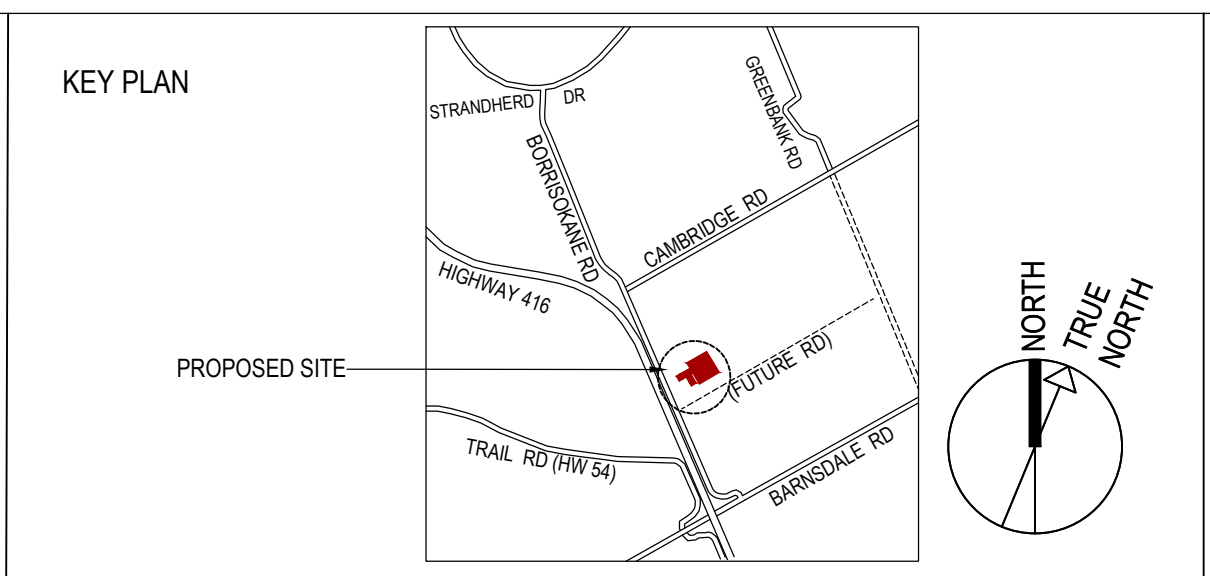
Lily Xu
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



1 AERIAL PERSPECTIVE
A 104b N.T.S.



5 WOOD FENCE
A 104b 1:20



PROPERTY DESCRIPTION

TWO STOREY OFFICE BUILDING & ONE STOREY ASSEMBLY PLANT

CITY OF OTTAWA PIN NUMBER: 04592 - 3357

MUNICIPAL ADDRESS: 3713 BORRISOKANE RD, OTTAWA, ON

SITE INFORMATION

PROPERTY LINES BASED ON BOUNDARY SURVEY BY J.D. BARNES LTD REF# 19-10-074-00 FOR REVISED SITE BOUNDARY PLAN 4R-32754

LOT AREA: 77,858 m²

LOT FRONTAGE: 206.3 m (perpendicular to Borrisokane Rd.), 205.2 m (perpendicular to north boundary)

LOT DEPTH: 379.5 m

BUILDING INFORMATION

BUILDING AREA: 9,372 (Ph1) + 2,450 (Ph2): 11,822 m² (both phased buildings combined)

BUILDING FLOOR AREA (GFA): Administration building: 3,250 m², and Industrial Assembly Plant: 9,385 m²

PROPOSED USE: LOW-RISE OFFICE BUILDING AND ONE STOREY ASSEMBLY PLANT

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
MINIMUM LOT AREA	4,000m ²	77,858 m ²
MINIMUM LOT WIDTH	30m	206.3 m 188.2 m at front yard setback

SETBACKS

Standard for this Zoning	Phase 2
MINIMUM FRONT YARD SETBACK (at Borrisokane Rd)	15m / 21.7 m (narrowest)
MINIMUM INTERIOR SIDE YARD SETBACK	8m / 6m
MINIMUM CORNER SIDE YARD SETBACK	12m / 43.0 m
MINIMUM REAR YARD SETBACK	15m / 227.2 m (narrowest)
MAXIMUM BUILDING HEIGHT	15m / 9.2m and 12.6m
MAXIMUM LOT COVERAGE	50% / 15.2%
OUTDOOR STORAGE AREA	--- / 8,252 m ²

VEHICLE PARKING REQUIREMENTS (AREA D, SCHEDULE 1A)

City of Ottawa Part C - Section 111, Table 111A	Part C - Section 111: 5 per 400-499 O.Reg 191/11: 2 + 2% per 201-1000	7 SPACES per O.Reg 191/11: (3 type 'A' + 4 type 'B')
0.8 per 100m ² of Lt. Industr. GFA	171 regular spaces	
75 required for Assembly Plant Bldg	+ 7 for Visitors	
2.4 per 100m ² of Office GFA	+ 4 Barrier-free (SEE BELOW)	
78 required for Administration Bldg	+ 2 Bus Bays	

BARRIER-FREE PARKING REQTS

City of Ottawa Part C - Section 111, Table 111A

BICYCLE PARKING SPACES

Part C - Section 111, Table 111A

N/A

18 SPACES

LOADING SPACE REQUIREMENTS

Part C - Section 113, Table 113A

1 space for first 5,000 m² plus all required spaces for GFA exceeding 5,000 m²

12 SPACES (all oversized, accessed via Plant)

LEGEND:

GRASS / SOFT-SCAPE (SEE LANDSCAPE PLANS)	FIRE HYDRANT - REFER TO CIVIL
PAVED AREAS (CONCRETE, STONE, ETC)	CATCH BASIN
ASPHALT PAVING	MANHOLE
HEAVY DUTY ASPHALT PAVING (INCL. ALL PAVING OUTSIDE OF PLANT BUILDING)	FLOOR DRAIN
CONCRETE	UTILITY POLE / OVERHEAD UTILITY WIRES
FIRE ROUTE	LIGHT STANDARD
PROPERTY / LOT LINE	BOLLARD LIGHTING AT WALKWAYS
FUTURE LOT LINE	BOLLARD: 6" DIA. CONC. FILLED PAINTED STEEL HSS
SETBACK LINE	BOLLARD-ELECTRIC 2 VEHICLE CHARGING - REFER TO ELEC DWGS
CHAIN LINK FENCE	NEW TREE - REFER TO LANDSCAPE DRAWINGS
LINE OF ARCHITECTURAL CEDAR WOOD SCREEN	NEW SHRUB (REFER TO LANDSCAPE DRAWINGS)
DESIGNATED BUILDING ENTRANCE / EXIT	EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
DEPRESSED CURB	NEW GROUND ELEVATION REFER TO CIVIL
PAINTED CROSSWALK LINES	NEW RIPARIAN ZONE PLANTING (REFER TO LANDSCAPE DRAWINGS)
STANDARD PARKING SPACE	T.O.W.
TYPE 'A' BARRIER-FREE PARKING SPACE (w/ AISLE, PAINTED MARKINGS & SIGN WHERE SHOWN)	DOWNSPOUTS AT APPROX. 13m O.C. w/ 200mm HOR. EXTENSION FOR RUN-OFF PRECAST CONC. SPLASH PAD AT NON-PAVED AREAS
TYPE 'B' STANDARD PARKING SPACE (w/ AISLE, PAINTED MARKINGS & SIGN WHERE SHOWN)	
SIGNAGE FOR FIRE ACCESS ROUTE	
SIGNAGE FOR BARRIER-FREE PARKING	
BICYCLE PARKING (HORIZONTAL) N.T.S.	

NOTES:

- PROPERTY LINES ARE BASED ON BOUNDARY SURVEY BY J.D. BARNES LTD. REF # 19-10-074-00
- REFER TO CIVIL DRAWINGS FOR GRADING, STORM WATER MANAGEMENT, UTILITIES & SITE SERVICES, ROADWAY DESIGN, RETAINING WALLS, BERMS, ETC.
- LANDSCAPING INFORMATION IS SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO LANDSCAPE DRAWINGS FOR TREES, PLANTINGS, LANDSCAPE SURFACE TREATMENTS AND COVERINGS, SIGNAGE MONUMENTS AT GRADE, ETC.
- DOUBLE TRAFFIC LANES (AND AISLES) TO BE A MINIMUM OF 6.7 METERS WIDE.
- REFER TO CIVIL DRAWINGS AND TRAFFIC STUDIES FOR ALL ROAD AND DRIVE CONNECTIONS TO BORRISOKANE ROAD.

No. Date: 1 2020-04-02 COORDINATION
2 2020-04-24 SPC_PHASE-1_CITY_COMMENTS
3 2020-10-02 SITE_PLAN_CONTROL_PHASE-2

Engineer / Trade Consultants (Mechanical / Electrical)

WSP

Goodkey Weedmark Consulting Engineers

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Landscape Architect

NAK
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FOTENN
PLANNING+DESIGN

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david schaeffer engineering ltd

Owner

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Architect

Collectif d'architectes / Architects Collective

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Montreal QC H3C 1A9
T. 514 881-9122

fig. 2
190 Somerset St W #206
Ottawa ON K2P 5K4
T. 613 956-6122

Design Builder

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Scale / Echelle

ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE 7401

Project / Projet

ABIC OFFICE / ASSEMBLY PLANT

3713 BORRISOKANE RD.
Ottawa, Ontario

Site Information - Phase 2

Dessiné par / Drawn by: GB, TS No. projet / Project number: 1944

Vérifié par / Verified by: RC No. dessin / Drawing number: 0

Echelle / Scale: 1:250

Date de création du dessin / Drawing creation date: 2019-09-19

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