



161 HINCHEY

ADDRESS: 161 HINCHEY AVE | OTTAWA, ON
PROJECT NO: 1931
DATE: 20-10-30

ISSUED FOR SITE PLAN CONTROL

ARCHITECTURAL DRAWINGS

- SP-01 SITE PLAN

- A100 BASEMENT - FLOOR PLAN
- A101 LEVEL 01 - FLOOR PLAN
- A102 LEVEL 02 - FLOOR PLAN
- A103 LEVEL 03 - FLOOR PLAN
- A104 LEVEL 04 - FLOOR PLAN
- A105 ROOF PLAN

- A201 EAST AND WEST ELEVATIONS
- A202 NORTH ELEVATION
- A203 SOUTH ELEVATION

LANDSCAPE ARCHITECT

FOTENN PLANNING + DESIGN

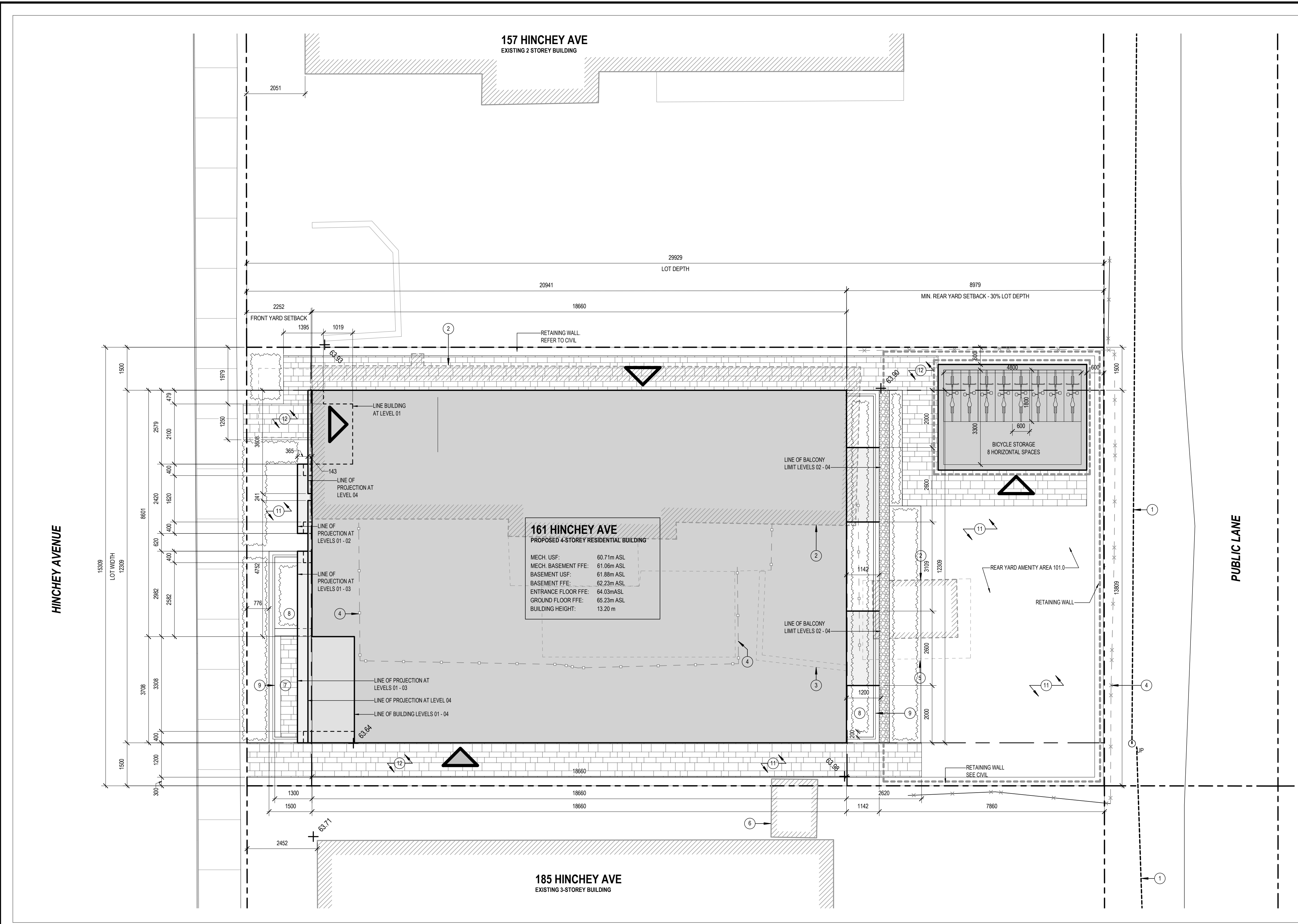
223 MCLEOD STREET
OTTAWA, ON
(613) 730-5709

DRAWING LIST

REFER TO LANDSCAPE TITLE SHEET

project1
studio

Project1 Studio Incorporated
| 613.884.3939 | mail@project1studio.ca



1 SITE PLAN
SP-01 SCALE: 1:75



3 LOCATION PLAN
SP-01 SCALE: NTS

SITE & PROJECT STATISTICS

GENERAL INFORMATION

Zoning:	R4S
Overlay:	Mature Neighbourhood
Min. Lot Width:	15 m
Min. Lot Area:	450 m ²
Max. Building Height:	14.5 m
Min. Front Yard:	2.25 m
Min. Rear Yard:	30% Lot Depth (7.48m) and 30% lot area
Min. Int. Side Yard:	3 m with a building wall < 11 m
Min. Landscaped Area:	30% Lot Area

PROJECT STATISTICS

Dwelling Type:	Apartment Dwelling, Low Rise
Lot Width:	15.3 m
Lot Area:	458.15m ²
Building Height:	13.20 m
Front Yard:	2.27 m
Rear Yard:	8.98 m
Int. Side Yard:	1.5 m
Number of Proposed Units:	15 units

PARKING CALCULATION

Parking Space Ratio Area:	Area Z
As per Section 101	
Required Parking:	0 spaces
0 spaces within Area Z on Schedule 1A - Section 101(2)	
Resident Parking Provided:	0 spaces

VISITOR PARKING CALCULATION

As per Section 102	
Required Visitor Parking:	0 spaces
0 spaces for first 12 units - Section 102(2)	
0.1 spaces/unit for 7 units - Table 102	
Visitor Parking Provided:	0 spaces
Total Parking Provided:	0 spaces

BICYCLE PARKING CALCULATION

As per Table 111A	
Required Parking:	8 spaces
0.5 spaces for 15 units(111A(b)(i))	
Total Parking Provided:	8 spaces

AMENITY AREA CALCULATION

As per Table 127 (3)	
Total Amenity Area Req'd:	162 m ²
15 m ² /unit for first 9 units	
plus 6 m ² /unit for remaining 7 units	
Communal Amenity Req'd:	150 m ²
100% of area for first 9 units	
Communal Amenity Provided:	101.01 m ²
At Grade - Rear Yard:	101.01 m ²
Private Amenity Area Provided:	43.02 m ²
Basement:	9.14 m ²
Level 01:	4.16 m ²
Level 02:	9.88 m ²
Level 03:	9.88 m ²
Level 04:	9.95 m ²
Total Amenity Area Provided:	144.03 m ²

2 ZONING
SP-01 SCALE: NTS

TOPOGRAPHIC PLAN OF SURVEY OF LOT 9 REGISTERED PLAN 35 (EAST HINCHEY AVENUE LOTS) CITY OF OTTAWA
ANNIS, OSULLIVAN, VOLLEBEKK LTD. 2020

SURVEY INFO
SCALE: NTS

SITE PLAN SYMBOLS LEGEND

- BUILDING ENTRANCE
- BUILDING EXIT
- BICYCLE PARKING
- UTILITY POLE
- EXISTING ELEVATION
- BOARD FENCE
- CHAIN LINK FENCE

SYMBOLS LEGEND
SCALE: NTS

- OVERHEAD WIRE
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING RETAINING WALL TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING CONCRETE PAD TO BE REMOVED
- EXISTING SHED
- SUNKEN TERRACE
- LANDSCAPED WINDOW WELL
- CLEAR GLASS GUARD
- SOFT LANDSCAPING
- INTERLOCKING CONCRETE PAVERS

KEYNOTE LEGEND
SCALE: N.T.S.

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ISSUE RECORD

4	ISSUED FOR SITE PLAN CONTROL	20-10-30
3	ISSUED FOR COORDINATION	20-09-16
1	ISSUED FOR COORDINATION	20-05-26



161 HINCHEY
161 Hinchey Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
1931	NOTED	AP	RMK

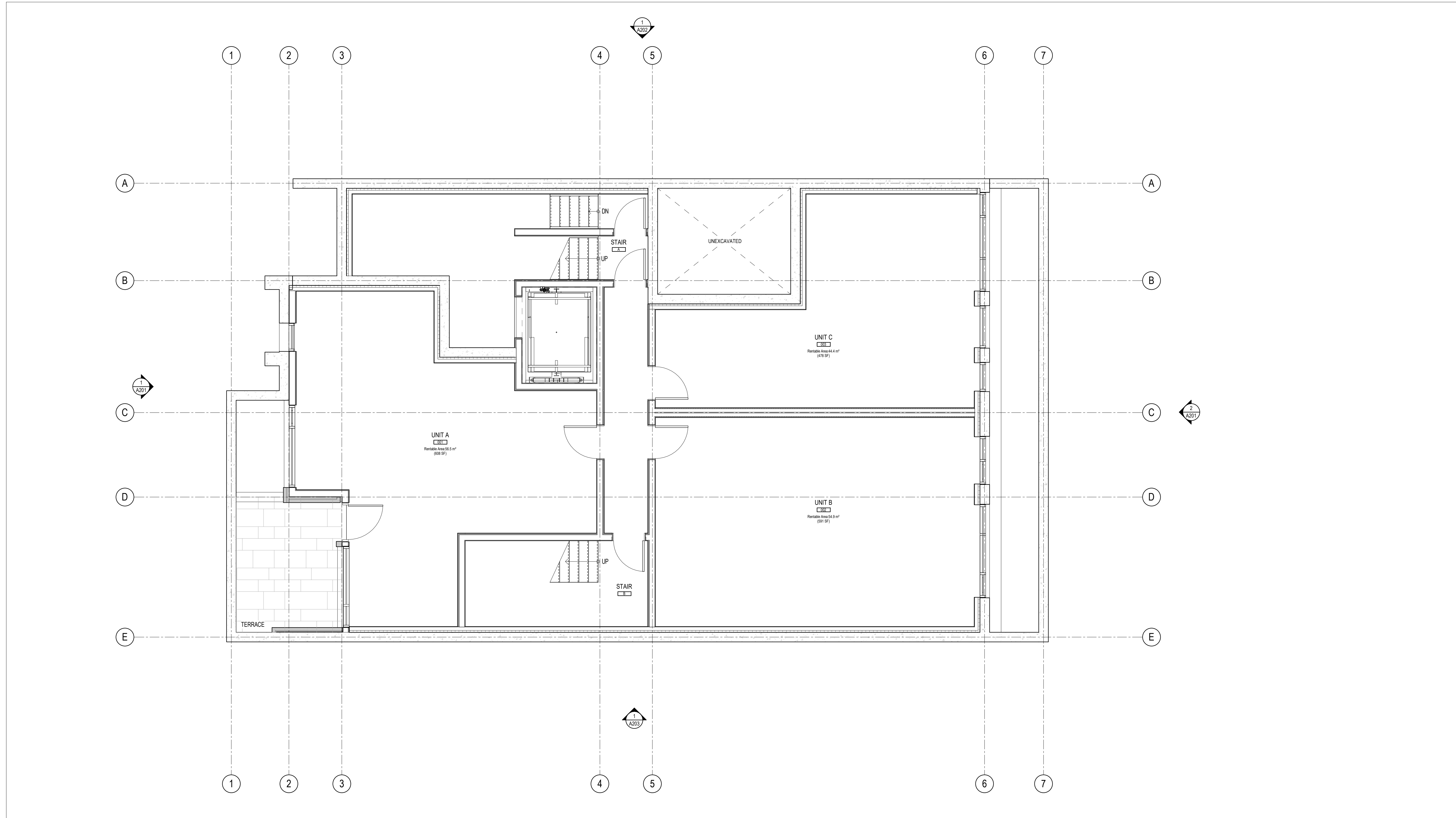
SITE PLAN

SP-01

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BASEMENT - FLOOR PLAN

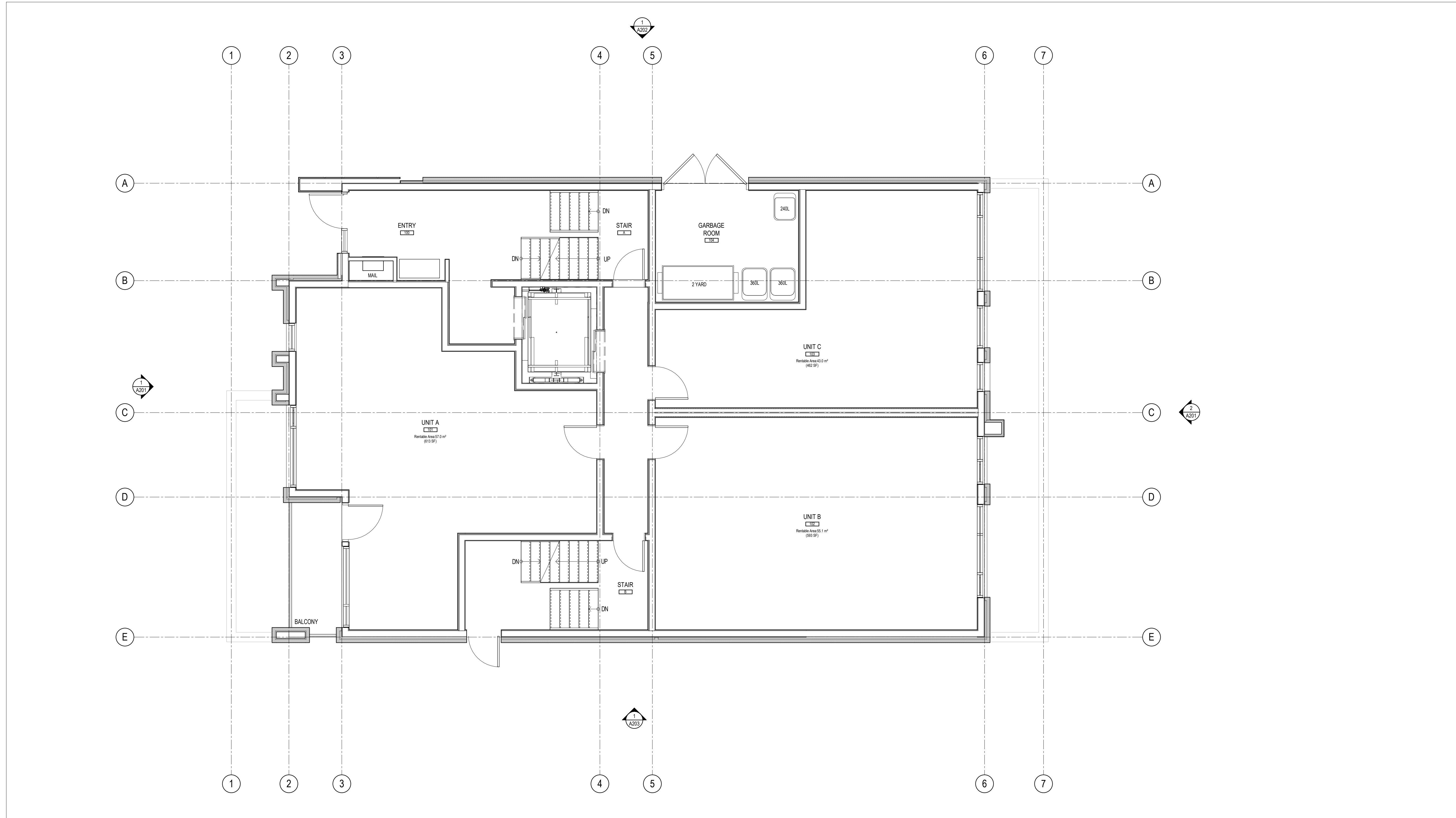
1 BASEMENT LEVEL
 A100 SCALE: 1:50

A100

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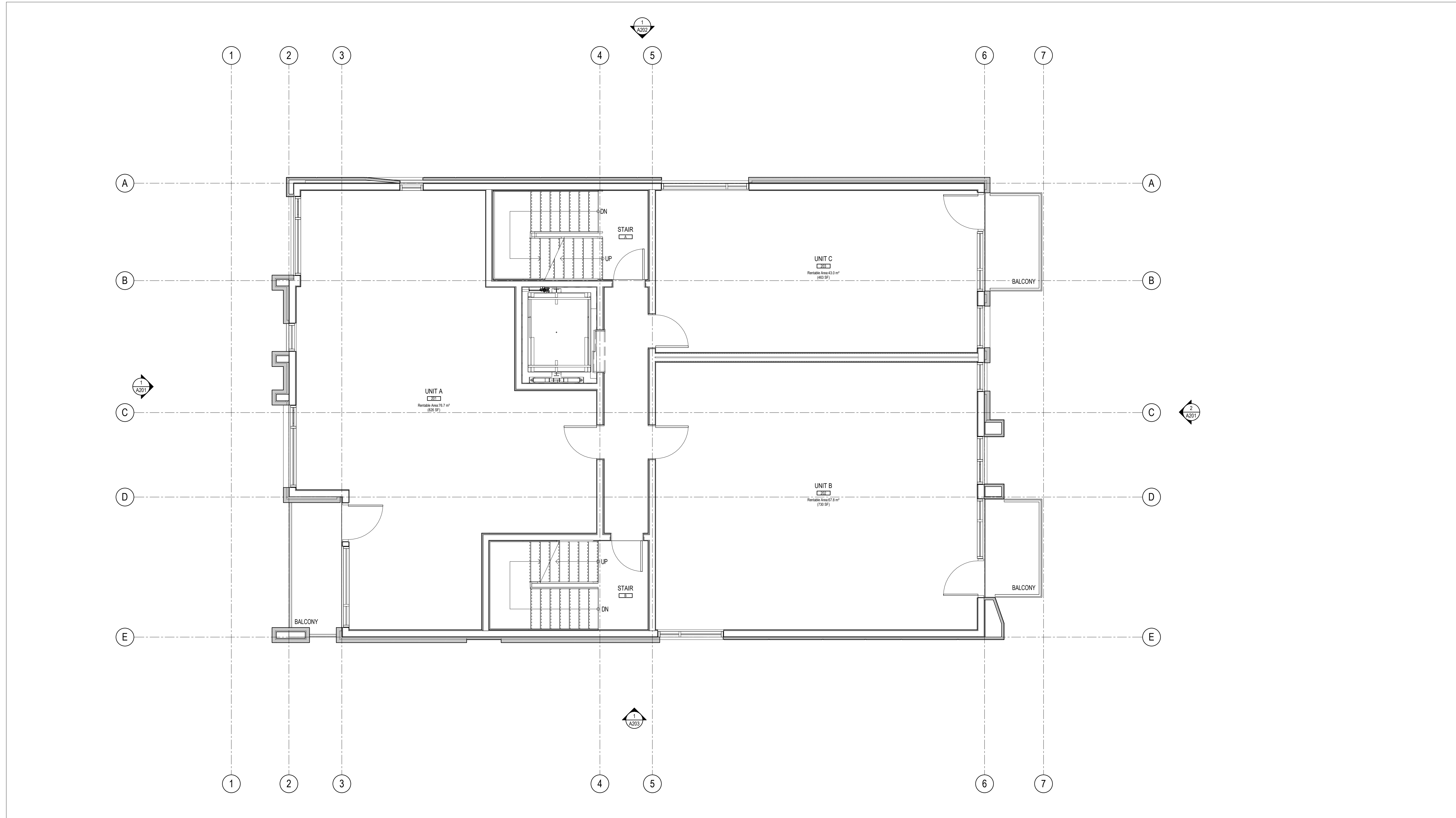
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LEVEL 01 - FLOOR PLAN

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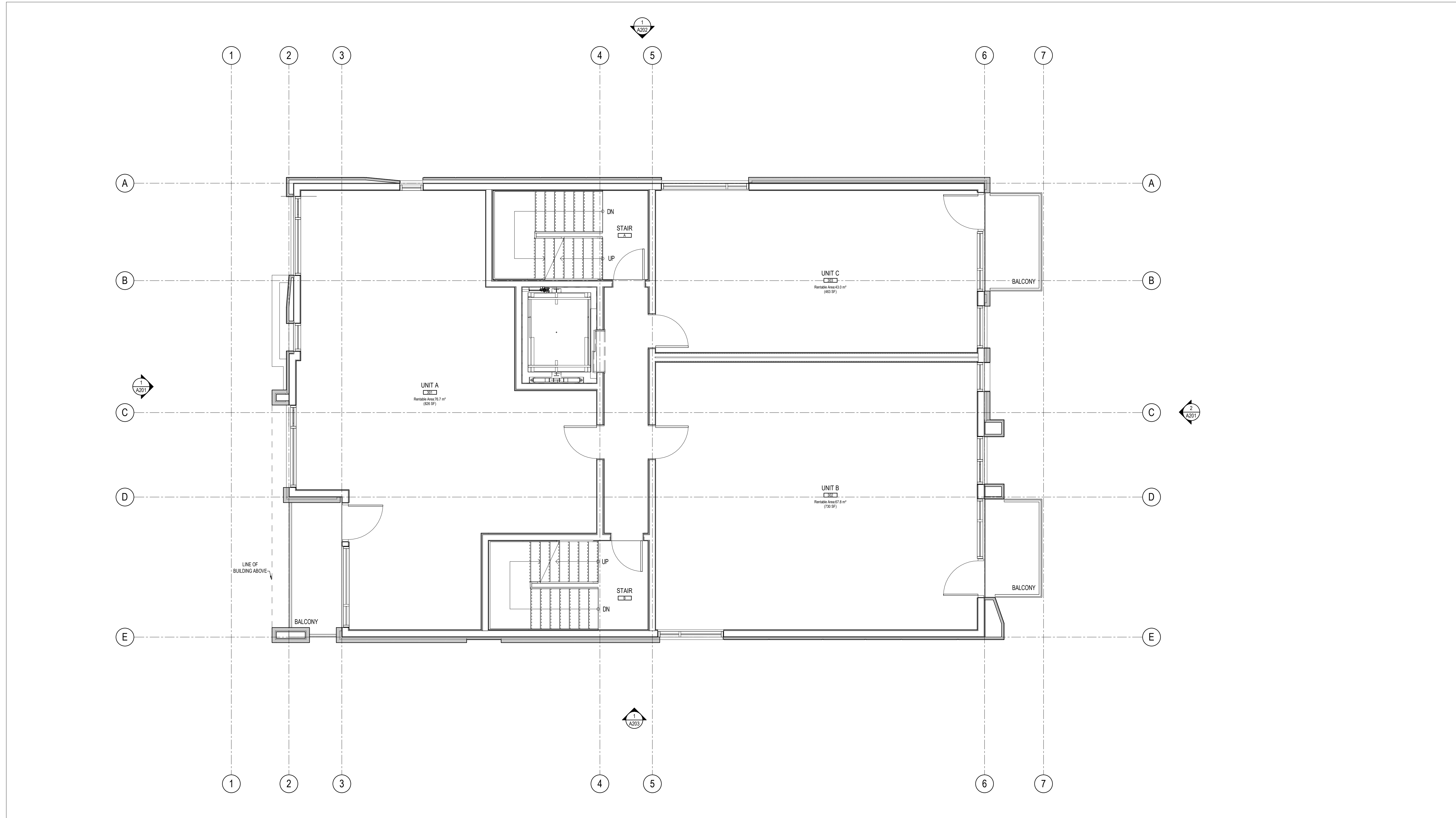
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LEVEL 02 - FLOOR PLAN

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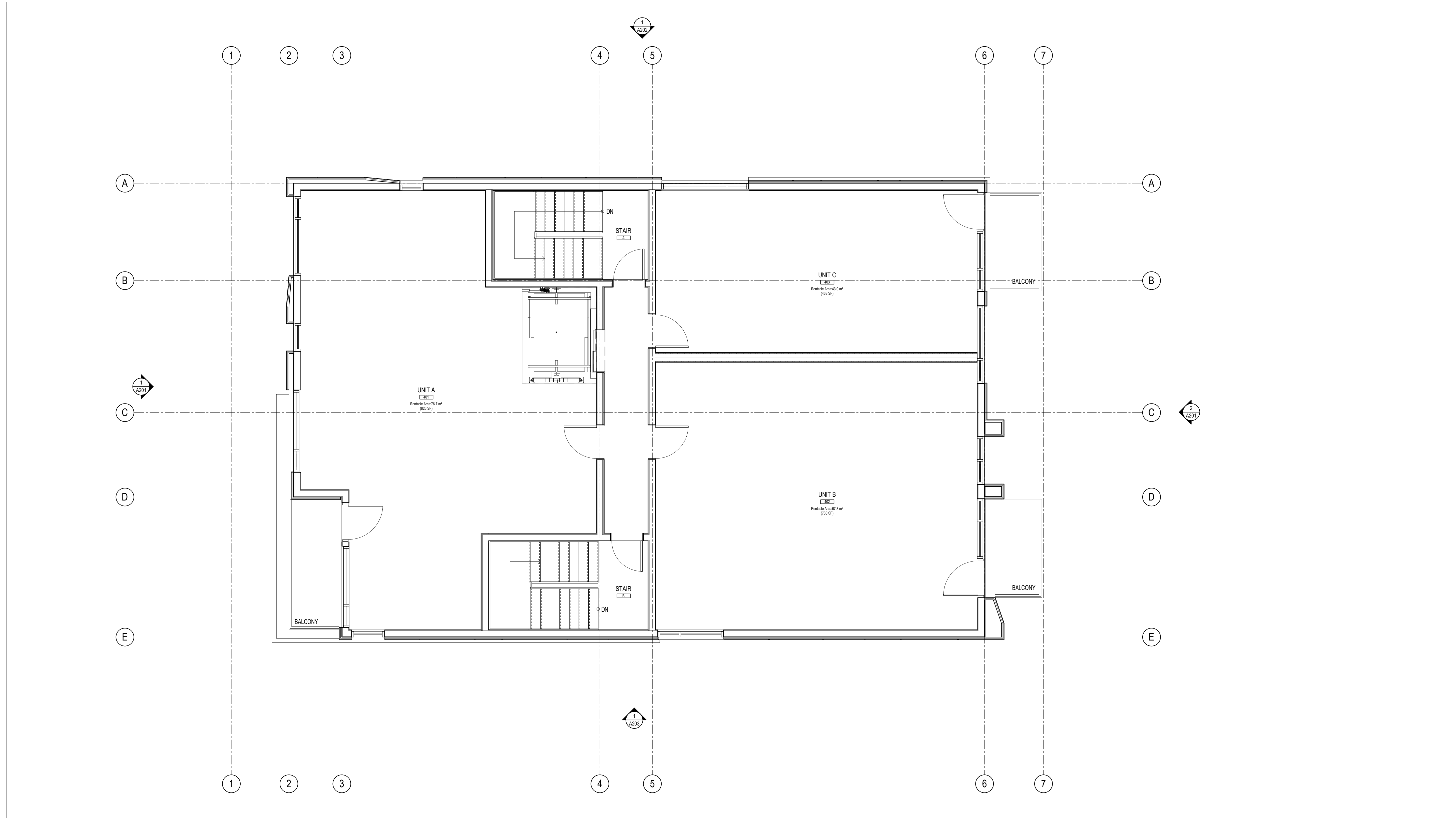
LEVEL 03 - FLOOR PLAN

A103

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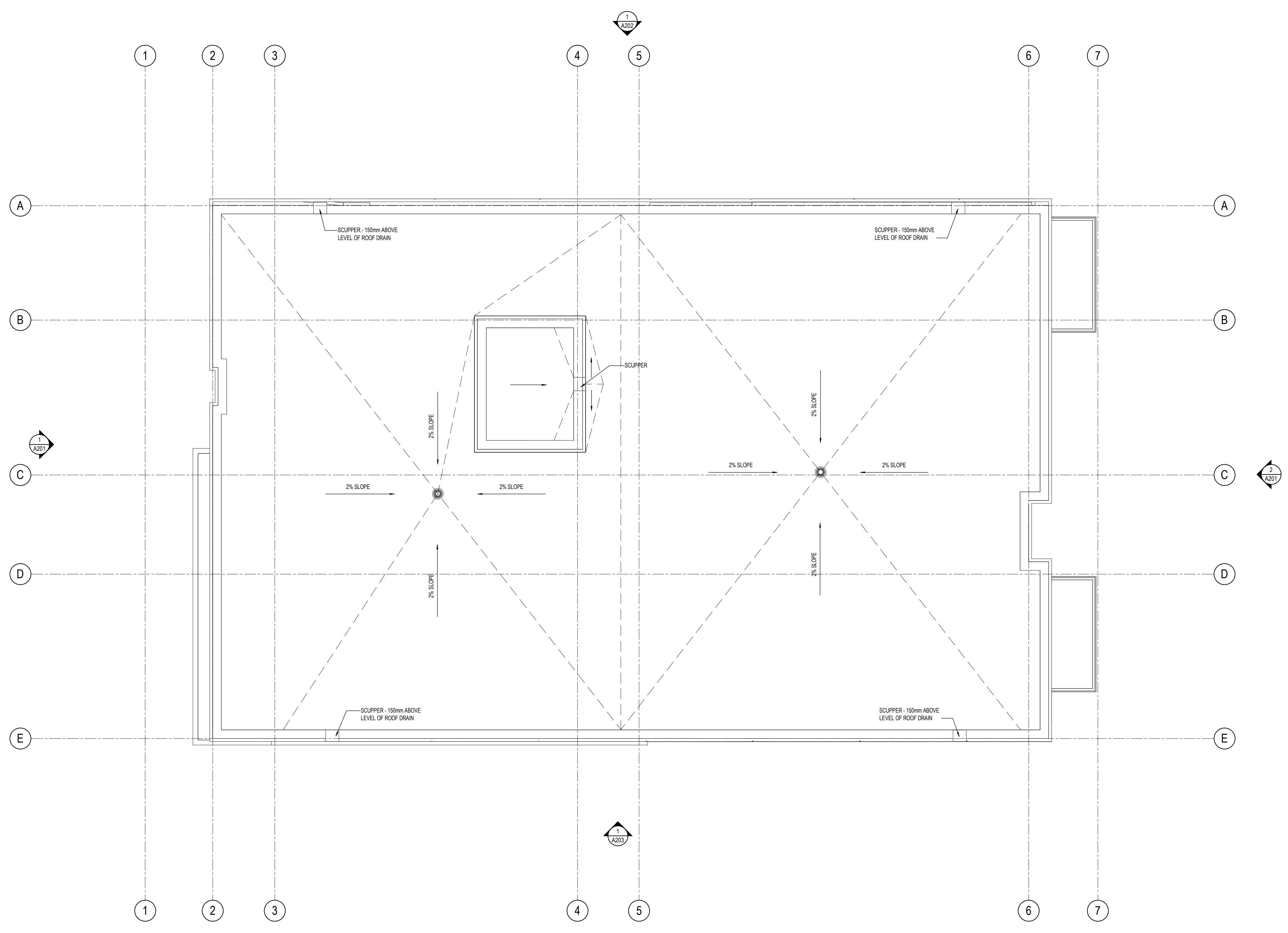
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LEVEL 04 - FLOOR PLAN

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ROOF PLAN

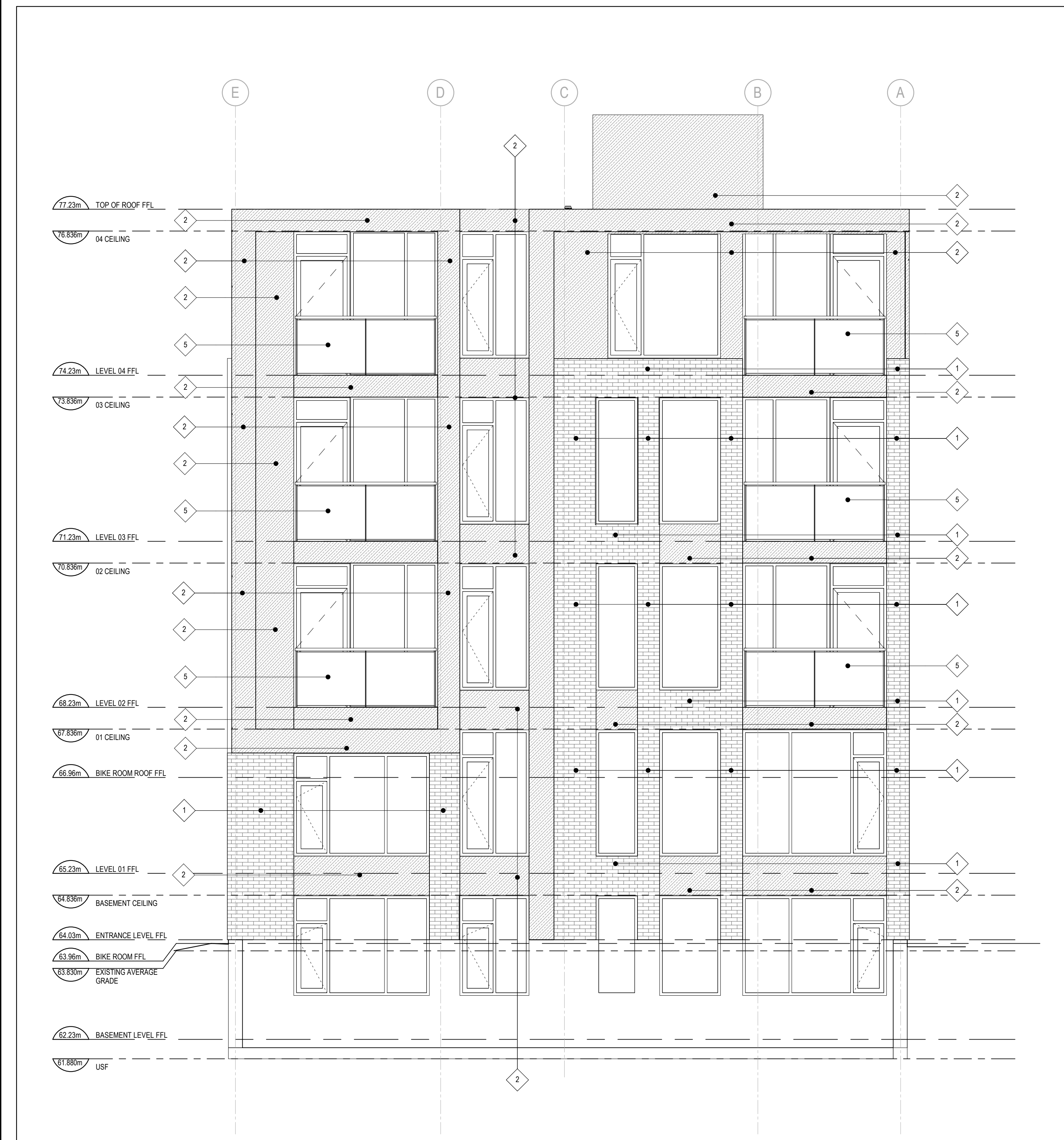
CLADDING LEGEND:

- 1 BRICK
SUPPLIER:
PRODUCT:
COLOUR:
- 2 FIBRE CEMENT PANEL
SUPPLIER:
COLOUR:
- 3 WOOD SIDING
SUPPLIER:
COLOUR:
- 4 POURED CONCRETE
- 5 CLEAR GLASS GUARD

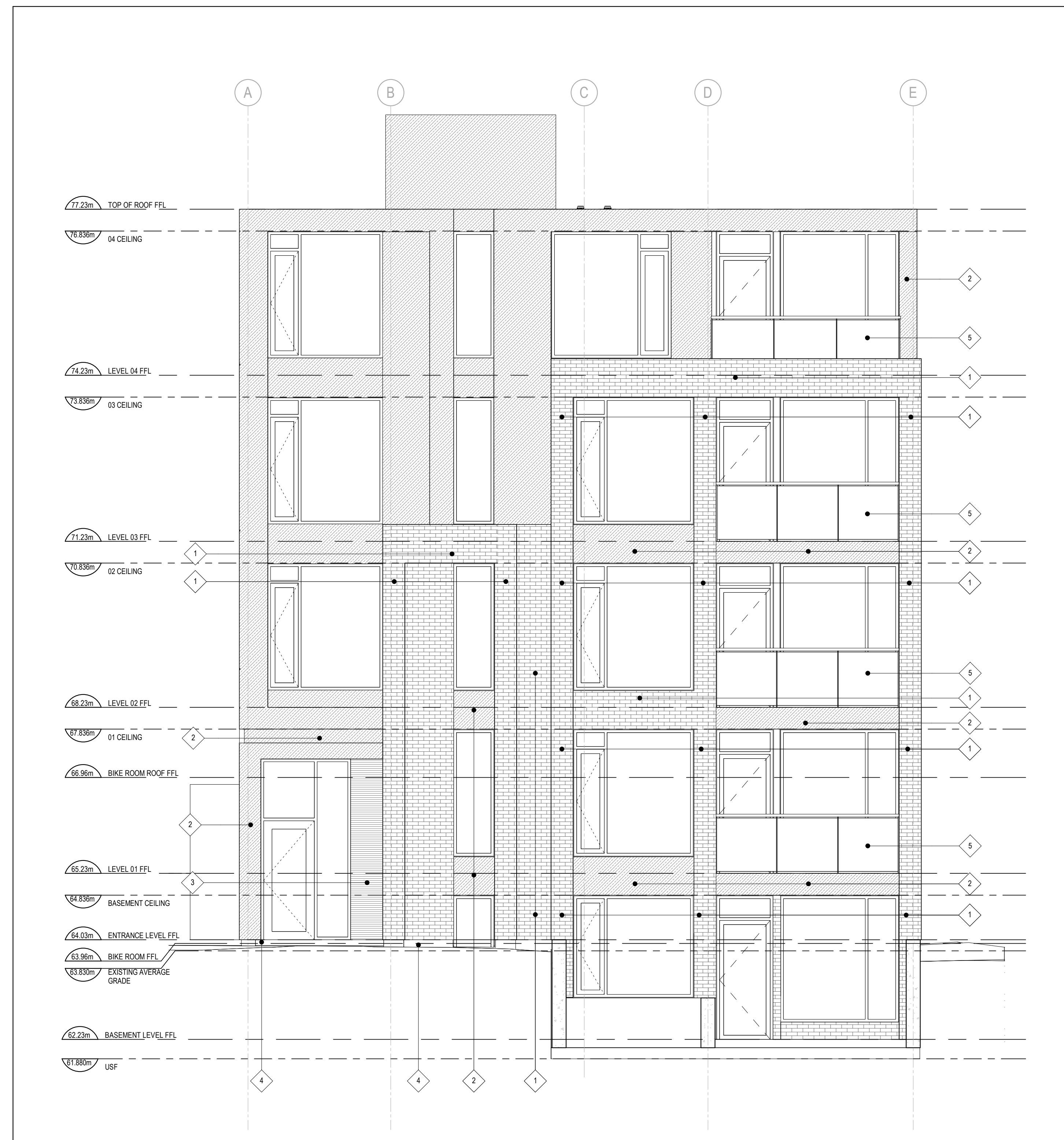
CLADDING LEGEND
SCALE: 1 : 100

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2 EAST ELEVATION
A201 SCALE: 1 : 50



1 WEST ELEVATION
A201 SCALE: 1 : 50

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EAST AND WEST ELEVATIONS

A201

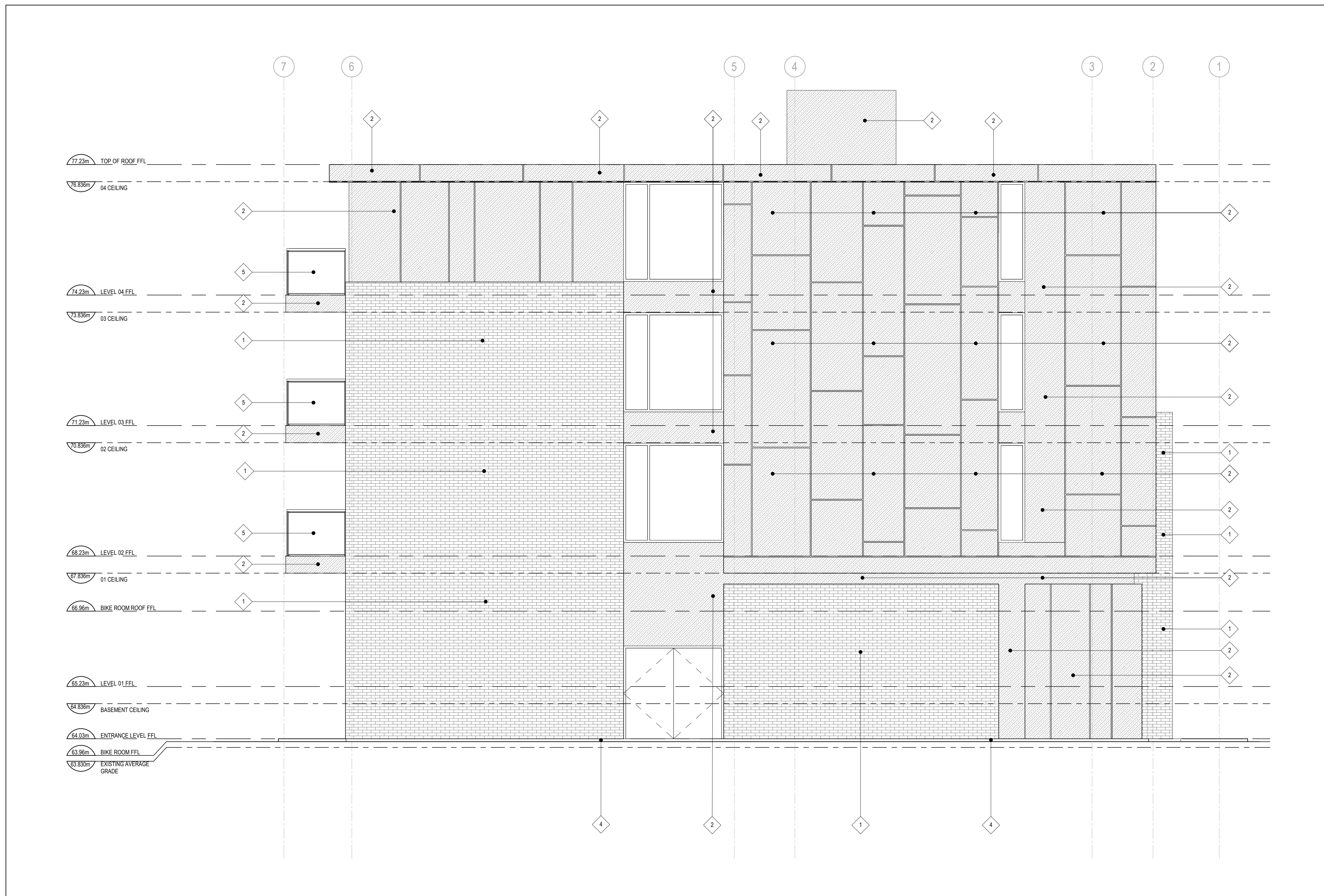
CLADDING LEGEND:

- 1 BRICK
SUPPLIER:
PRODUCT:
COLOUR:
- 2 FIBRE CEMENT PANEL
SUPPLIER:
COLOUR:
- 3 WOOD SIDING
SUPPLIER:
COLOUR:
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1 NORTH ELEVATION
A202 SCALE: 1 : 50

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NORTH ELEVATION

A202

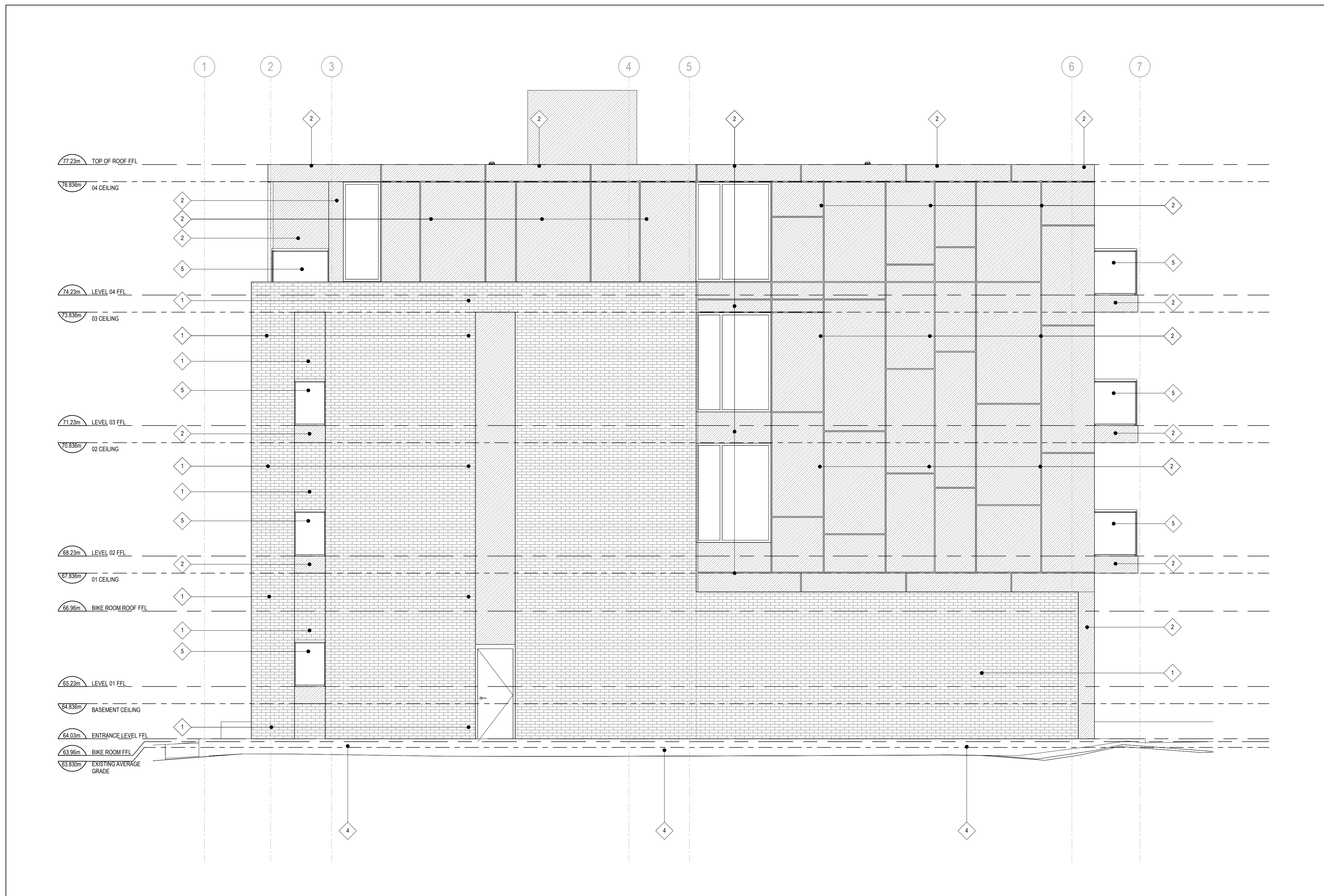
CLADDING LEGEND:

- 1 BRICK
SUPPLIER:
PRODUCT:
COLOUR:
- 2 FIBRE CEMENT PANEL
SUPPLIER:
COLOUR:
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1 SOUTH ELEVATION
A203 SCALE: 1 : 50

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SOUTH ELEVATION

A203