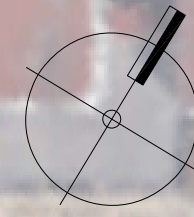


PROJECT NORTH



GLOUCESTER STREET

NEPEAN STREET

LISGAR STREET

COOPER STREET

BANK STREET

O'CONNOR STREET

GENERAL NOTES

1. For landscaping, refer to landscape drawings.
2. For proposed grading, refer to landscape drawings.
3. All perimeter existing information indicated taken from survey.
4. All work to be done in conformance with the 2012 Ontario Building Code. [O.B.C., as amended]
5. Land to be conveyed to the city free and clear of all encumbrances of a nominal cost for lane widening purposes of no expense to the city.

SURVEY INFORMATION

TOPOGRAPHICAL PLAN OF SURVEY OF
 LOTS 37, PART OF LOT 36 AND 38
 (SOUTH NEPEAN STREET)
 AND
 LOTS OF 37, 38 AND PART OF LOT 39
 (NORTH LISGAR STREET)
 REGISTERED PLAN 2996
 CITY OF OTTAWA

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 ONTARIO LAND SURVEYOR
 SUITE 500
 14 CONCORSE GATE
 NEPEAN, ONTARIO
 K2E 7S6
 TEL. (613) 727-0850
 FAX. (613) 727-1079

DATE: MAY 25, 2016

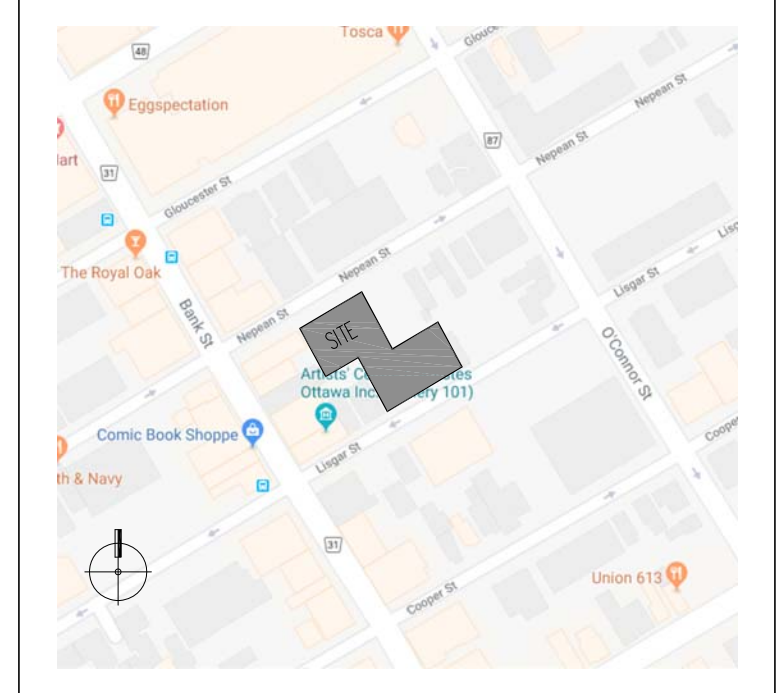
LIST OF DRAWINGS

A101	CONTEXT PLAN	1:600
A102	SITE PLAN & STATISTICS	1:200
A201	UNDERGROUND PLANS	1:200
A202	UNDERGROUND PLANS	1:200
A301	GROUND - 2ND FLOOR PLANS	1:200
A302	3RD - 4TH FLOOR PLANS	1:200
A303	SOUTH TOWER FLOOR PLANS	1:200
A304	NORTH TOWER FLOOR PLANS	1:200
A305	ROOF PLAN	1:200
A401	NEPEAN & LISGAR - NORTH ELEVATIONS	1:200
A402	NEPEAN & LISGAR - SOUTH ELEVATIONS	1:200
A403	NEPEAN & LISGAR - EAST & WEST ELEVATIONS	1:200
A501	NEPEAN & LISGAR - SECTIONS	1:200
A801	SHADOW STUDIES - SEPTEMBER/MARCH	N.T.S.
A802	SHADOW STUDIES - SEPTEMBER/MARCH	N.T.S.
A803	SHADOW STUDIES - JUNE	N.T.S.
A804	SHADOW STUDIES - JUNE	N.T.S.
A805	SHADOW STUDIES - DECEMBER	N.T.S.

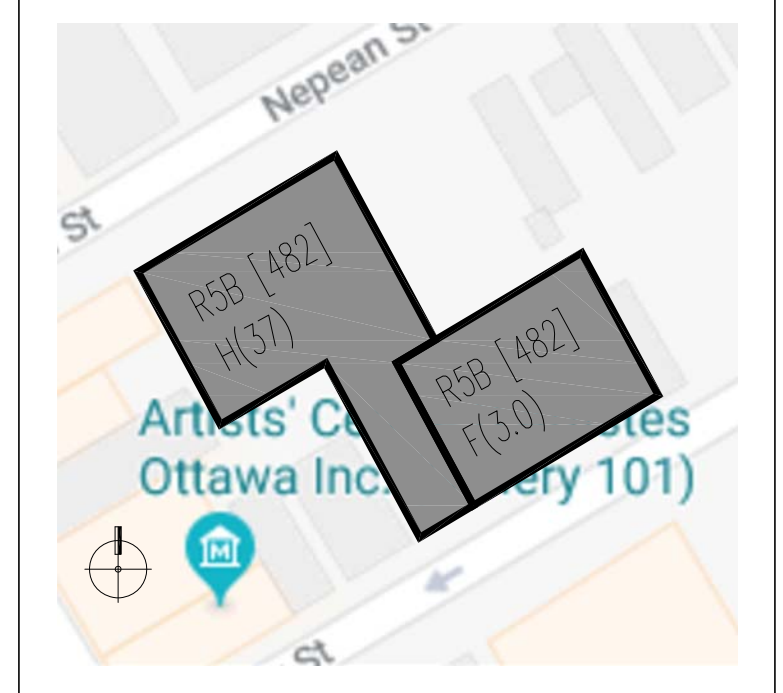
NOTE

Snow will be hauled off-site.

KEYPLAN



KEYPLAN



This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:

1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.

issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shawson Drive, Suite 100, Mississauga, Ontario L4W 1C3
 Phone: 905.795.2801 Fax: 905.795.2844 www.gca-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

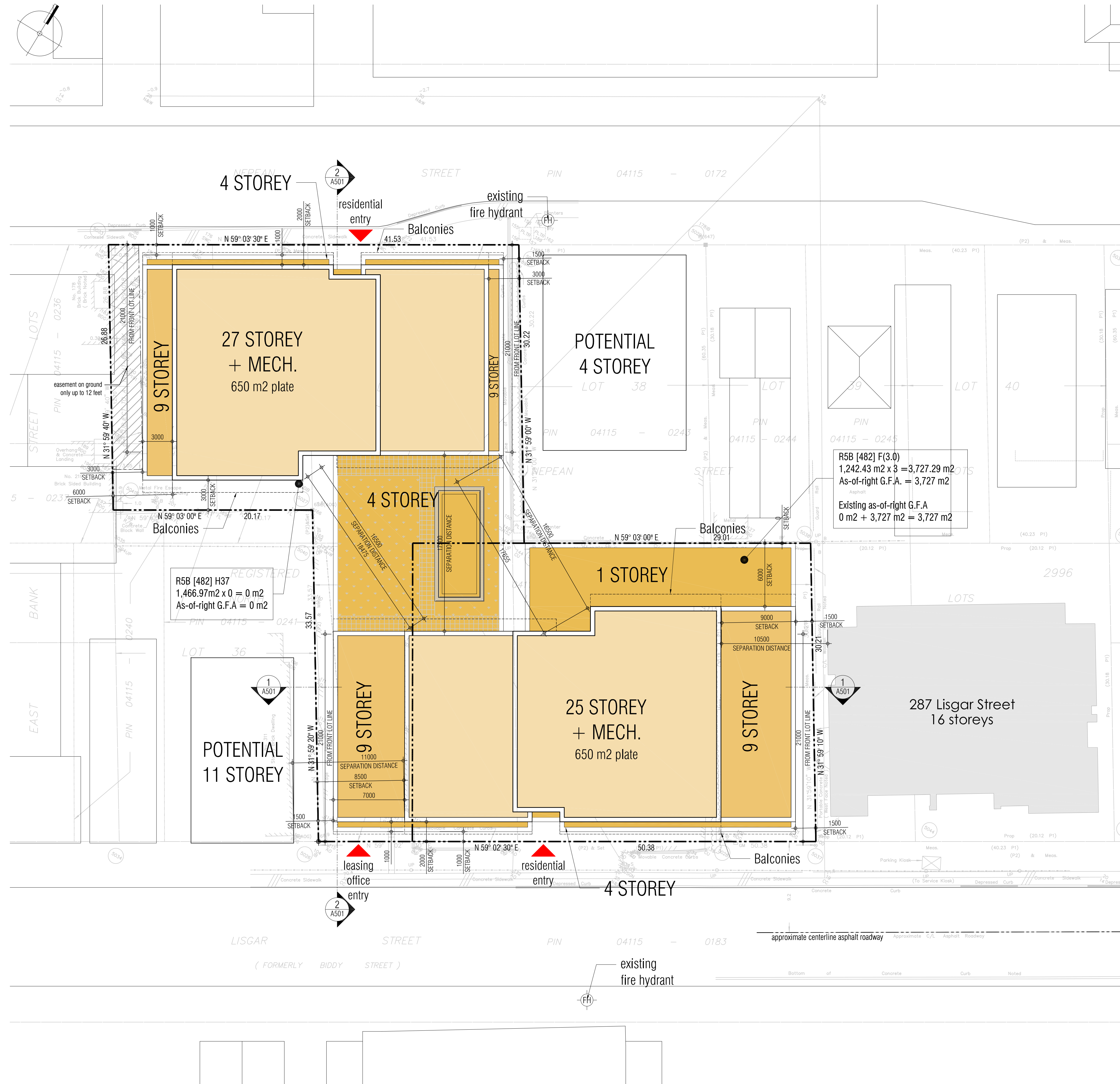
RICH CRAFT
 Group of Companies

Project Architect: E. Corazza
 Assistant Designer: L. Wong
 Drawn By: L. Wong/W. Chiu/J. Oh
 Checked By: D. Biese
 Plot Date: Nov. 6, 2020
 Job #: 1353.16

CONTEXT PLAN

1:600 A101

TITLEBLOCK SIZE: 610 x 950



PROJECT STATISTICS		Nov.06.2020	
	Permitted / Required	Proposed	
01. Site Area		2,709 m ²	0.27 ha
		29,164 ft ²	0.67 ac
02. G.F.A.			
Ground		767 m ²	8,239 ft ²
3rd		1,111 m ²	11,963 ft ²
North Tower			
2nd		398 m ²	4,289 ft ²
4th		592 m ²	6,380 ft ²
5th - 9th		3,084 m ²	33,200 ft ²
10th		529 m ²	5,702 ft ²
11th - 27th		9,008 m ²	96,968 ft ²
South Tower			
2nd		502 m ²	5,413 ft ²
4th		763 m ²	8,214 ft ²
5th - 9th		3,930 m ²	42,308 ft ²
10th		529 m ²	5,702 ft ²
11th - 25th		7,948 m ²	85,560 ft ²
Subtotal		29,161 m ²	313,958 ft ²
Total		29,161 m²	313,958 ft²
03. F.S.I			
Residential	Max F.S.I. = 3.0		10.8
Total			10.8
04. Setbacks (m)			
North	minimum 3.0 m from the original centreline of a lane	North Tower, 1.0 m below 4th floor 2.0 m above 4th floor (front setback)	
East	(i) if located within 21 m of the front lot line, minimum 1.5 m setback (ii) if located further than 21 m from the front lot line, minimum 6.0 m setback	South Tower, 0.0 m below 2nd floor 6.0 m above 2nd floor (rear setback)	North Tower, 1.5 m (side setback)
South	minimum 3.0 m from the original centreline of a lane	South Tower, 1.5 m below 10th floor 9.0 m above 10th floor (side setback)	North Tower, 3.0 m (rear setback)
West	(i) if located within 21 m of the front lot line, minimum 1.5 m setback (ii) if located further than 21 m from the front lot line, minimum 6.0 m setback	North Tower, 3.0 m below 10th floor 7.5 m above 10th floor (side setback)	South Tower, 1.5 m below 10th 8.5 m above 10th (side setback)
05. Building Height	Max Building Height = 37 m applicable to R5B [482] H(37)	North Tower: 27 storey - 90.0m + 6 m mech. South Tower: 25 storey - 83.5m + 6 m mech. (from ground floor to top of roof)	
06. Unit Count			
Ground		0	
3rd		18	
North Tower			
2nd		7	
4th		10	
5th - 9th		55	
10th - 27th		180	
South Tower			
2nd		8	
4th		13	
5th - 9th		70	
10th - 25th		160	
Total		521	
07. Unit Breakdown			
Studio		133	26%
1 Bedroom		234	45%
2 Bedroom		148	28%
3 Bedroom		5	1%
Total		521	100%
08. Parking	0.5 Spaces/Unit = 509 x 0.5 = 255 not including first 12 units Section 10(16)(c)(i), a reduction of 20 spaces may apply Section 102 (3) Minimum Visitor Parking = 30 Spaces	P2 - P6 = 0 P1 = 0 Ground = 0 30 visitor spaces provided	
Total		265	
09. Amenity Space (m²)			
Indoor (Communal)			
North		3rd = 465 m ²	
South		4th = 40 m ²	
		4th = 46 m ²	
		Subtotal = 551 m ²	
Outdoor (Communal)			
		4th = 306 m ²	
		Subtotal = 306 m ²	
Outdoor (Private)			
North		3rd = 86 m ²	
South		2nd = 32 m ²	
		4th = 39 m ²	
		5th - 9th = 391 m ²	
		10th = 169 m ²	
		Typical = 1,152 m ²	
		Subtotal = 1,315 m ²	
		Subtotal = 4,052 m ²	
Total		3,126 m²	4,909 m²
10. Bicycle Parking			
Residential	0.5 Spaces/Unit = 521 x 0.5 = 261	P2 - P6 = 385 P1 = 25 Ground = 60	
Total		261	470

This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:

- Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
- Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.

issued for revisions

ONTARIO ASSOCIATION OF ARCHITECTS
ENZO M. CORAZZA
LICENCE 4702

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shawan Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.795.2801 Fax: 905.795.2844

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

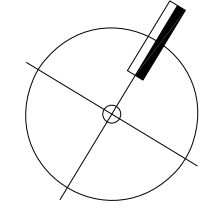
OTTAWA ONTARIO

Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biose
Plot Date: Nov. 6, 2020
Job #: 1353.16

SITE PLAN & STATISTICS

1:200 A102

TITLE BLOCK SIZE: 610 x 950



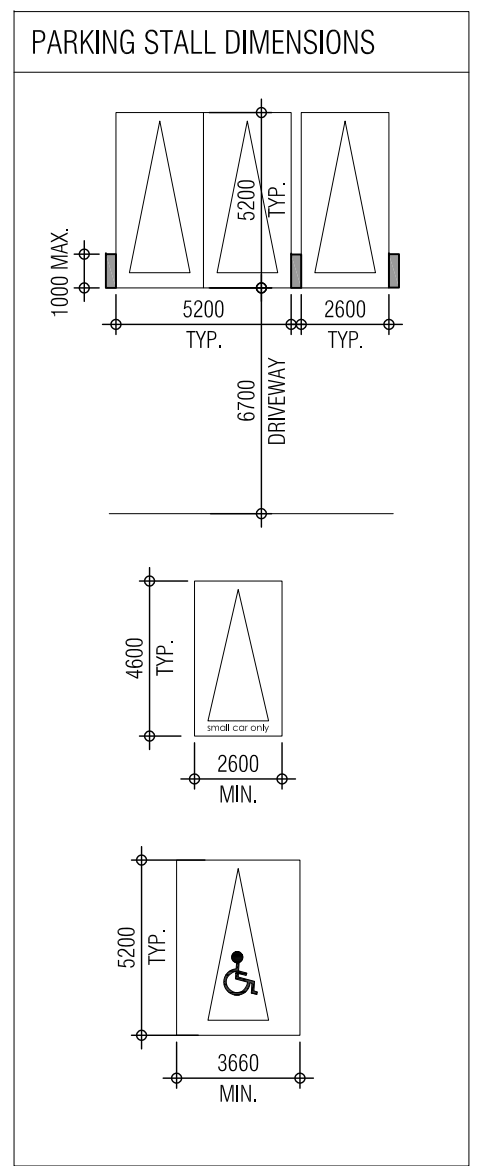
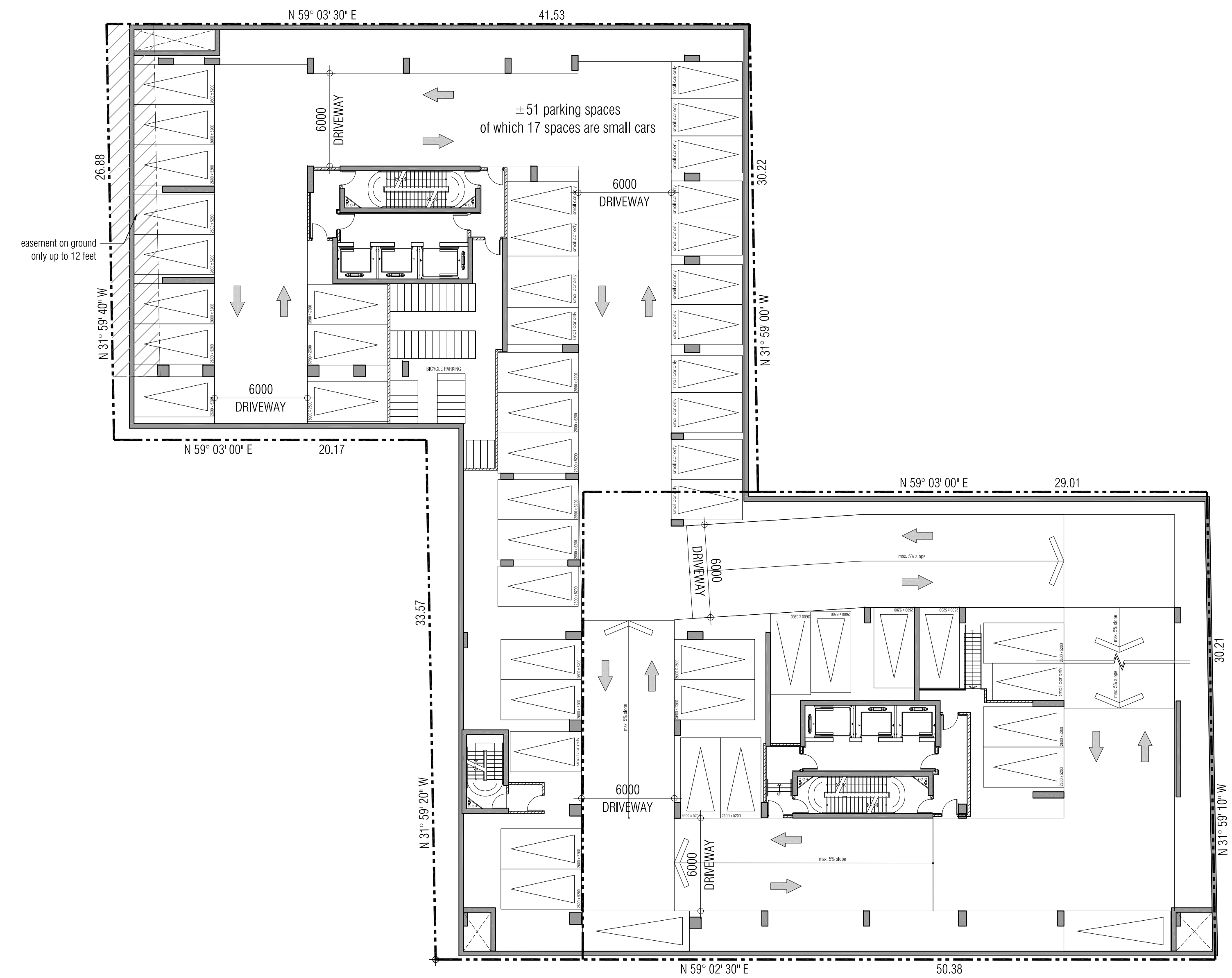
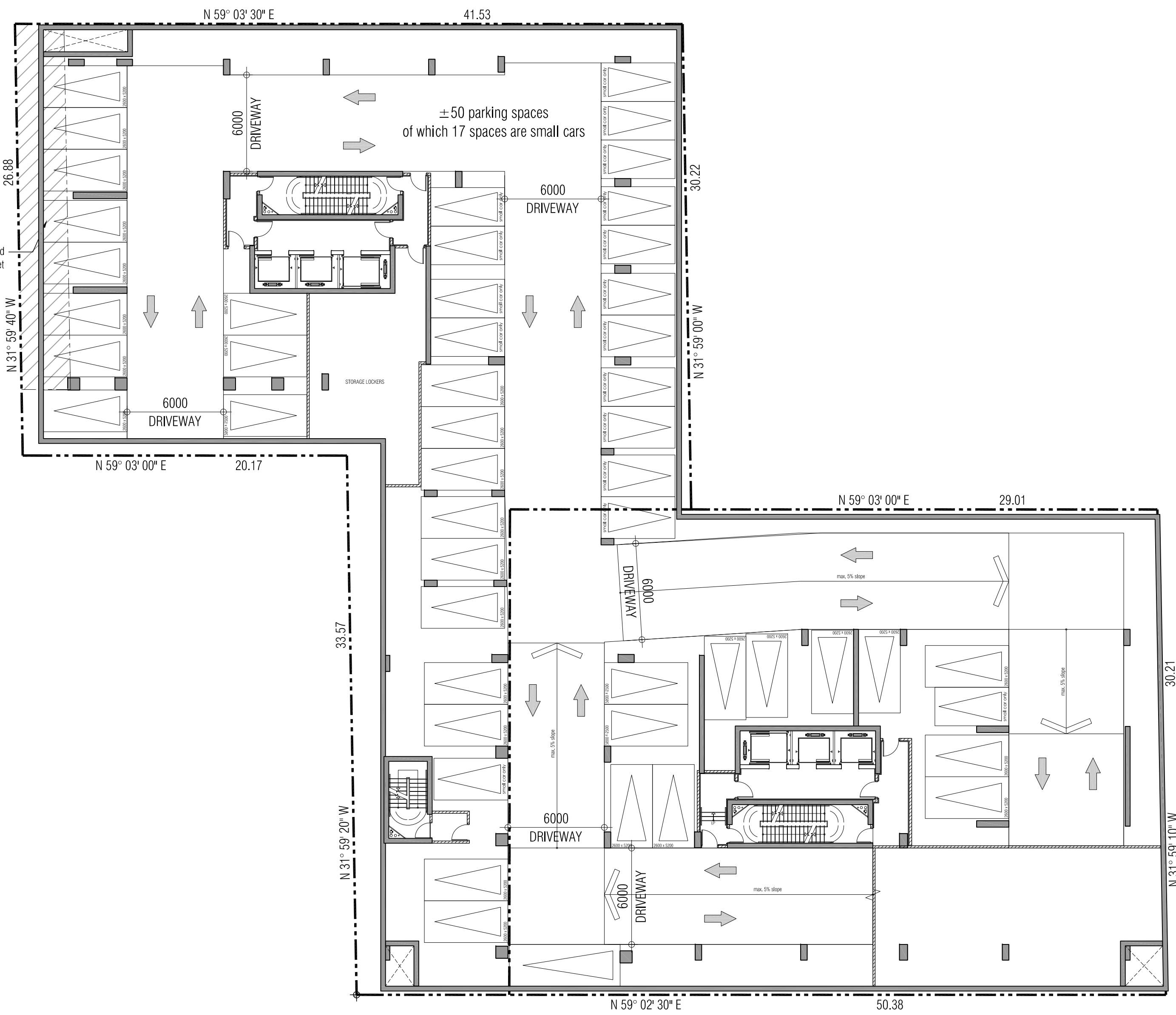
This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site. This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

- Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
 2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shawson Drive, Phone: 905.795.2801

Suite 100, Mississauga, Ontario, Fax: 905.795.2844

www.gc-architects.com

ENZO M. CORAZZA LICENCE 4702

ONTARIO ASSOCIATION OF ARCHITECTS

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

RICHCRAFT
Group of Companies

OTTAWA ONTARIO

Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biase
Plot Date: Nov. 6, 2020
Job #: 1353.16

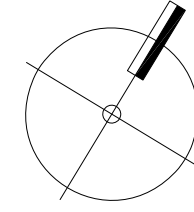
UNDERGROUND FLOOR PLANS

P6 - Underground Floor Plan **1**
SCALE - 1:200 A201

P3 - P5 - Underground Floor Plan **2**
SCALE - 1:200 A201

1:200 **A201**

TITLEBLOCK SIZE: 610 x 950



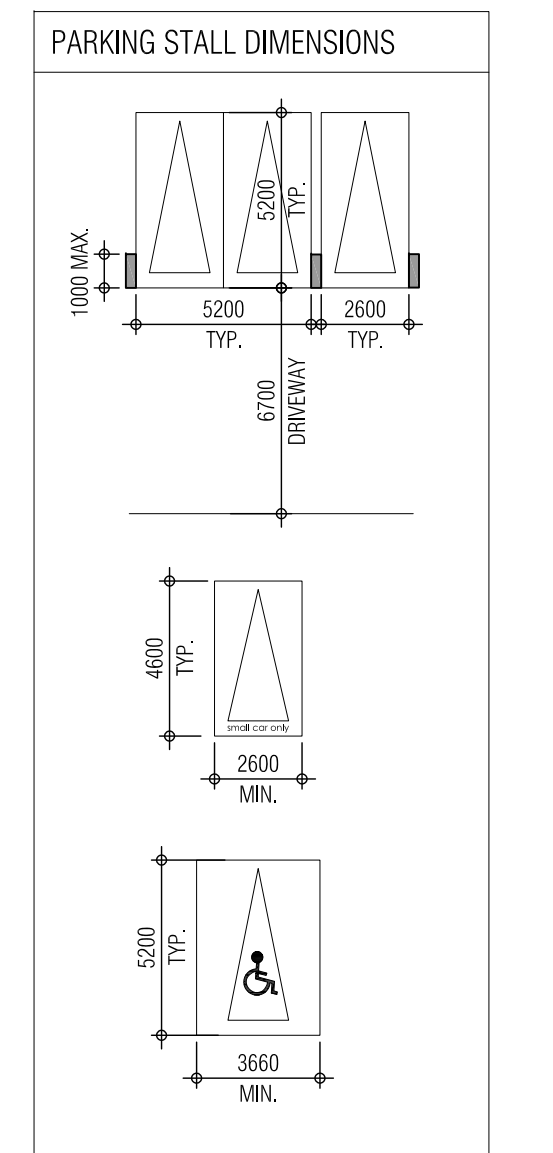
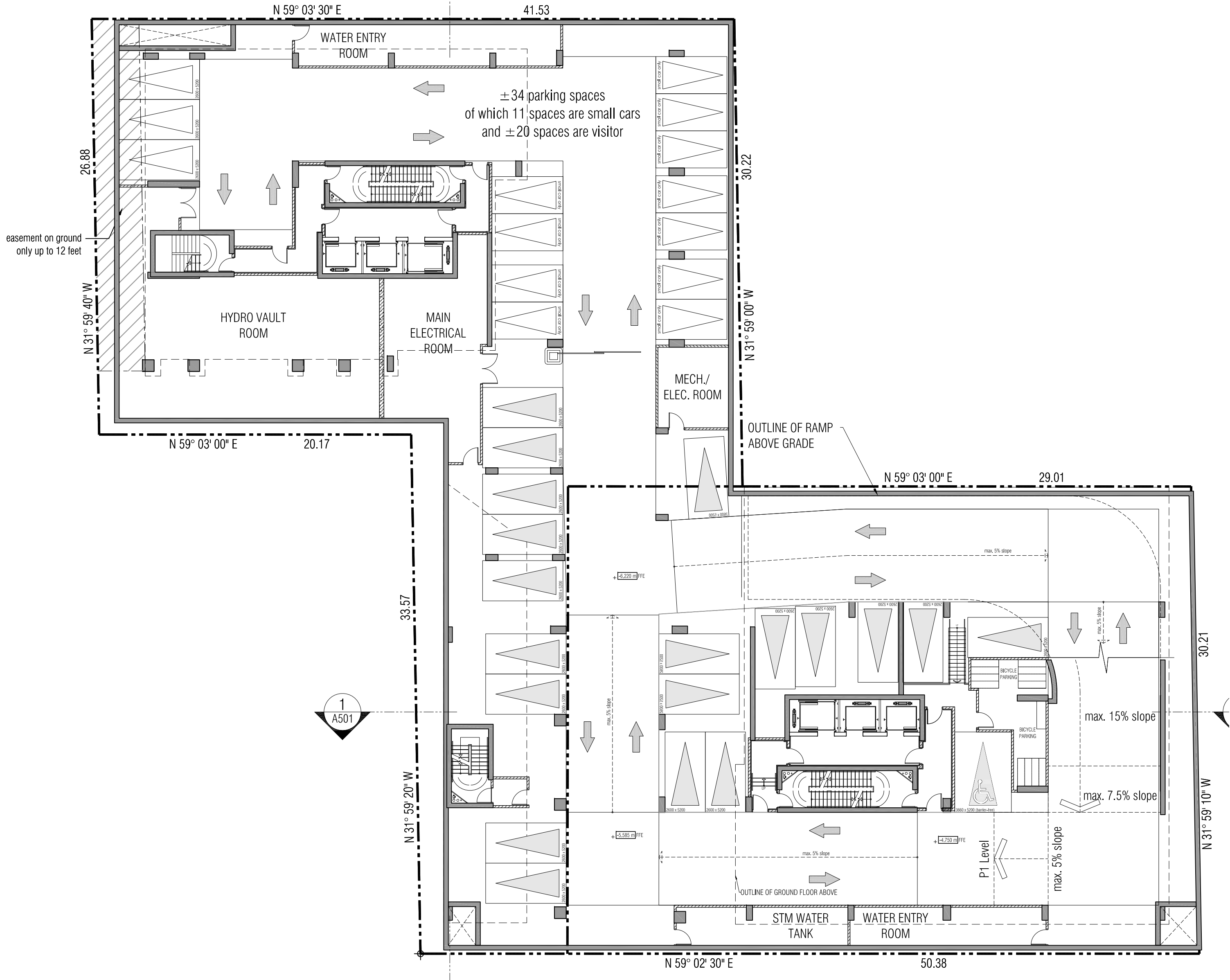
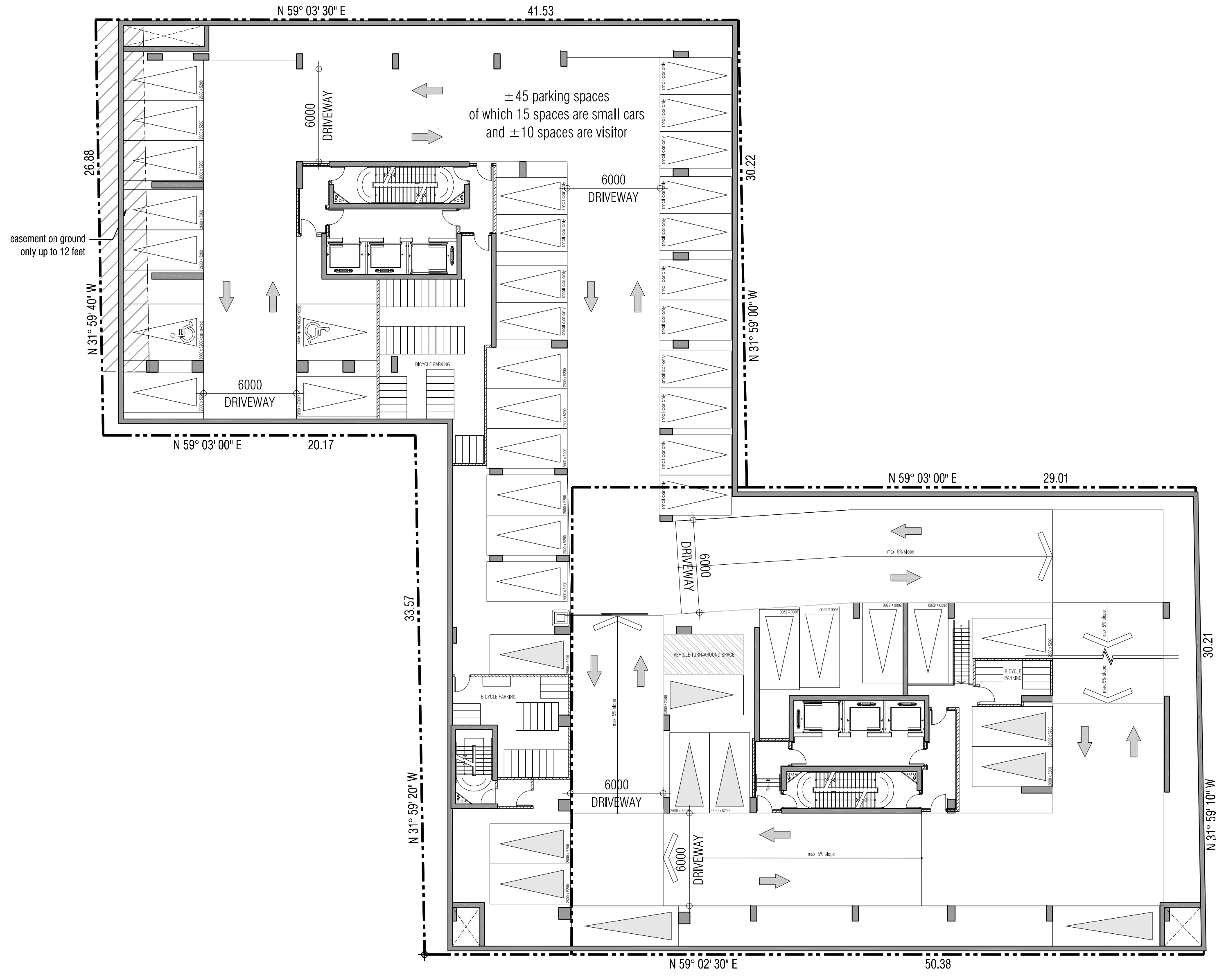
This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site. This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

- Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
 2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shawson Drive, Ottawa, Ontario
Phone: 905.795.2801

Suite 100, Mississauga, Ontario
Fax: 905.795.2844

www.gc-architects.com

ENZO M. CORAZZA
LICENCE 4702

ONTARIO ASSOCIATION OF ARCHITECTS

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

RICH CRAFT
Group of Companies

OTTAWA ONTARIO

Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biase
Plot Date: Nov. 6, 2020
Job #: 1353.16

UNDERGROUND FLOOR PLANS

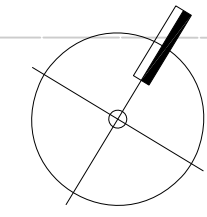
P2 - Underground Floor Plan **1**
SCALE - 1:200 A202

P1 - Underground Floor Plan **2**
SCALE - 1:200 A202

1:200 A202

TITLEBLOCK SIZE: 610 x 950

PROJECT NORTH



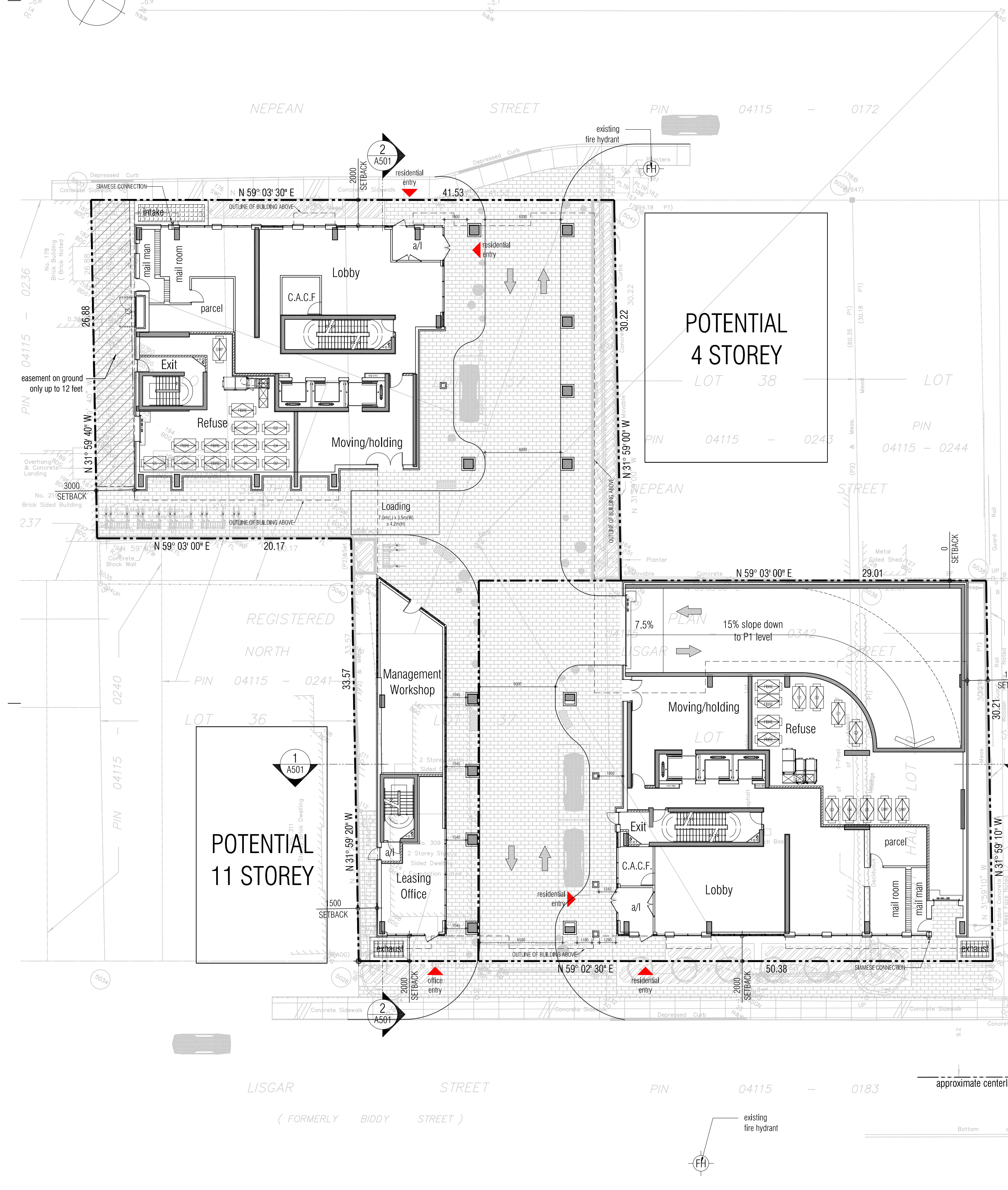
This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site. This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

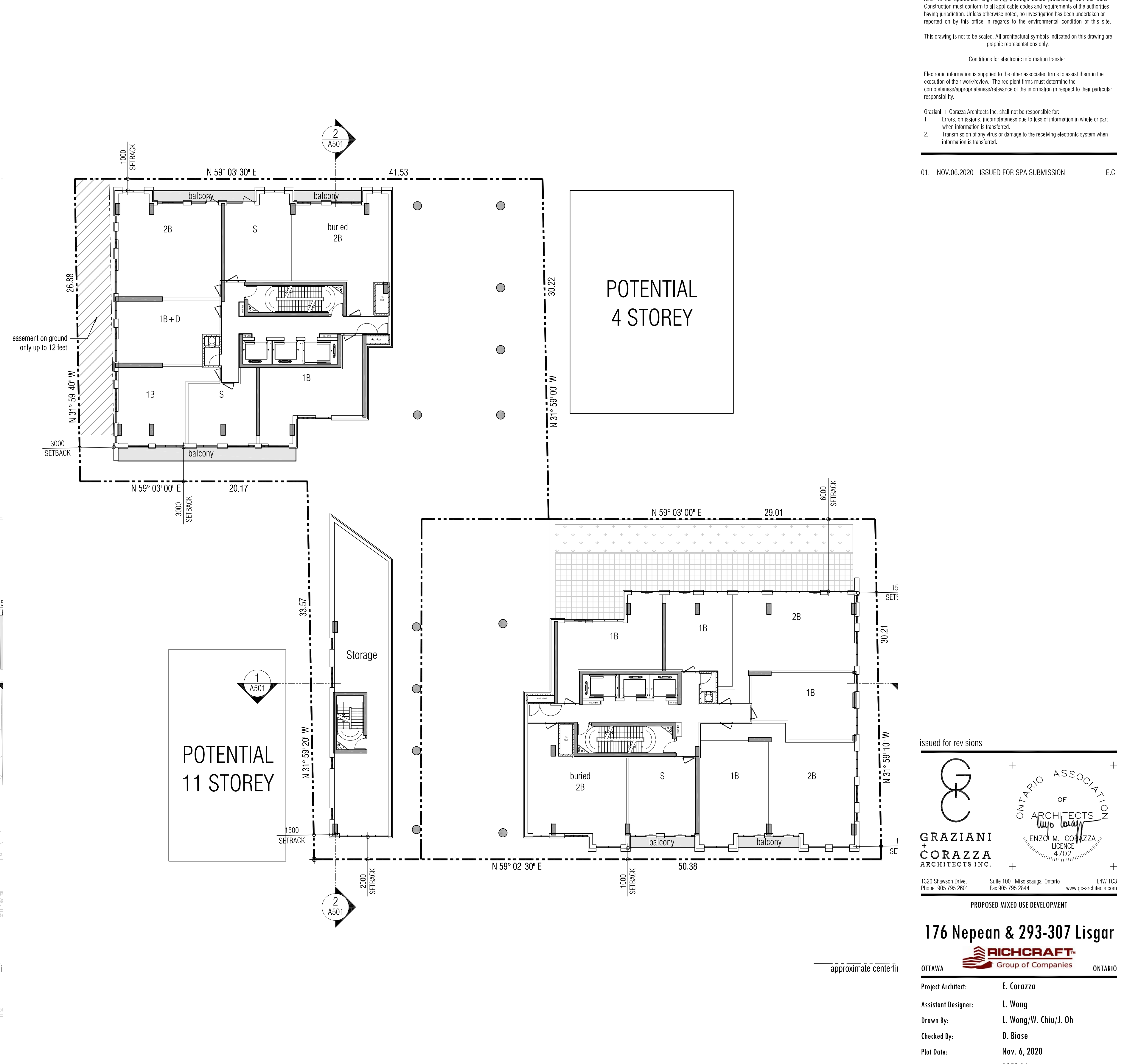
Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

- Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
 2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



Ground Floor Plan 1 SCALE - 1:200 A301



2nd Floor Plan 2 SCALE - 1:200 A301

issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shawson Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.795.2801 Fax: 905.795.2844 www.go-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

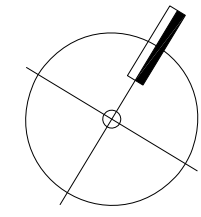
RICHCRAFT Group of Companies

Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biase
Plot Date: Nov. 6, 2020
Job #: 1353.16

GROUND & 2ND FLOOR PLANS

1:200 A301

TITLE BLOCK SIZE: 610 x 950



This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site.

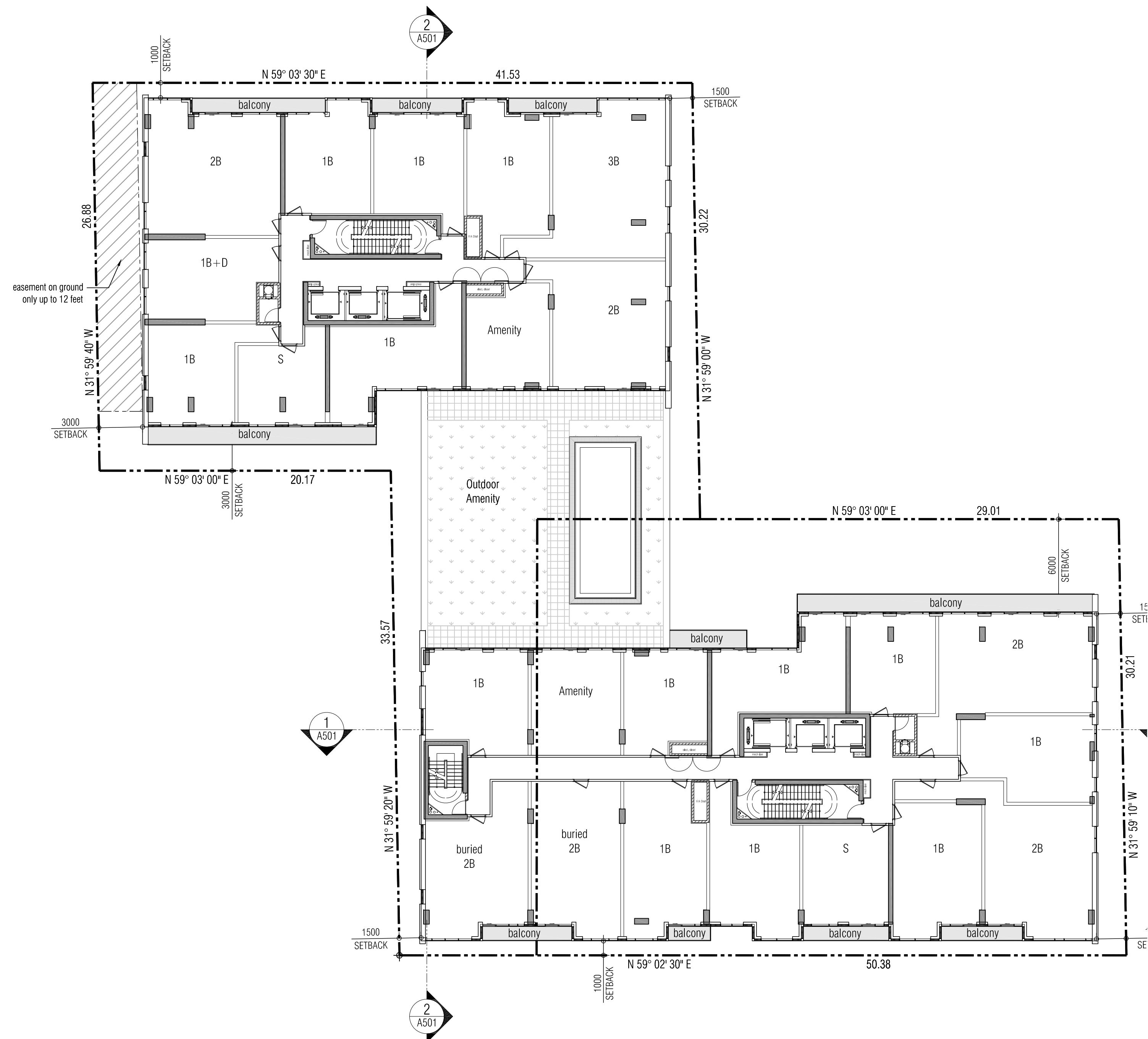
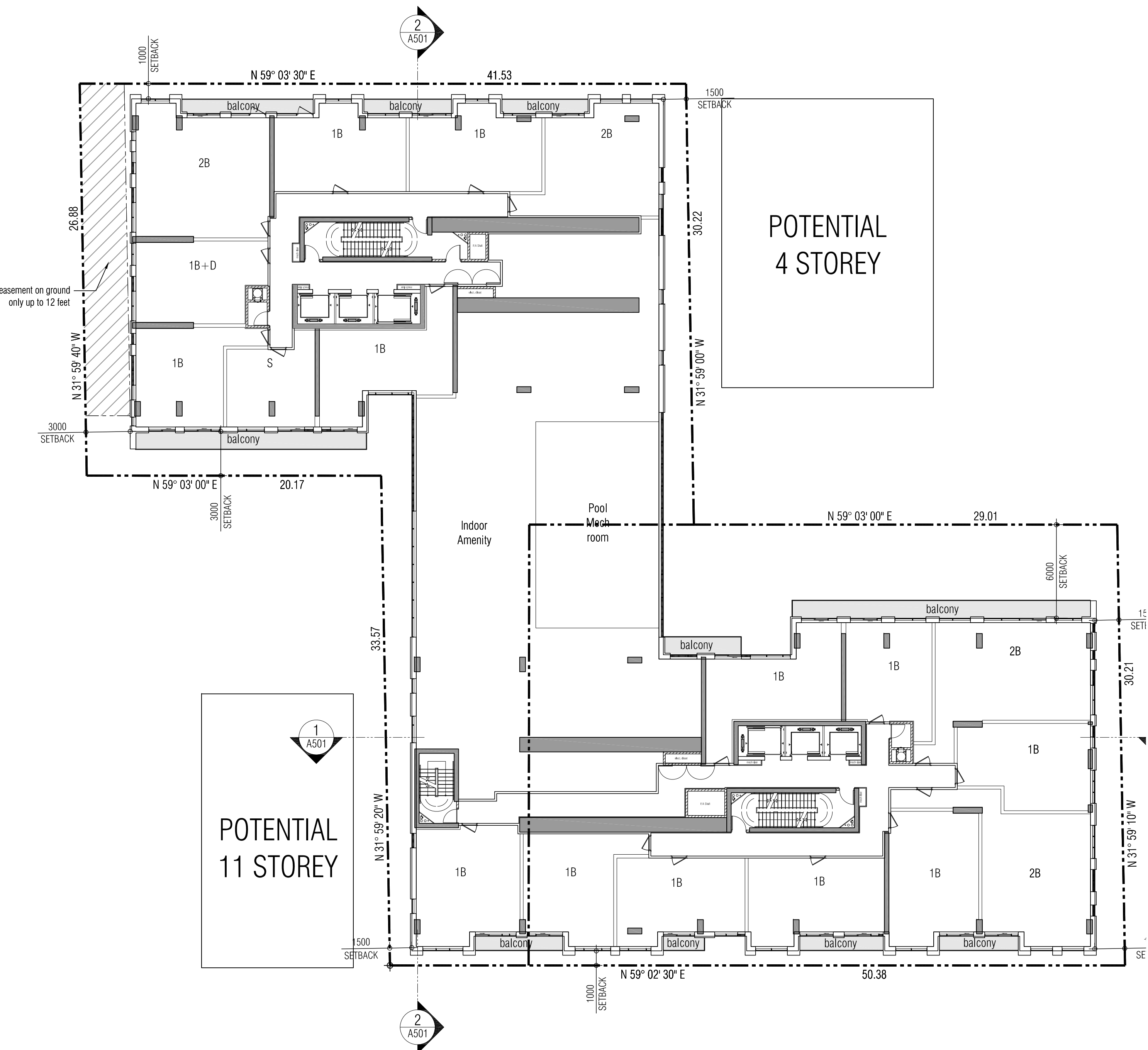
This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:
 1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
 2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



approximate centerline

approximate centerline

issued for revisions

ONTARIO ASSOCIATION OF ARCHITECTS
 ENZO M. CORAZZA
 LICENCE 4702

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shearson Drive, Suite 100, Mississauga, Ontario L4W 1C3
 Phone: 905.795.2801 Fax: 905.795.2844 www.gc-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

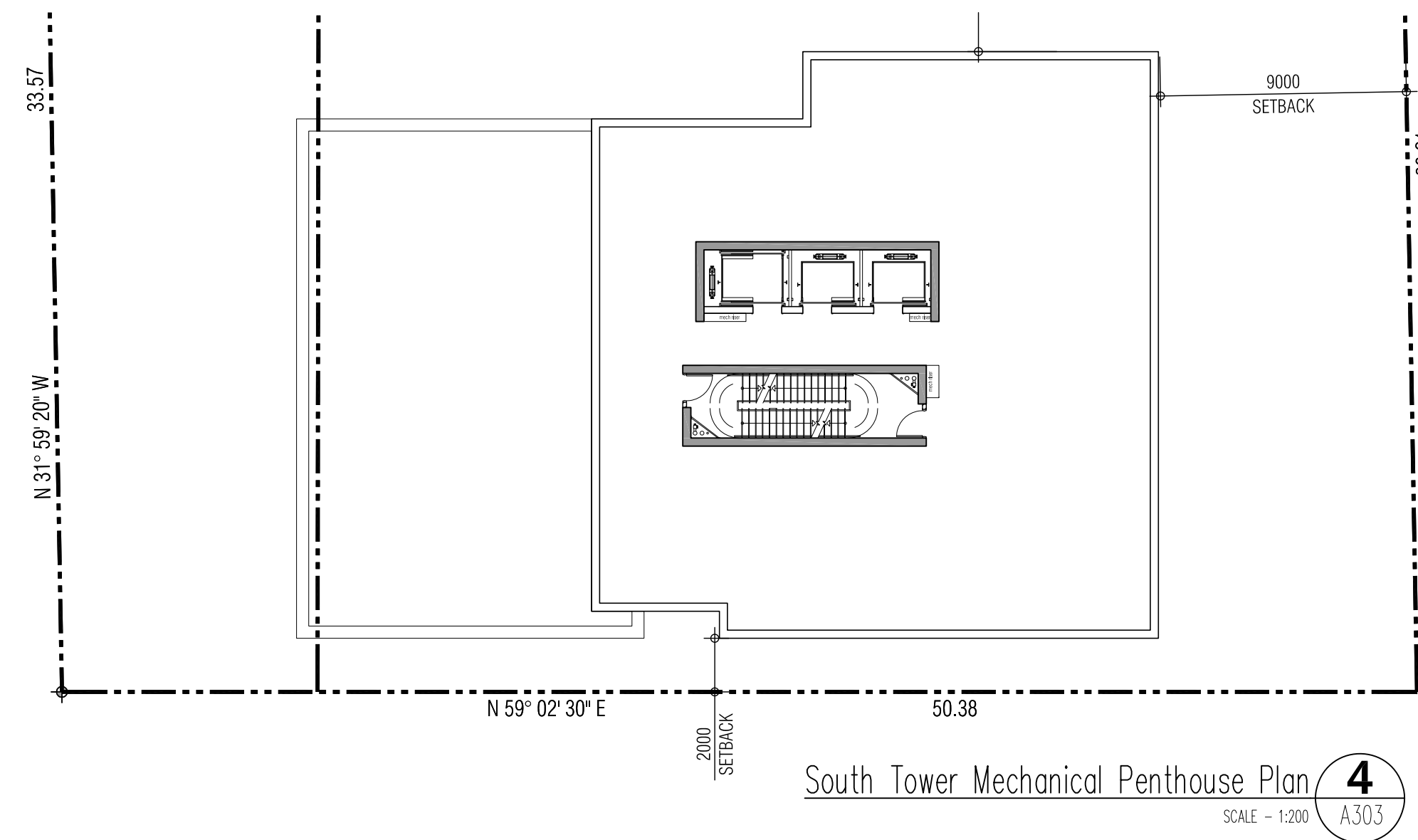
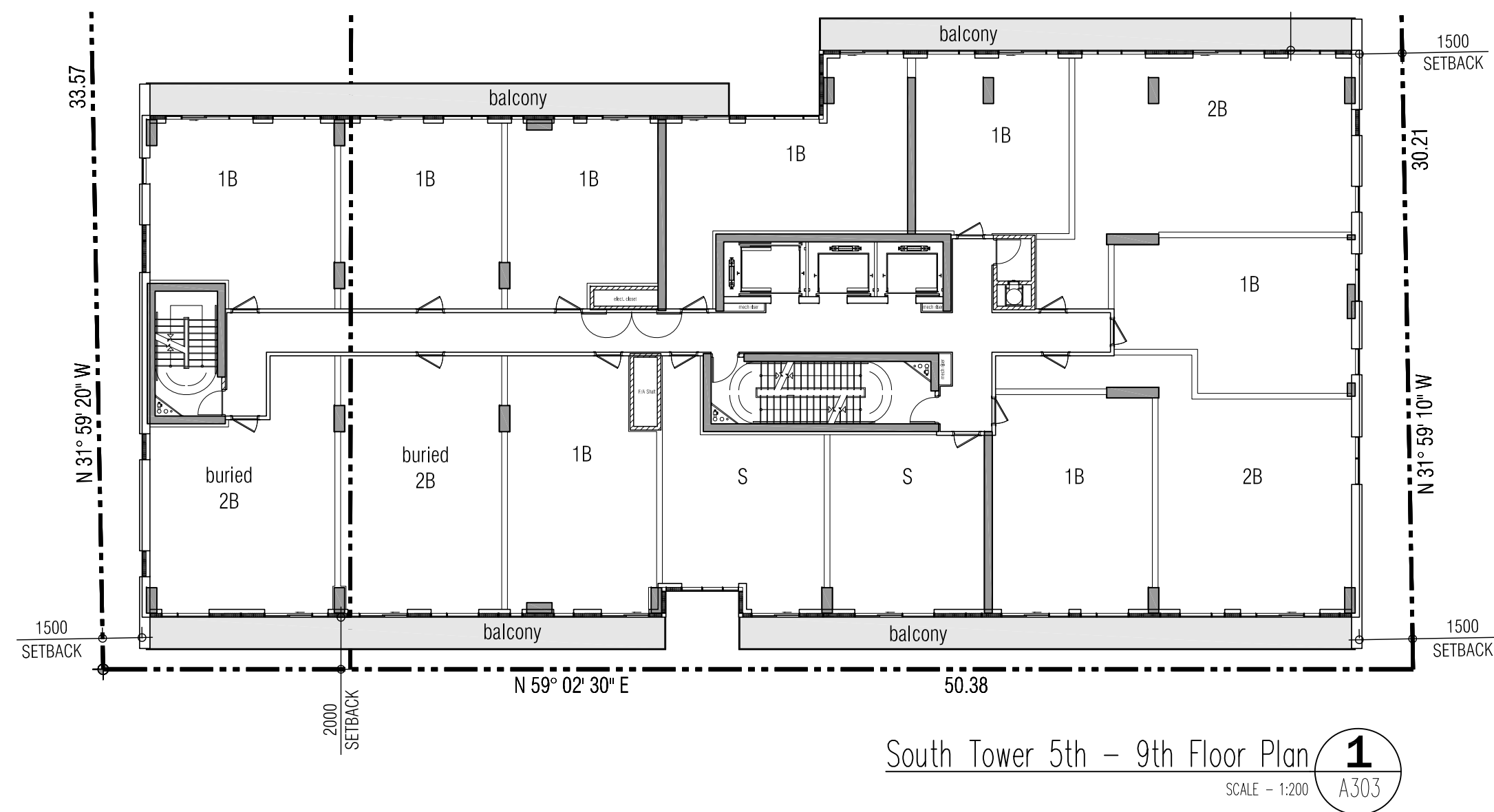
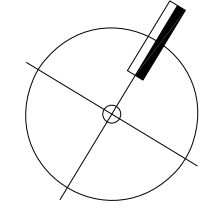
OTTAWA RICHCRAFT Group of Companies ONTARIO

Project Architect: E. Corazza
 Assistant Designer: L. Wong
 Drawn By: L. Wong/W. Chiu/J. Oh
 Checked By: D. Biose
 Plot Date: Nov. 6, 2020
 Job #: 1353.16

3RD - 4TH FLOOR PLAN

3rd Floor Plan 1 A302 SCALE - 1:200

4th Floor Plan 2 A302 SCALE - 1:200



This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

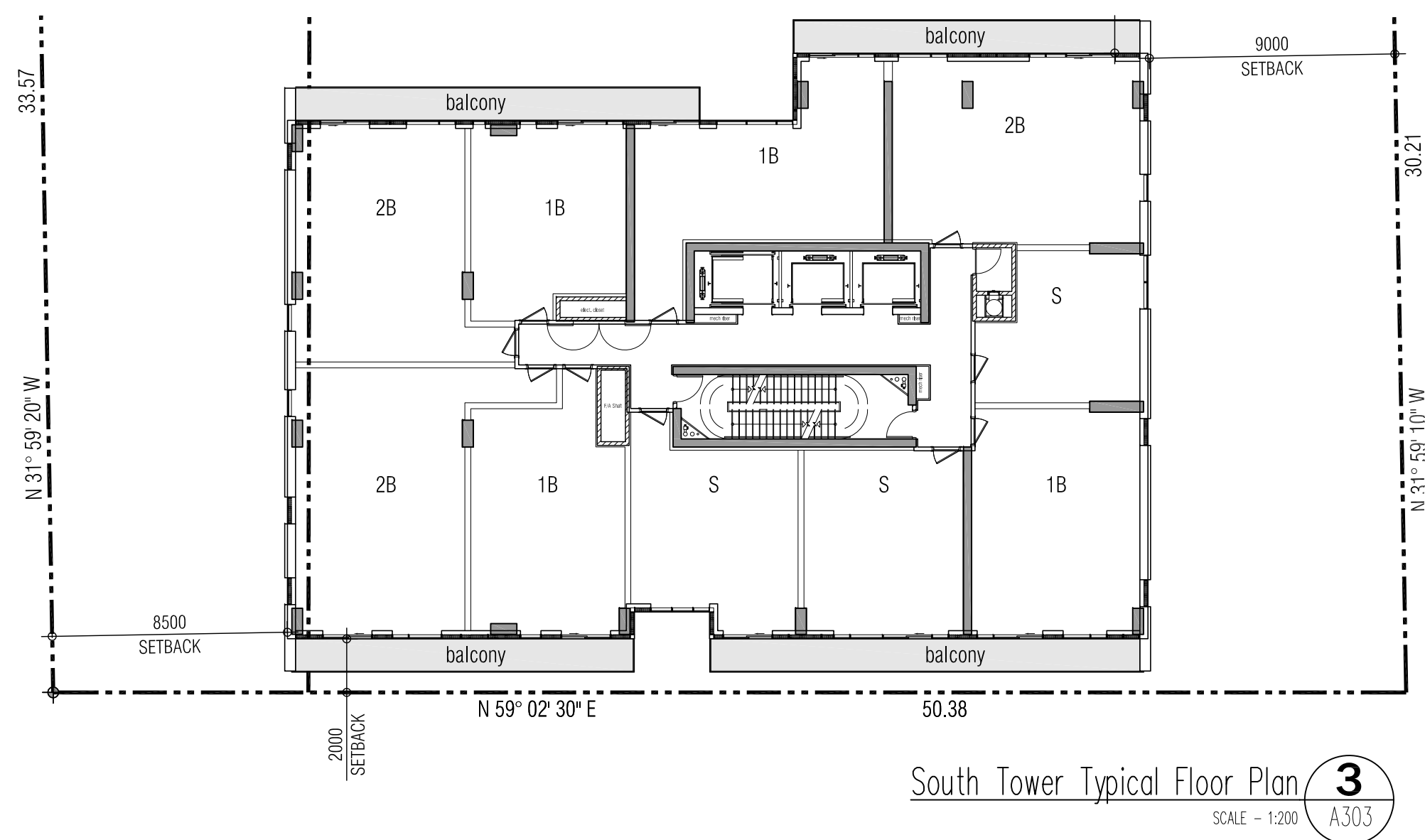
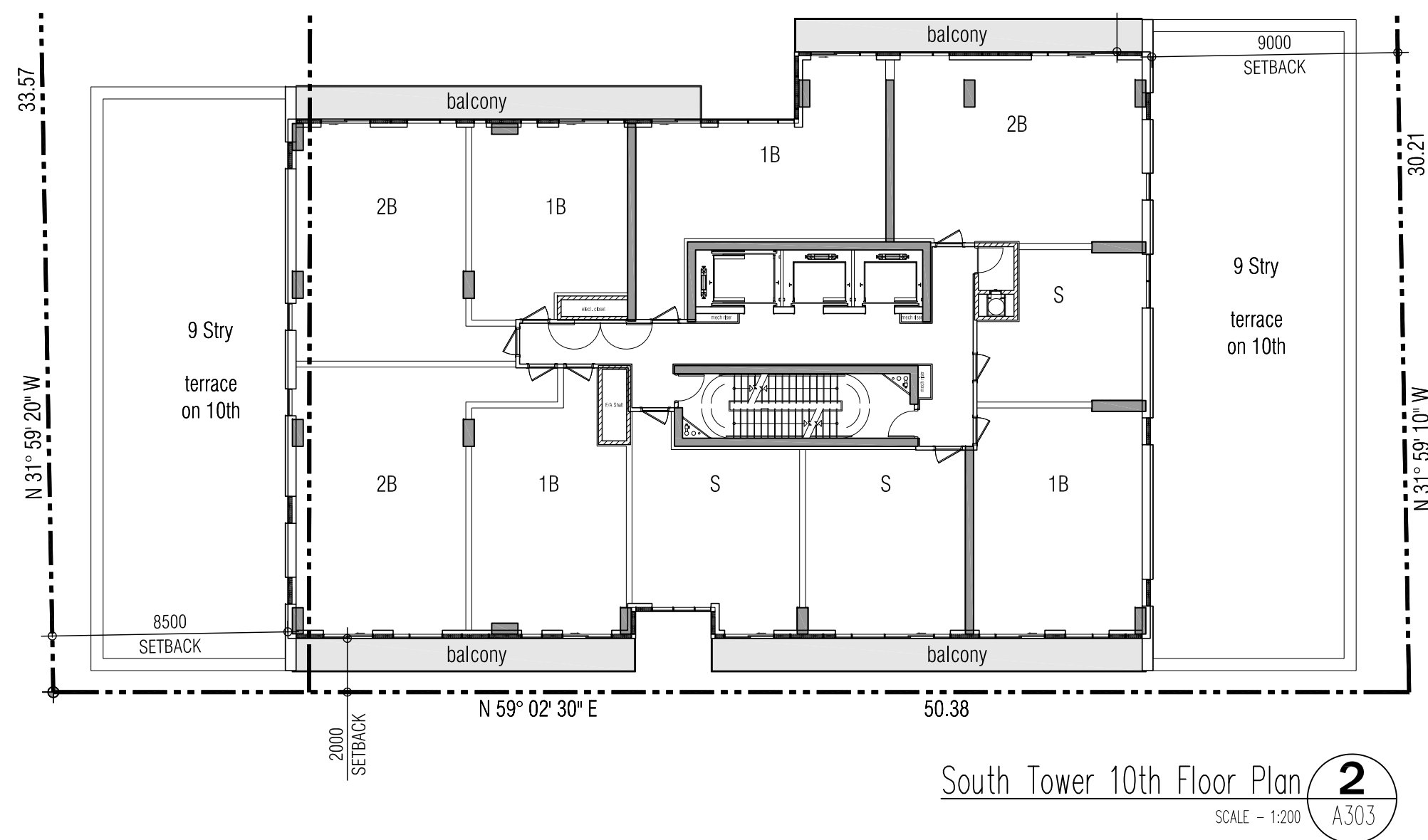
Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:

1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

ENZO M. CORAZZA
LICENCE 4702

1230 Shawson Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.795.2801 Fax: 905.795.2844 www.go-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

OTTAWA ONTARIO

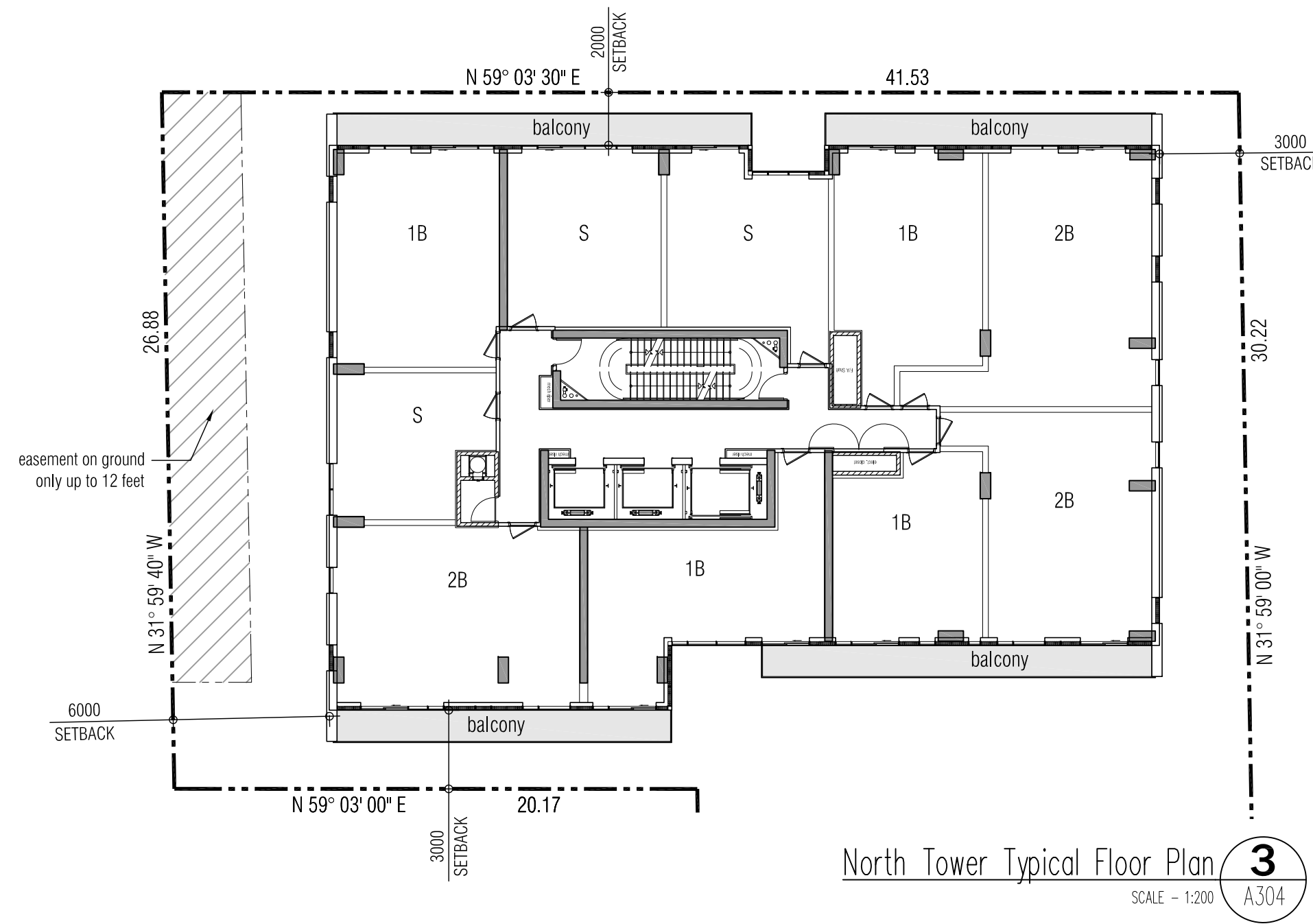
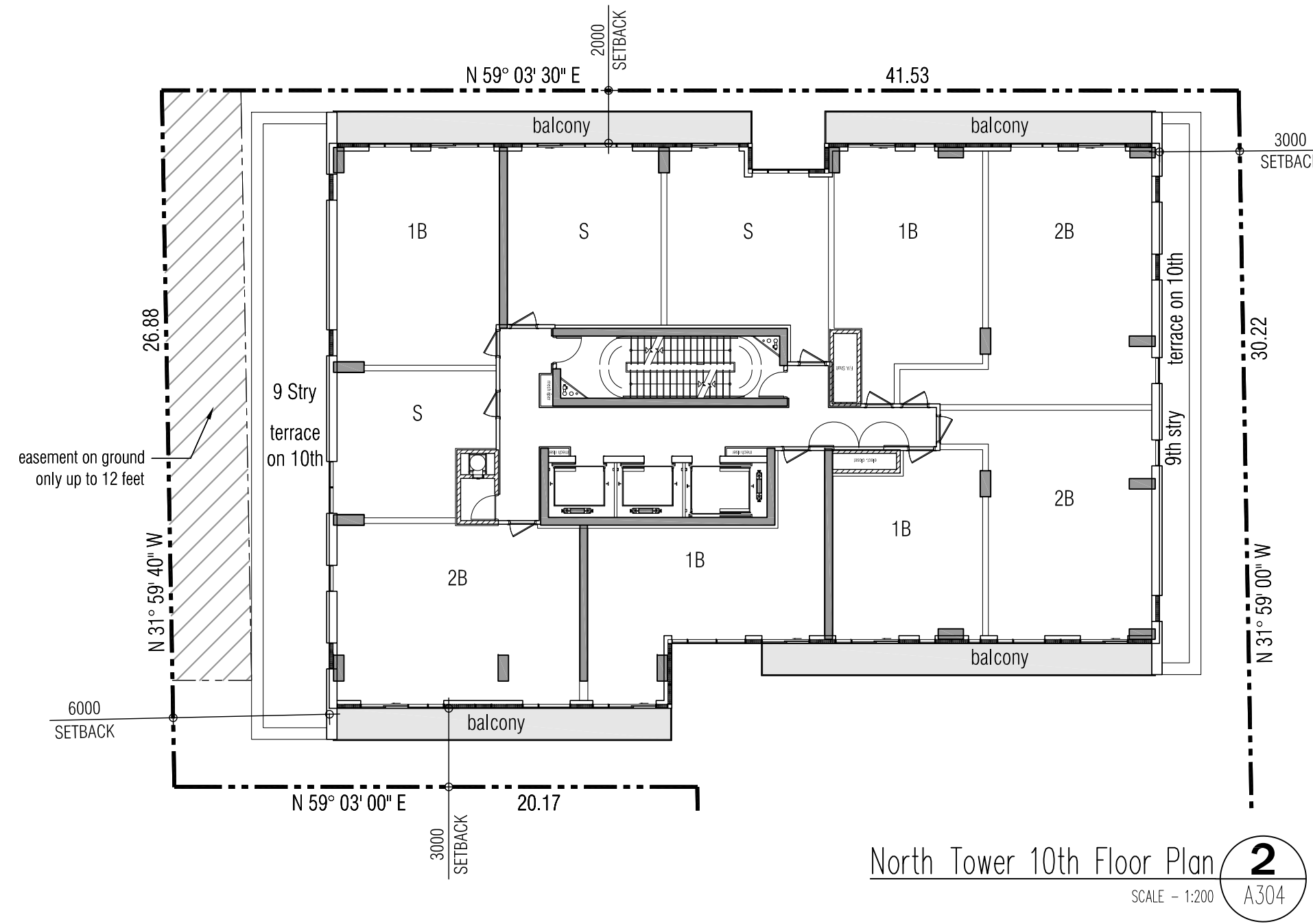
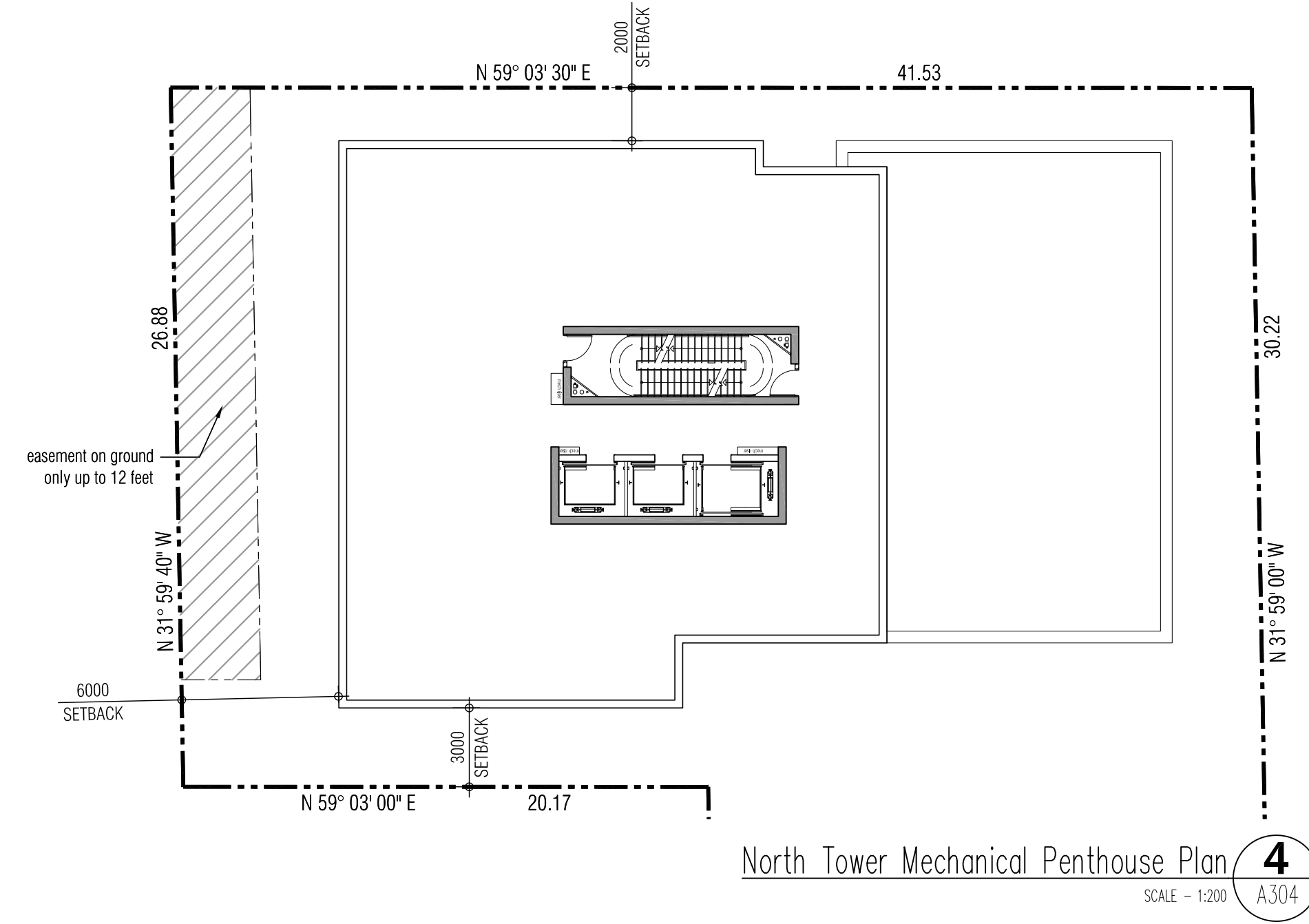
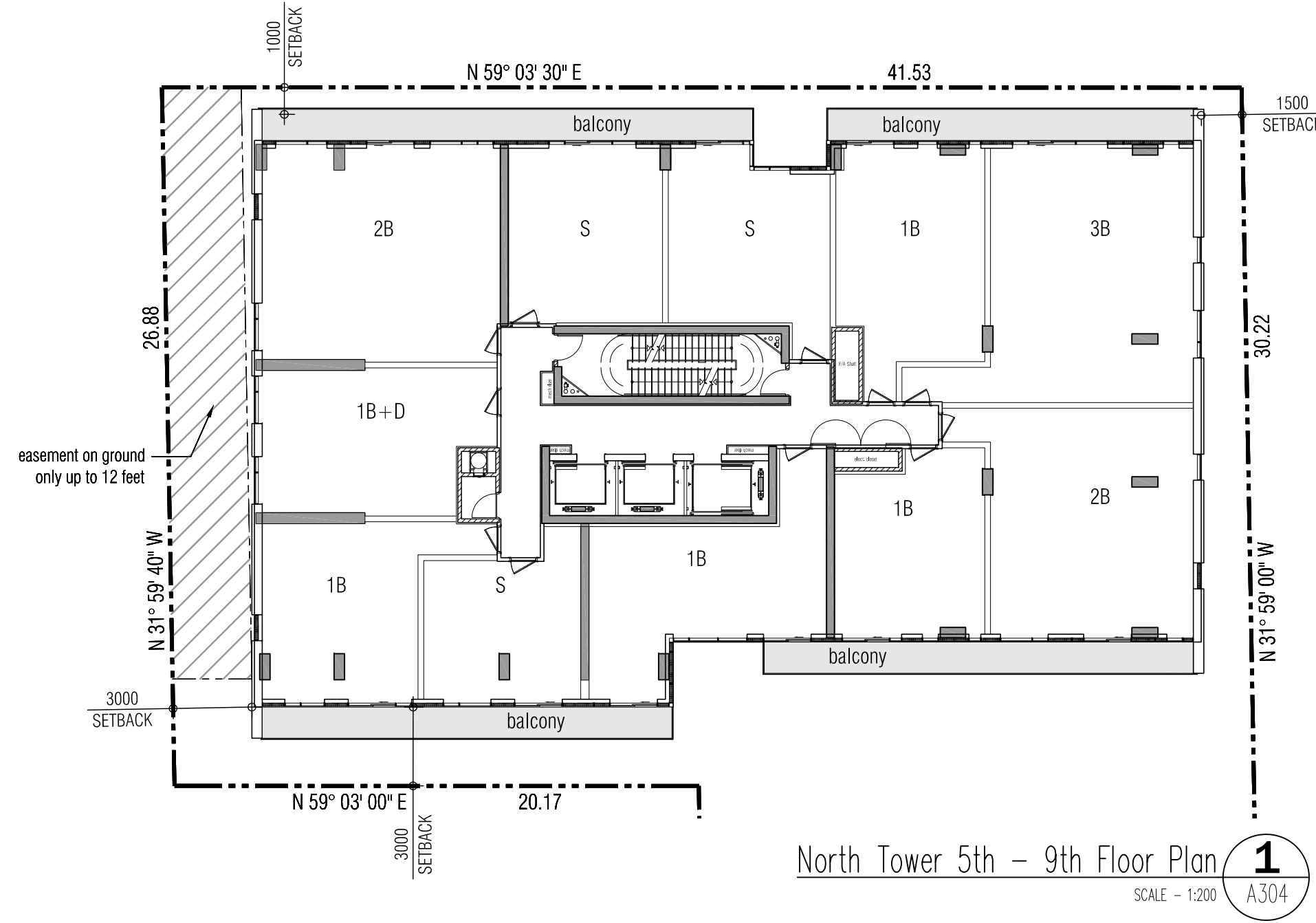
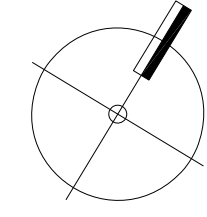
Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biase
Plot Date: Nov. 6, 2020
Job #: 1353.16

SOUTH TOWER FLOOR PLANS

1:200 A.303

TITLEBLOCK SIZE: 610 x 950

PROJECT NORTH



This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.

issued for revisions

ONTARIO ASSOCIATION OF ARCHITECTS
ENZO M. CORAZZA
LICENCE 4702

GRAZIANI + CORAZZA ARCHITECTS INC.

1230 Shawson Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.795.2801 Fax: 905.795.2844 www.go-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

RICHCRAFT Group of Companies

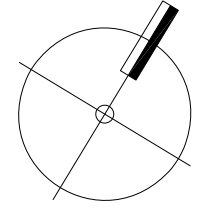
Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biase
Plot Date: Nov. 6, 2020
Job #: 1353.16

NORTH TOWER FLOOR PLANS

1:200 A.304

TITLEBLOCK SIZE: 610 x 950

PROJECT NORTH



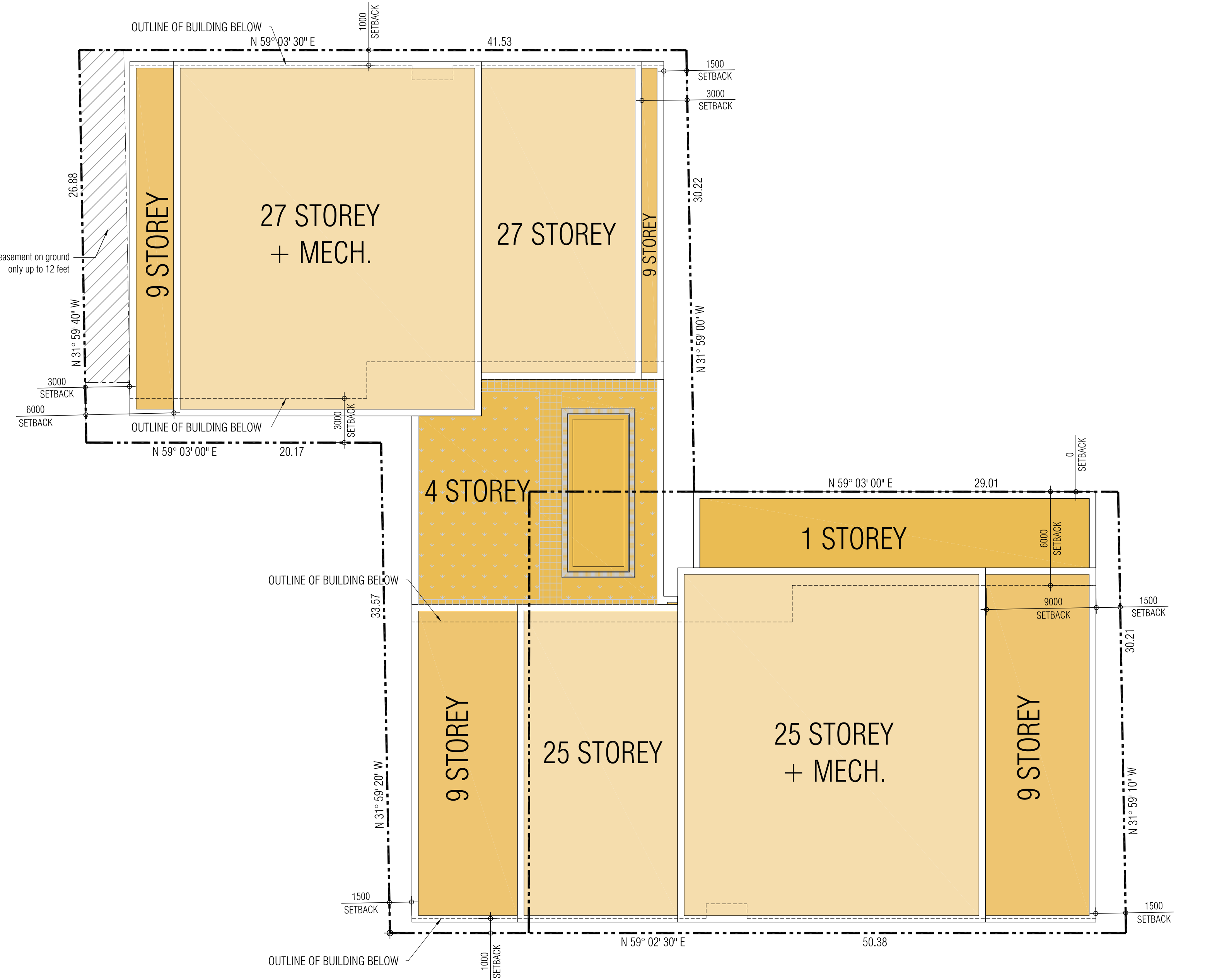
This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of the site. This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

- Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
 2. Transmission of any virus or damage to the receiving electronic system when information is transferred.

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



approximate centerline asphalt roadw.

Roof Plan **4**
SCALE - 1:200 A305

issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.
1230 Shawson Drive, Phone: 905.795.2801
Suite 100, Mississauga, Ontario, Fax: 905.795.2844
L4W 1C3
www.go-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar



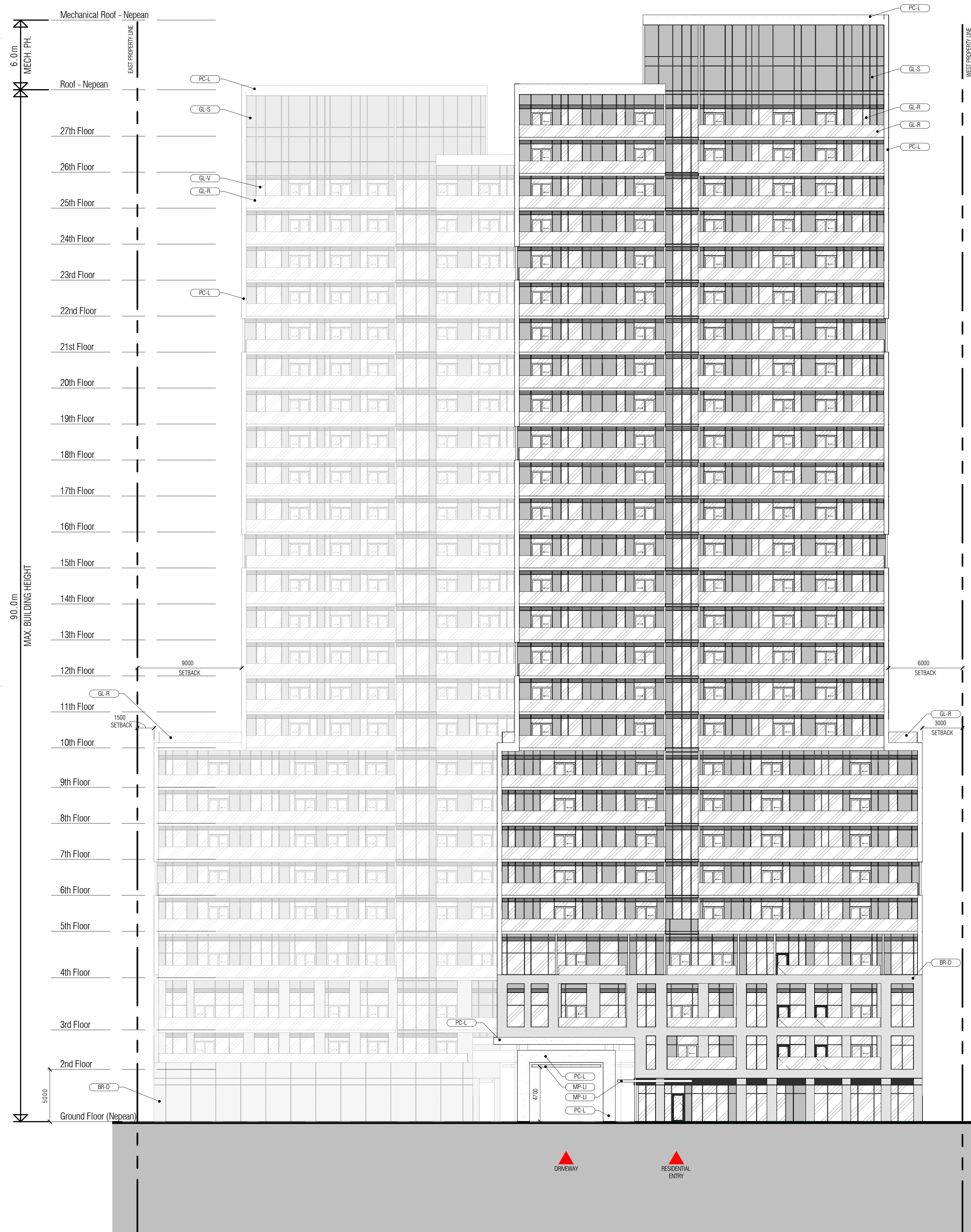
OTTAWA ONTARIO

Project Architect: E. Corazza
Assistant Designer: L. Wong
Drawn By: L. Wong/W. Chiu/J. Oh
Checked By: D. Biase
Plot Date: Nov. 6, 2020
Job #: 1353.16

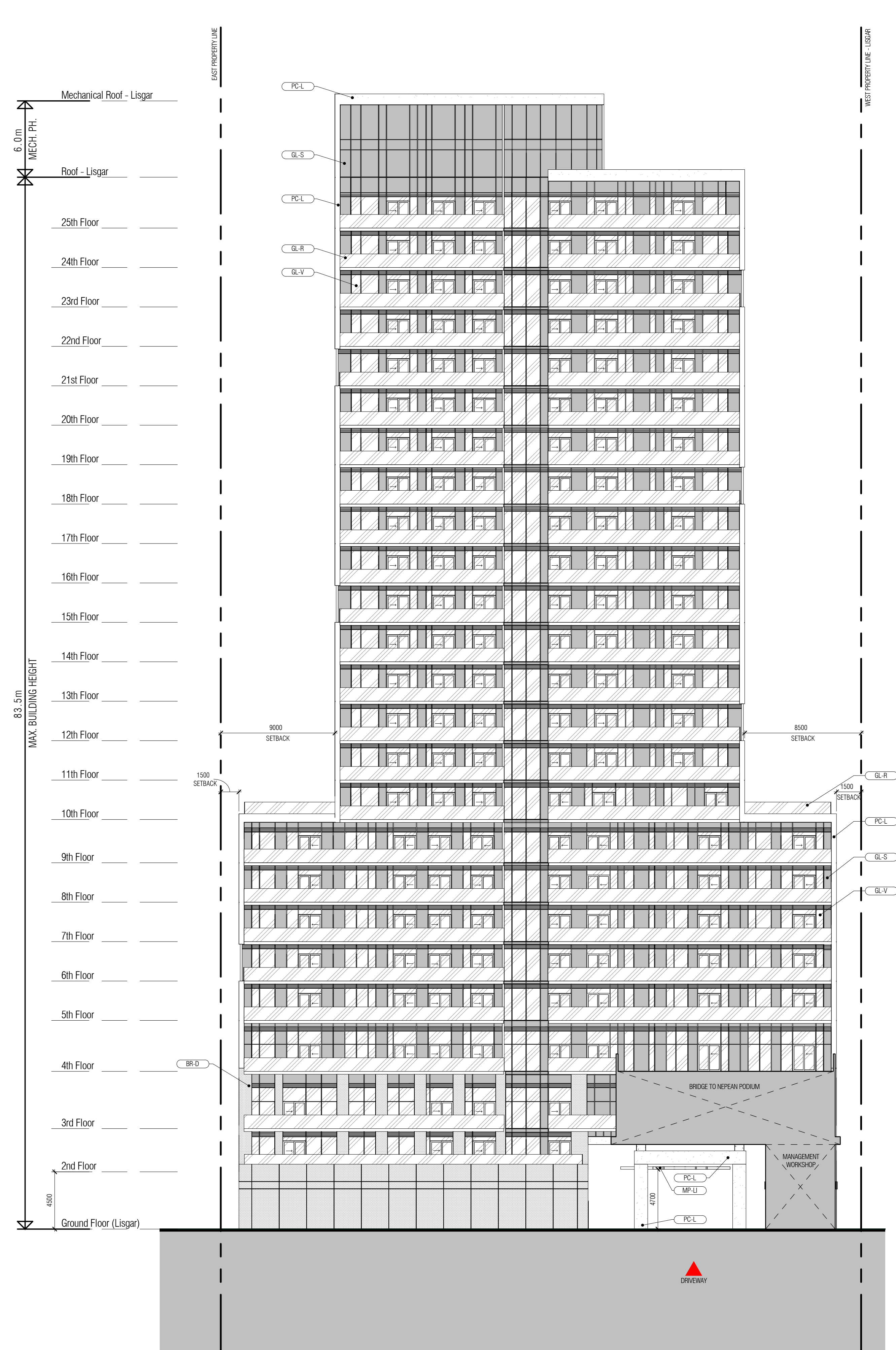
ROOF FLOOR PLAN

1:200 A305

TITLEBLOCK SIZE: 610 x 950



1 North
A401 1:200



2 North - Lisgar Tower
A401 1:200

This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

This drawing is not to be scaled for construction purpose and may be scaled for review purposes only. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer
Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred
2. Transmission of any virus or damage to the receiving electronic system when information is transferred

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.

MATERIALS LEGEND	
	VISION GLASS GLASS: GREY FRAME: BLACK
	GLASS RAILING GLASS: GREY (TEMPERED) FRAME: BLACK
	SPANDREL GLASS GLASS: GREY FRAME: BLACK
	LIGHT COLOURED EXTERIOR FACE COLOUR: LIGHT
	BRICK - DARK COLOUR: DARK
	METAL PANEL - LIGHT COLOUR: DARK
	METAL PANEL - BLACK COLOUR: BLACK

NOTE: IF EXACT SPECIFIED COLOUR IS NOT AVAILABLE, ATTEMPT COLOUR MATCH AND SUBMIT ALTERNATIVE SAMPLES FOR ARCHITECT'S APPROVAL

1320 Shawan Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.795.2601 Fax: 905.795.2844 www.gc-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

RICH CRAFT
Group of Companies

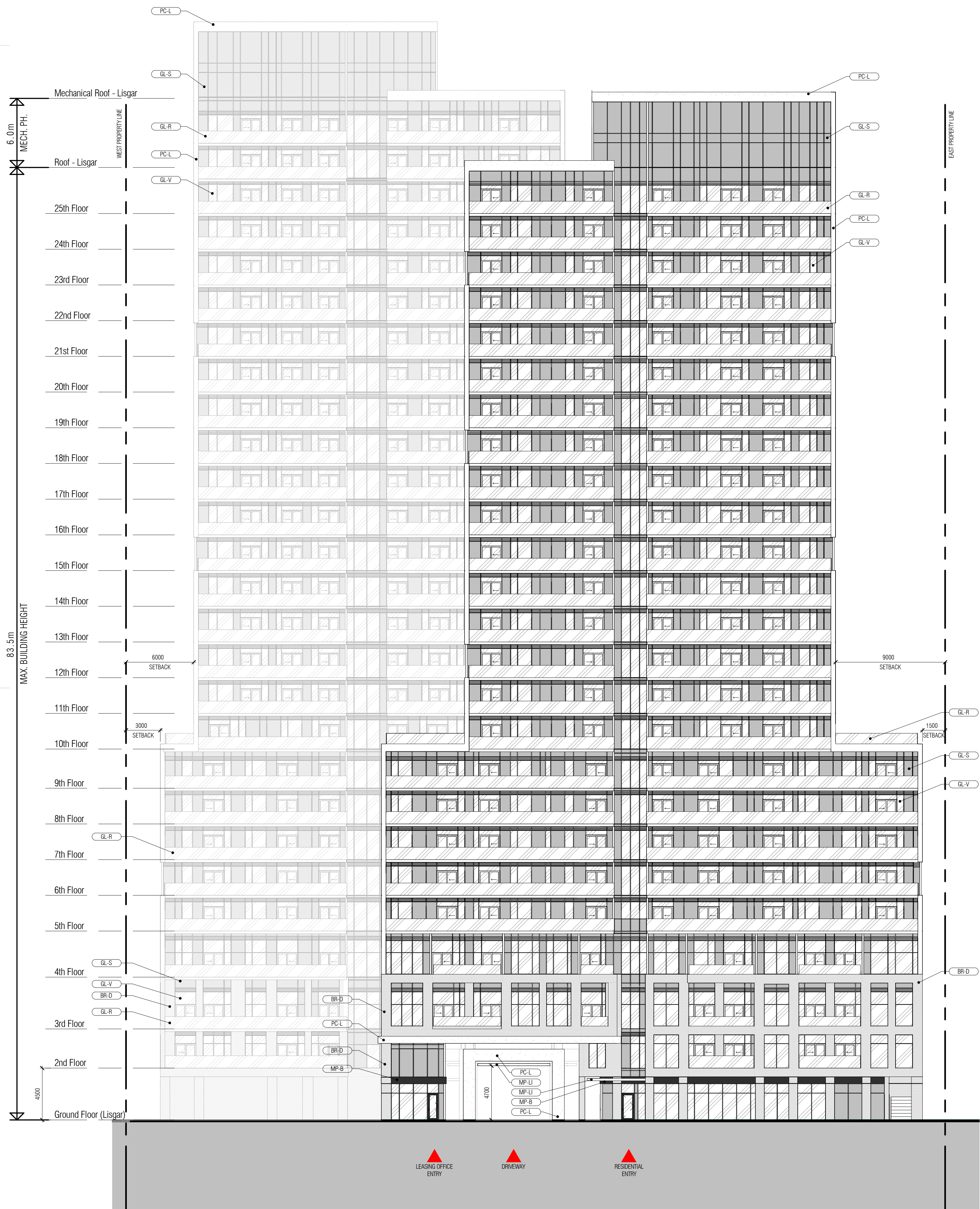
OTTAWA ONTARIO

Project Architect: E. CORAZZA
Assistant Designer: L. WONG
Drawn By: W. CHIU/J. ABBAS/J. OH
Checked By: D. BIASE
Plot Date: NOV. 06. 2020
Job #: 1353.16

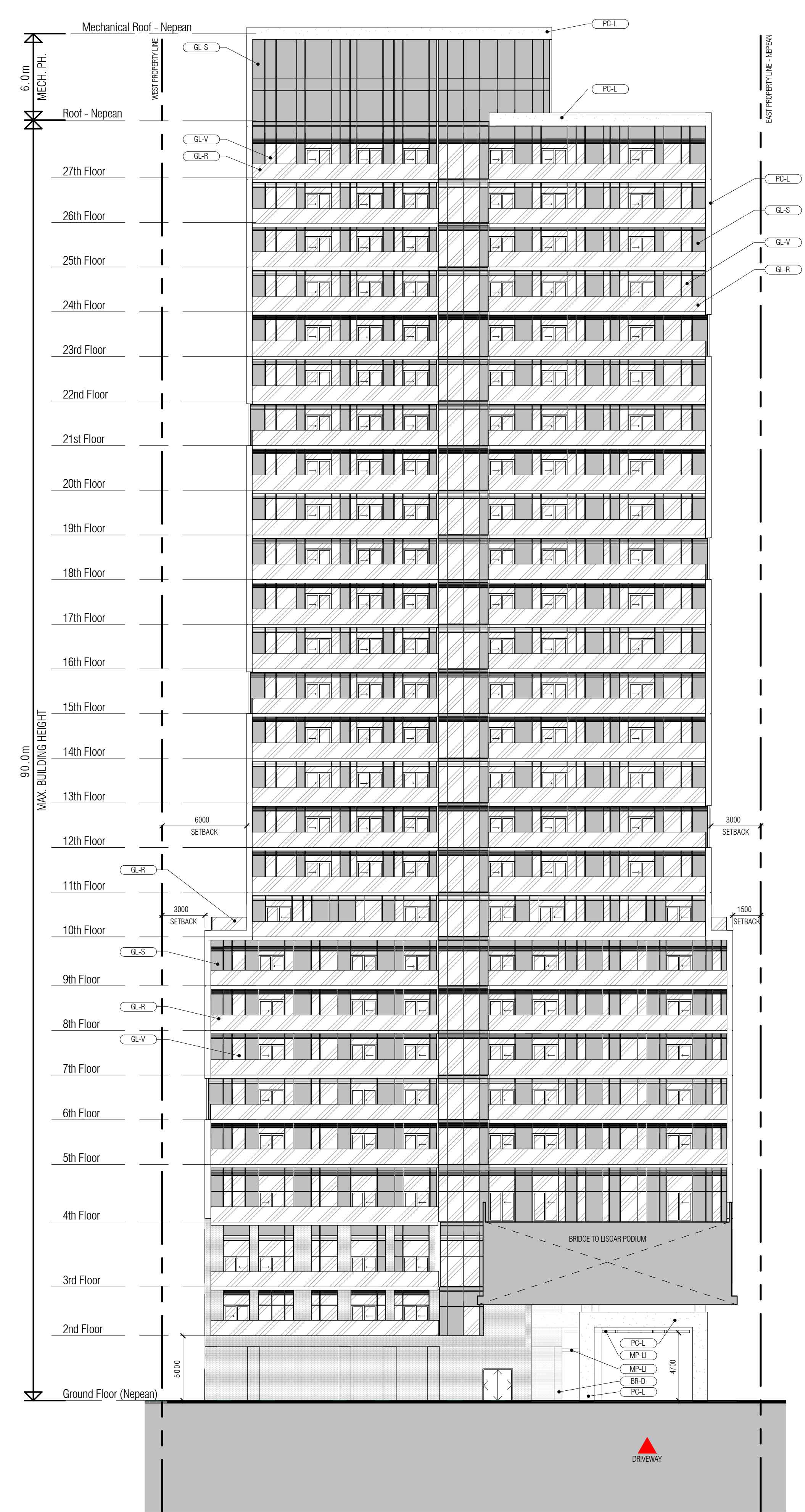
ELEVATIONS
NORTH

As indicated
A401

TITLEBLOCK SIZE: 610 x 950



1 South
A402 1:200



2 South - Nepean Tower
A402 1:200

This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

This drawing is not to be scaled for construction purpose and may be scaled for review purposes only. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer
Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred
2. Transmission of any virus or damage to the receiving electronic system when information is transferred

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.

MATERIALS LEGEND	
	VISION GLASS GLASS: GREY FRAME: BLACK
	GLASS RAILING GLASS: GREY (TEMPERED) FRAME: BLACK
	SPANDREL GLASS GLASS: GREY FRAME: BLACK
	LIGHT COLOURED EXTERIOR FACE COLOUR: LIGHT
	BRICK - DARK COLOUR: DARK
	METAL PANEL - LIGHT COLOUR: DARK
	METAL PANEL - BLACK COLOUR: BLACK

NOTE: IF EXACT SPECIFIED COLOUR IS NOT AVAILABLE, ATTEMPT COLOUR MATCH AND SUBMIT ALTERNATIVE SAMPLES FOR ARCHITECT'S APPROVAL

GRAZIANI + CORAZZA ARCHITECTS INC.
1320 Shawan Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.795.2601 Fax: 905.795.2844 www.gc-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

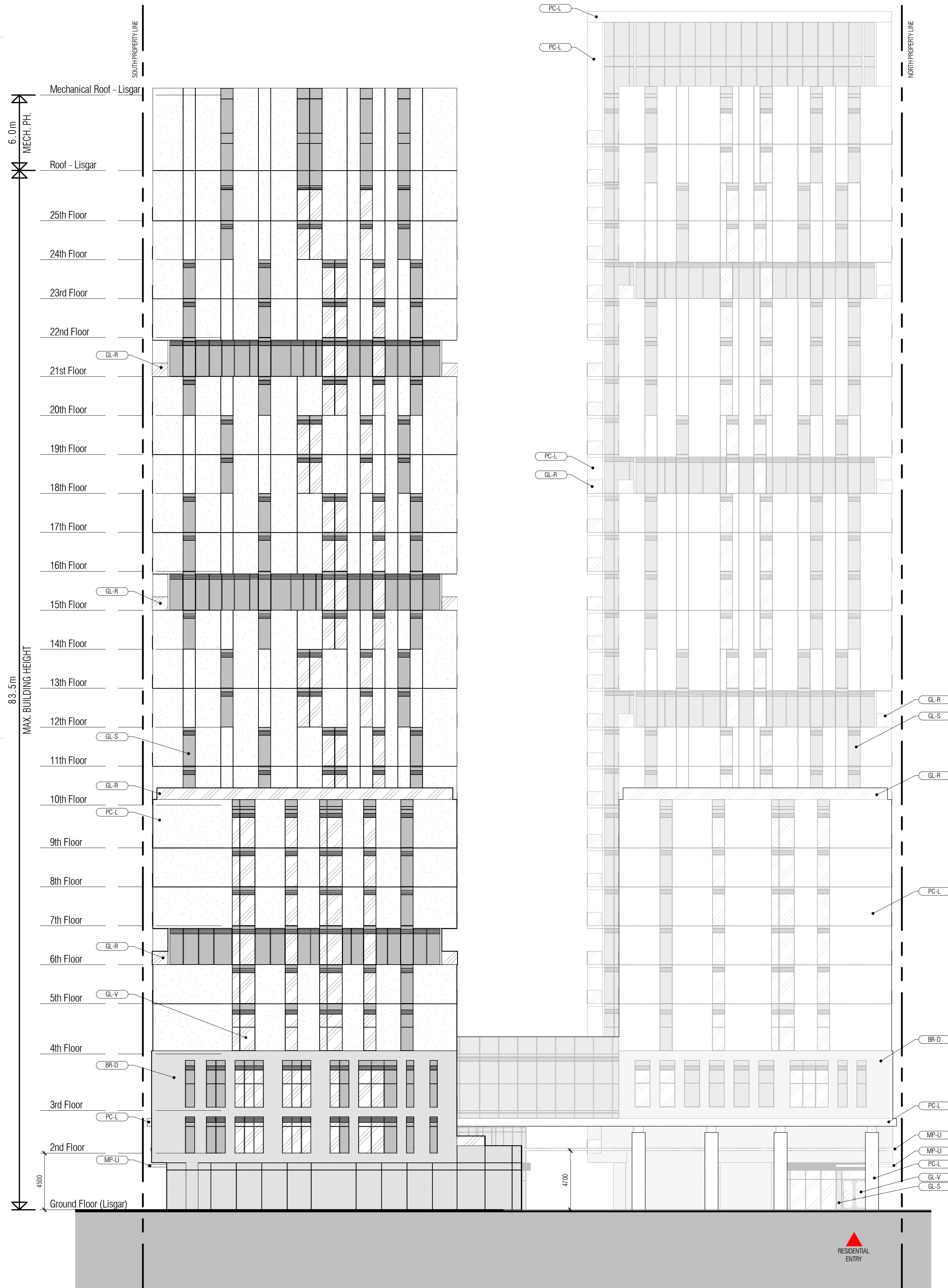
RICHCRAFT
Group of Companies

OTTAWA ONTARIO

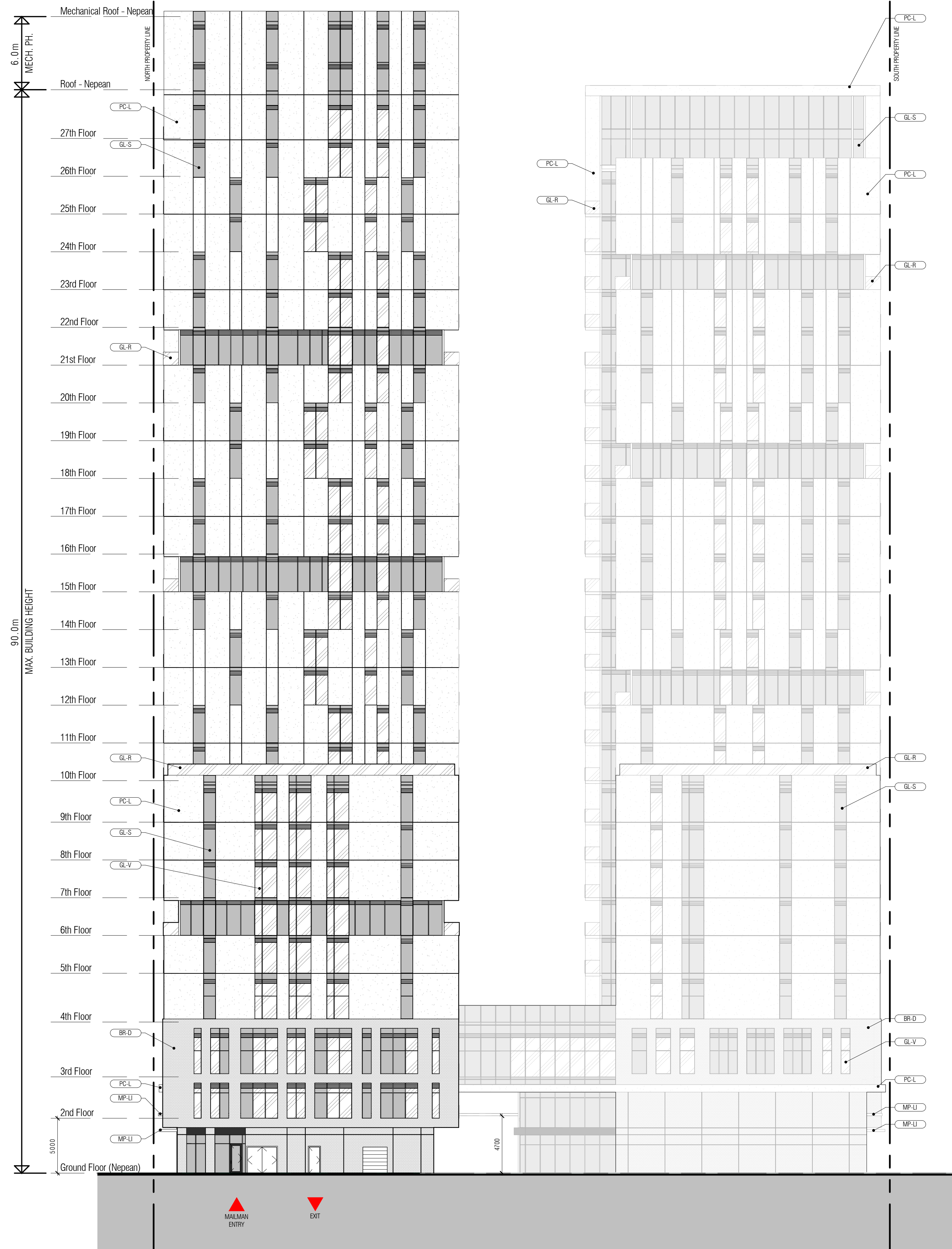
Project Architect: E. CORAZZA
Assistant Designer: L. WONG
Drawn By: W. CHIU/J. ABBAS/J. OH
Checked By: D. BIASE
Plot Date: NOV.06.2020
Job #: 1353.16

Elevations
South

As indicated A402



1 East
A403 1:200



2 West
A403 1:200

This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

This drawing is not to be scaled for construction purpose and may be scaled for review purposes only. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer
Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

Graziani + Corazza Architects Inc. shall not be responsible for:
1. Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred
2. Transmission of any virus or damage to the receiving electronic system when information is transferred

01. NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.

MATERIALS LEGEND	
	VISION GLASS GLASS: GREY FRAME: BLACK
	GLASS RAILING GLASS: GREY (TEMPERED) FRAME: BLACK
	SPANDREL GLASS GLASS: GREY FRAME: BLACK
	LIGHT COLOURED EXTERIOR FACE COLOUR: LIGHT
	BRICK - DARK COLOUR: DARK
	METAL PANEL - LIGHT COLOUR: DARK
	METAL PANEL - BLACK COLOUR: BLACK

NOTE: IF EXACT SPECIFIED COLOUR IS NOT AVAILABLE, ATTEMPT COLOUR MATCH AND SUBMIT ALTERNATIVE SAMPLES FOR ARCHITECT'S APPROVAL.

GRAZIANI + CORAZZA ARCHITECTS INC.
1320 Shawan Drive, Suite 100, Mississauga, Ontario L4W 1C3
Phone: 905.735.2601 Fax: 905.735.2844 www.gc-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

RICH CRAFT
Group of Companies

OTTAWA ONTARIO

Project Architect: E. CORAZZA
Assistant Designer: L. WONG
Drawn By: W. CHIU/J. ABBAS/J. OH
Checked By: D. BIASE
Plot Date: NOV. 06. 2020
Job #: 1353.16

ELEVATIONS
EAST-WEST

As indicated A403

TITLEBLOCK SIZE: 610 x 950

This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

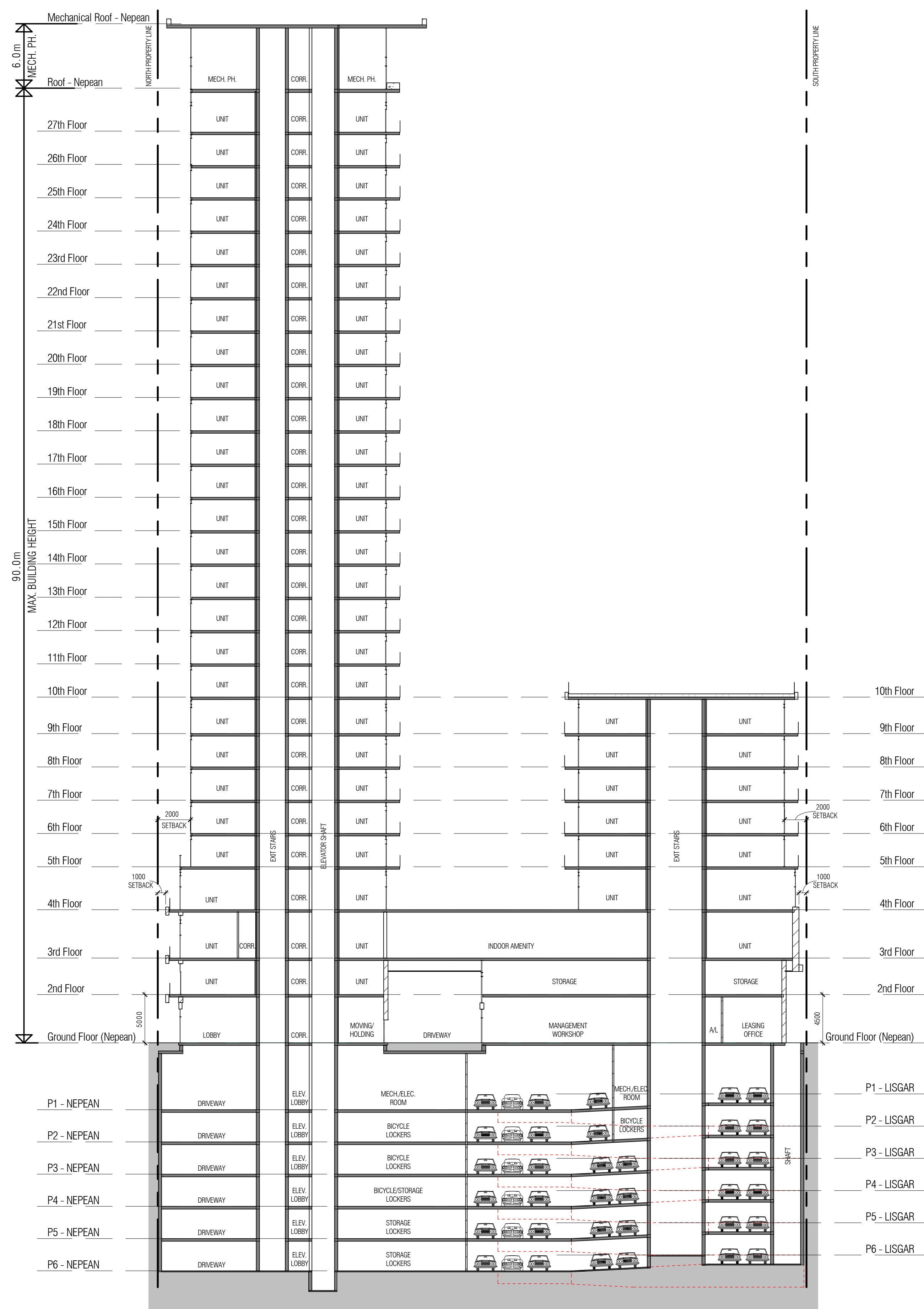
This drawing is not to be scaled for construction purpose and may be scaled for review purposes only. All architectural symbols indicated on this drawing are graphic representations only.

Conditions for electronic information transfer

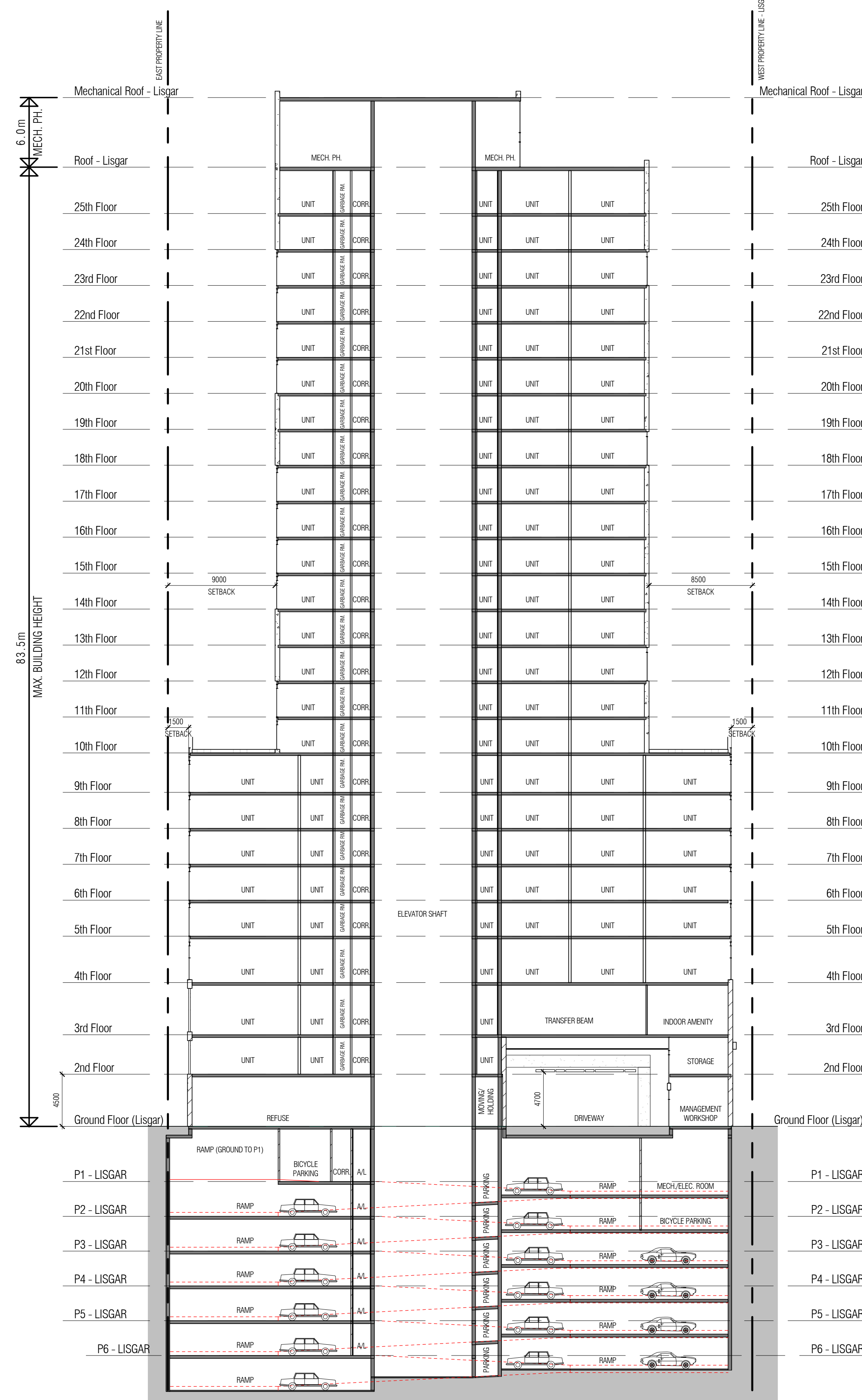
Electronic information is supplied to the other associated firms to assist them in the execution of their work/review. The recipient firms must determine the completeness/appropriateness/relevance of the information in respect to their particular responsibility.

- Graziani + Corazza Architects Inc. shall not be responsible for:
- Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred
 - Transmission of any virus or damage to the receiving electronic system when information is transferred

01 - NOV.06.2020 ISSUED FOR SPA SUBMISSION E.C.



NORTH-SOUTH SECTION - NEPEAN TOWER & LISGAR PODIUM



EAST-WEST SECTION - LISGAR TOWER

1320 Shawan Drive, Suite 100, Mississauga, Ontario, L4W 1C3
 Phone: 905.735.2601 Fax: 905.735.2844 www.gc-architects.com

PROPOSED MIXED USE DEVELOPMENT

176 Nepean & 293-307 Lisgar

OTTAWA ONTARIO

Project Architect: E. CORAZZA
 Assistant Designer: L. WONG
 Drawn By: J. CH'W. CHIU
 Checked By: D. BIASE
 Plot Date: NOV.06.2020
 Job #: 1353.16

SECTIONS