PROJECT NORTH 1. Site Area Ground depressed concrete curbs and sidewalk will be North Tower provided as per city standards 11th - 27th 04115 — NEPEAN South Tower 11th - 25th Subtotal Residential N 59° 03' 30" E 04. Setbacks (m) Building 0.02 (D3)&Meas. 27 STOREY STOREY + MECH. 05. Building Height 650 m2 plate easement on ground only up to 12 feet North Tower R5B [482] F(3.0) South Tower 1,242.43 m2 x 3 = 3,727.29 m2As-of-right G.F.A. = 3,727 m2 10th - 25th 6000 4 STOREY SETBACK Existing as-of-right G.F.A 07. Unit Breakdown 0 m2 + 3,727 m2 = 3,727 m2N 59° 03' 00" E N 59°03' 00" E (P3) & Set 08. Parking 1 STOREY 2996 R5B [482] H37 1,466.97m2 x 0 = 0 m2 As-of-right G.F.A = 0 m29000 SETBACK 10500 SEPARATION DISTANCE 1 A501 STOREY STOREY 287 Lisgar Street 16 storeys 25 STOREY NORTH + MECH. Perck Siled Apparent AL 11000 6 650 m2 plate SEPARATION DISTANCE Total 10. Bicycle Parking 11 STOREY 8500 SETBACK 20.15 (P3)&Set (20.12 P1) ✓ N 59° 02'30" E Balconies residential 4 STOREY KEYPLAN LISGAR STREET approximate centerline asphalt roadway depressed concrete curbs existing and sidewalk will be fire hydrant Approximate location of Relocated parallel parking provided as per city existing parallel parking standards stall marking markings - to be removed

PROJECT STATISTICS May.14.2021 Permitted / Required Proposed 29,164 ft2 0.67 ac 1,125 m2 12,119 ft2 4,323 ft2 6,303 ft2 5,700 ft2 9,003 m2 96,908 ft2 42,308 ft2 5,700 ft2 85,508 ft2 28,965 m2 311,829 ft2 28,965 m2 311,829 ft2 $\begin{aligned} \text{Max F.S.I.} &= 3.0 \\ \text{applicable to R5B [482] F(3.0)} \end{aligned}$ North Tower, 1.0 m below 4th floor 2.0 m above 4th floor (front setback) minimum 3.0 m from the original centreline of a lane South Tower, 0.0 m below 2nd floor 6.0 m above 2nd floor (rear setback) (i) if located within 21 m of the front lot line, minimum North Tower, 1.5 m (side setback) (ii) if located further than 21 m from the front lot line, South Tower, 1.5 m below 10th floor minimum 6.0 m setback 9.0 m above 10th floor (side setback) North Tower, 3.0 m (rear setback) minimum 3.0 m from the original centreline of a lane | South Tower, 1.0 m below 4th floor m above 4th floor (front setback) (i) if located within 21 m of the front lot line, minimum North Tower, 3.0 m below 10th floor 1.5 m setback 7.5 m above 10th floor (side setback) (ii) if located further than 21 m from the front lot line, South Tower, 1.5 m below 10th m above 10th (side setback) minimum 6.0 m setback North Tower: 27 storey - 90.0m + 6 m mech. Max Building Height = 37 m South Tower: 25 story - 83.5m + 6 m mech. applicable to R5B [482] H(37) (from ground floor to top of roof) 0.5 Spaces/Unit = 463 x 0.5 - 20 = 212 not including first 12 units P2 = 41 of which 11 are visitor spaces P1 = 31 of which 19 are visitor spaces Resident: 0.5 Space/Unit ection 101(6)(c)(i), a reduction of 20 spaces may apply ection 102 (3) Minimum Visitor Parking = 30 Spaces 09. Amenity Space (m2)
Indoor (Communal) 4th= 43 m2 4th= 49 m2 Subtotal = 540 m2 4th= 306 m2 Subtotal = 306 m2 Outdoor (Communal) Outdoor (Private) 2nd = 32 m2 4th= 39 m2 5th - 9th= 391 m2 10th= 171 m2 Typical= 1,150 m2 6 m2/Unit = 2,850 m2 5th - 9th = 516 m2 10th = 408 m2 Typical = 1,015 m2 Subtotal = 4,058 m2 2,850 m2 4,904 m2

0.5 Spaces/Unit = 475 x 0.5 = 238

Ground= 60 Subtotal = 473

ZONING KEYPLAN

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

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01. NOV.06.2020 ISSUED FOR SPA SUBMISSION

02. MAR.15.2020 ISSUED FOR SPA RESUBMISSION

03. MAY.14.2021 ISSUED FOR SPA RESUBMISSION

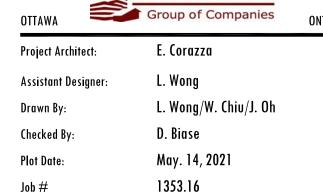
APPROVED ☑ REFUSED □

THIS 1st DAY OF November, 2021

ERIN O'CONNELL, MCIP, RPP, MANAGER (A) DEVELOPMENT REVIEW, WEST PLANNING, INFRASTRUCTURE AND ECONOMIC **DEVELOPMENT DEPARTMENT, CITY OF OTTAWA**



176 Nepean & 293-307 Lisgar



SITE PLAN & STATISTICS





TITLEBLOCK SIZE: 610 x 950