

By Andrew McCreight at 2:47 pm, Aug 23, 2022	:)
--	----

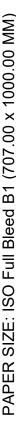
ALL CO PERTI THIS E UNTIL	SIONS TO THE ARCHITECT. ONTRACTORS MUST COMPLY WITH ALL NENT CODES AND BY-LAWS. ORAWING MAY NOT BE USED FOR CONS <sup>T</sup> SIGNED BY THE ARCHITECT. OT SCALE DRAWINGS.	TRUCTION
16 15 14	ISSUED FOR TENDER R-III ISSUED FOR TENDER R-III ISSUED FOR TENDER	08/08/202 21/06/202 13/05/202
13 12 11 9 8 <b>No.</b>	ISSUED FOR BULIDING PERMIT ISSUED FOR 66% REVIEW ISSUED FOR COORDINATION ISSUED FOR FOUNDATION PERMIT ISSUED FOR 33% REVIEW DESCRIPTION	14/04/202 18/03/202 01/03/202 21/12/202 19/11/202 <b>DD.MM.</b>
APRIC AR	NS: CT SEAL: ASSO F CDUTECTS Z NORTH ARROW:	
CLIENT:	LICENCE 4375 1655 CARLING	
	DEVELOPMENTS IN	С.
6 Bee	ect: Construction A.9932 f.613.724.1209 www.roderio	K1S 3J
	T TITLE:	
	1655 CARLING AVENU WA ON	JE
SHEET T		
	SOUTH ELEVATION	1

IT IS THE RESPONSIBILITY OF THE APPROPRIATE

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR

RAWN:	CHECK
Author	Chec
CALE:	SHEET
As indicated	Λ
PROJECT No:	
2120	

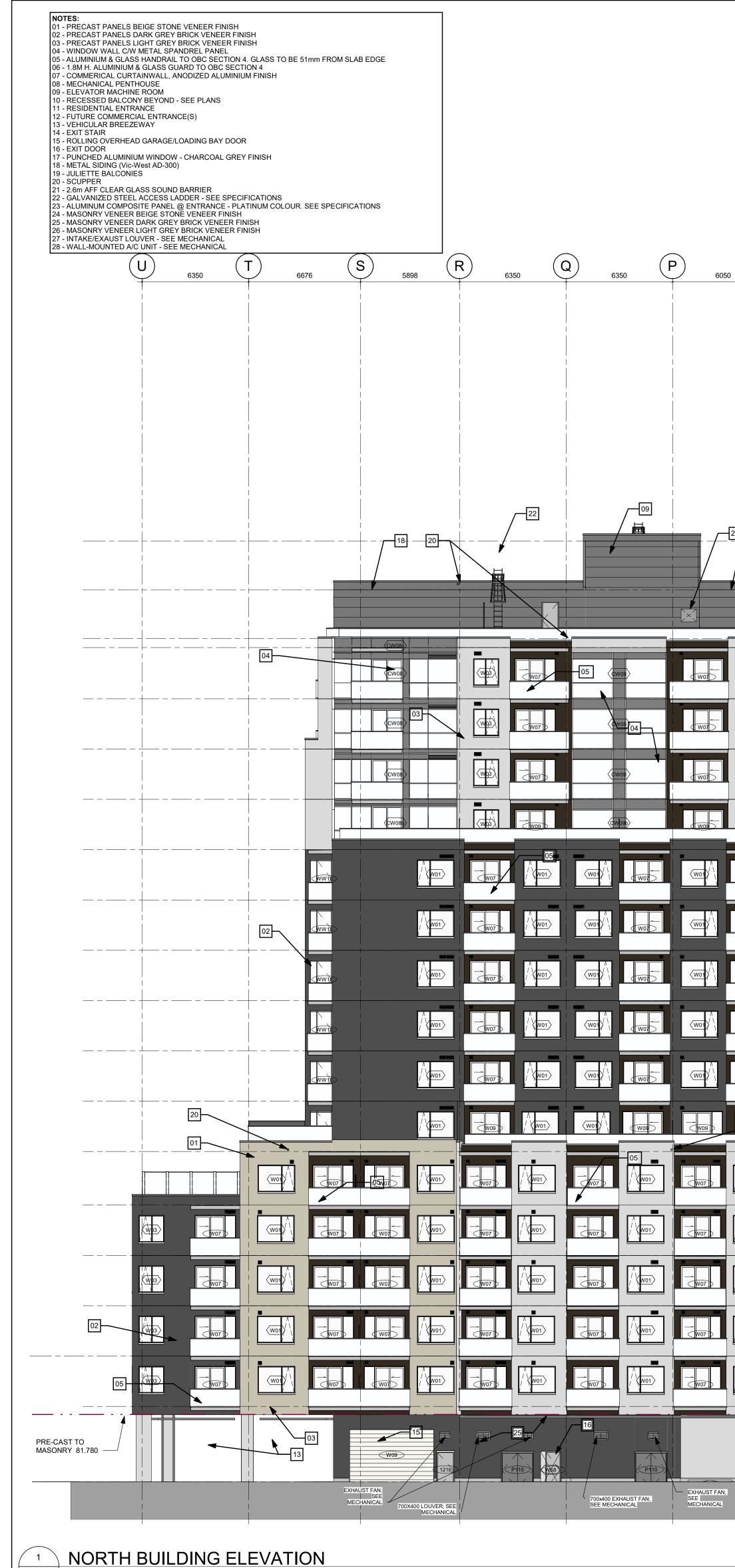












A201 1 : 150

ANDREW MCCREIGHT MANAGER (A), DEVELOPMENT REVIEW CENTRAL PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

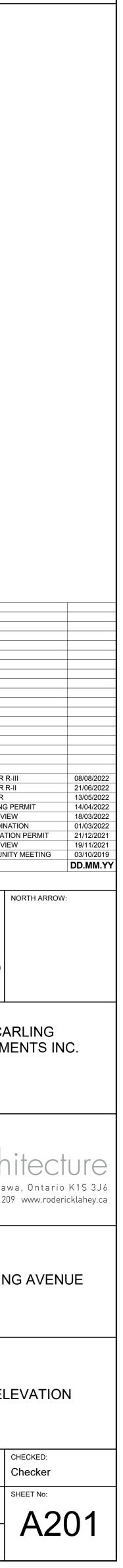
APPROVED

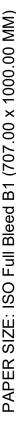
By Andrew McCreight at 2:47 pm, Aug 23, 2022

		N 6100	1) <sub>6350</sub> L	6350	6100	J	6900	6350	G
28			(133.880)						22
	20	5900	B - T/O ELV. ROOF @ L/P						/07
			NER B - T/O ROOF @ L/P		03				/07
			TOWER B MECH. @L/P						
									/07
					   -				/07
									/09
					 				01
									ĺ
					┆╵				
	1000X350 LOUVER: SEE MECHANICAL		EXHAUST FAN; SEE MECHANICAL	15 X; SEE CAL 700X400 LOUV MECHANICAL			50 LOUVER; SEE MECHANICAL	WALL BOX; MECHANICA	SEE

PERTINENT CODES AND BY-LAWS. MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED. (F) (E) 6174 **G**)  $(\mathsf{D})$ (A) 6350 5086 139.880 \_\_\_\_\_ TOWER A - @ ELEV. L/P - 08 ( 136.980 ` TOWER A - @ ROOF LAP (134.530) TOWER A - MECH @ LOBBY TOWER A - @ MECH. L/P ( 130.480 ` 18 TH FLOOR - A ( 127.480 ` 17 TH FLOOR - A 124.480 16TH FLOOR 121.480 15'TH FLOOR (118.480) 14'TH FLOOR CW07b 115.480 13TH FLOOR 112.480 ISSUED FOR TENDER R-III 12'TH FLOOR ISSUED FOR TENDER R-II ISSUED FOR TENDER ISSUED FOR BULIDING PERMIT ISSUED FOR 66% REVIEW 109.480 ISSUED FOR COORDINATION ISSUED FOR FOUNDATION PERMIT 11'TH FLOOR ISSUED FOR 33% REVIEW ISSUED FOR COMMUNITY MEETING No. DESCRIPTION (106.480) **REVISIONS**: 10'TH FLOOR ARCHITECT SEAL: NO ASSOC ( 103.480 ) 9'TH FLOOR ARCHITECTS HODERICK I. LAHEY 100.480 8TH FLOOR wos (W01) CLIENT: 97.480 1655 CARLING 7TH FLOOR DEVELOPMENTS INC. 94.280 6TH FLOOR ////// 05 91.280 ARCHITECT: 5'TH FLOOR W08 88.280 4'TH FLOOR 56 Beech Street, Ottawa, Ontario K1S 3J WDB t.613.724.9932 f.613.724.1209 www.rodericklahey.ca 85.280 3RD FLOOR PROJECT TITLE: 82.280 1655 CARLING AVENUE 2ND FLOOR – PRE-CAST TO MASONRY 81.780 WW12 OTTAWA ON 77.780 SHEET TILE: GROUND FLOOR EXHAUST FAN; SEE MECHANICAL 1000X350 LOUVER; SEE MECHANICAL NORTH ELEVATION

## NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH

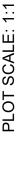




IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR

ALL CONTRACTORS MUST COMPLY WITH ALL

OMISSIONS TO THE ARCHITECT.







DRAWN:

Author

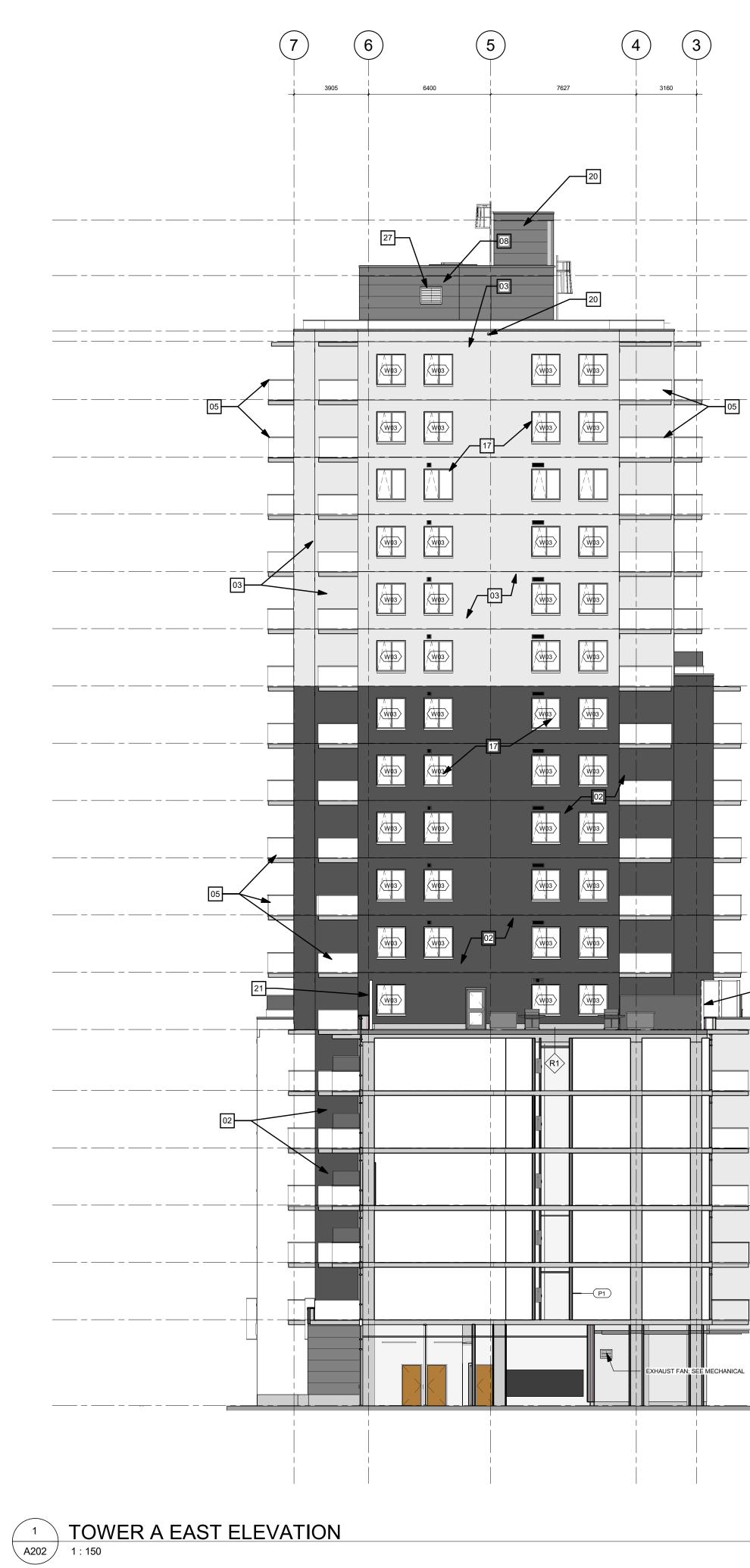
SCALE:

As indicated

PROJECT No: 2120

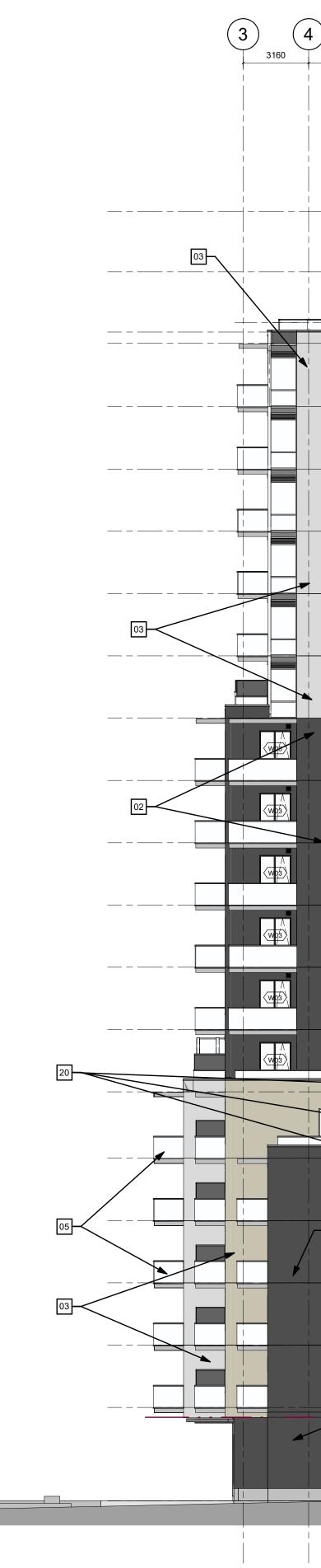


- 03 PRECAST PANELS LIGHT GREY BRICK VENEER FINISH 4 - WINDOW WALL C/W METAL SPANDREL PANEL 05 - ALUMINIUM & GLASS HANDRAIL TO OBC SECTION 4. GLASS TO BE 51mm FROM SLAB EDGE
- 06 1.8M H. ALUMINIUM & GLASS GUARD TO OBC SECTION 4 07 COMMERICAL CURTAINWALL, ANODIZED ALUMINIUM FINISH
- 08 MECHANICAL PENTHOUSE 09 - ELEVATOR MACHINE ROOM
- 0 RECESSED BALCONY BEYOND SEE PLANS 1 - RESIDENTIAL ENTRANCE
- 12 FUTURE COMMERCIAL ENTRANCE(S) 13 VEHICULAR BREEZEWAY 14 - EXIT STAIR
- 15 ROLLING OVERHEAD GARAGE/LOADING BAY DOOR
- 16 EXIT DOOR 17 - PUNCHED ALUMINIUM WINDOW - CHARCOAL GREY FINISH 18 - METAL SIDING (Vic-West AD-300)
- 19 JULIETTE BALCONIES
- 20 SCUPPER
- 21 2.6m AFF CLEAR GLASS SOUND BARRIER 22 GALVANIZED STEEL ACCESS LADDER SEE SPECIFICATIONS 23 - ALUMINUM COMPOSITE PANEL @ ENTRANCE - PLATINUM COLOUR. SEE SPECIFICATIONS
- 24 MASONRY VENEER BEIGE STONE VENEER FINISH 25 MASONRY VENEER DARK GREY BRICK VENEER FINISH
- 26 MASONRY VENEER LIGHT GREY BRICK VENEER FINISH 7 - INTAKE/EXAUST LOUVER - SEE MECHANICAL 28 - WALL-MOUNTED A/C UNIT - SEE MECHANICAL



**ANDREW MCCREIGHT** MANAGER (A), DEVELOPMENT REVIEW CENTRAL PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

> APPROVED By Andrew McCreight at 2:47 pm, Aug 23, 2022





	136.980 A - @ ROOF L/P
	@ MECH. LÔBBŶ A - @ MECH. L/P
99 90 	130.480 18 TH FLOOR - A
00 	127.480 17 TH FLOOR - A
8 8 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	124.480 16TH FLOOR
	121.480 15'TH FLOOR
8 	118.480 14'TH FLOOR
900 	115.480 13TH FLOOR
99 99 99	112.480 12'TH FLOOR
∞ 	109.480 11'TH FLOOR
	106.480 10'TH FLOOR
	9'TH FLOOR
21	100.480 8TH FLOOR
320	97.480 7TH FLOOR
	94.280 6TH FLOOR
	91.280 5'TH FLOOR
88 88 88 88	4'TH FLOOR 85.280
900 200	3RD FLOOR
4500 1500 1500 1500 1500 1500 1500 1500	2ND FLOOR
	77.780 GROUND FLOOR

NOTE MINIMUM STC REQUIREMENTS FOR ALL RESIDENTIAL WINDOWS, WINDOW WALLS AND DOORS ON THE EAST AND WEST ELEVATIONS; SEE ACOUSTICAL REPORTS. CONTRACTOR TO INDICATE STC FOR ALL SHOP DRAWINGS BEDROOMS: STC 36

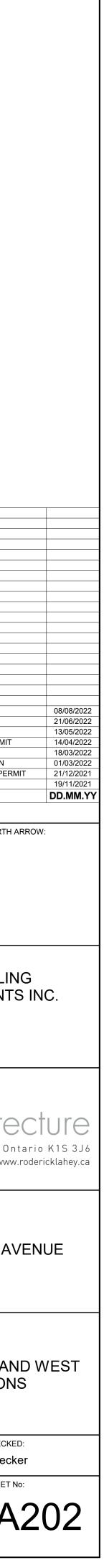
LIVING ROOM STC 31 L1 COMMERCIAL & RESIDENTIAL WINDOWS & DOORS: STC 26

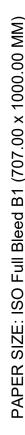
NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES

## IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

) 7627	5	6	3905		
	<b></b>				139.880
				то	WER A - @ ELEV. L/P
		20		2450	WER A - @ ROOF L/P
		33		TOWER A MEGH @ 	LOBBY( <u>134.080</u> ) A@ MECH. LOBBY_ VER A - @ MECH. L/P
				3000	130.480 18 TH FLOOR - A
					127.480 17 TH FLOOR - A
				0000 	
					118.480
				)05 <sup>§</sup>	14'TH FLOOR
				3000	13TH FLOOR
				→ 02 <sup>8</sup>	
				0000	
				00000	
			<b>~</b> _		94.280
en window Priverse Schweizeren Rife Schotzeren Rife Schotzeren				3000	6TH FLOOR
VV06 02 Ver White No. Provide Store Provide Sto	WOG WOG	ACCEPTION OF A CONTRACT OF A C		3000	5'TH FLOOR
WU06 PRM WW00W PRW00E SER WW1.ERS 0A SER WW1.ERS 0A RURE SHUTTERES RURE	WOG WOG WOG	W06 I FR WNDOW POWDE SR WNDEY RS RUE SWDTERS	WINDOW WITE AS OF SOME SAME AS A SAME ASAME AS A SAME AS A SAME AS A SAME AS A SAME AS	04 08	
W06	WOG When or shutter of the second sec	W06		01 01	
					<u>82.280</u> 2ND FLOOR
	AND THE PARTY OF T		AVINO AVINO	24	PRE-CAST TO MASONRY 81.
					GROUND FLOOR

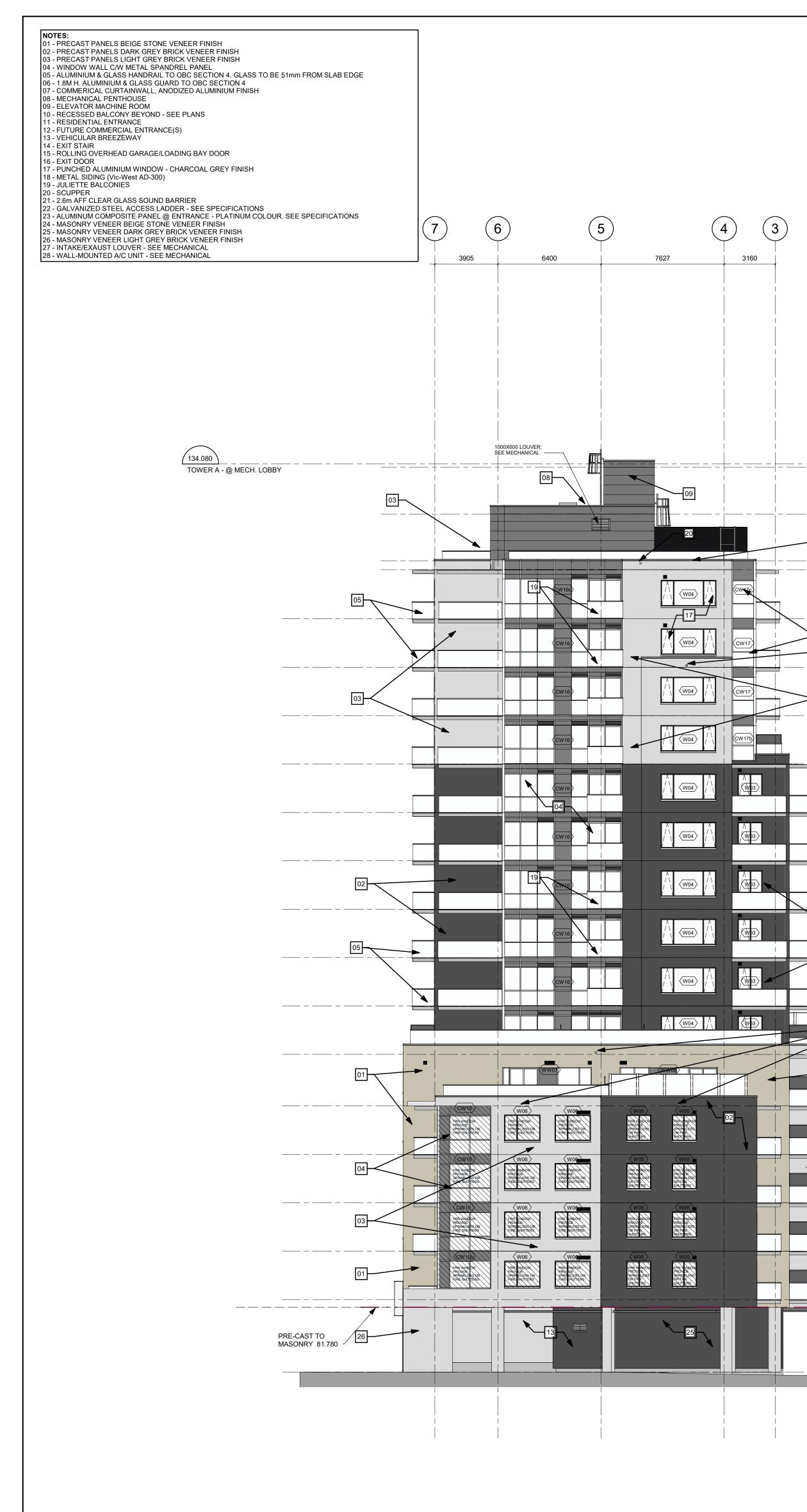
16	ISSUED FOR TENDER	R-III
15 14	ISSUED FOR TENDER	
13	ISSUED FOR BULIDING	
11	ISSUED FOR COORDIN	NATION
9 8	ISSUED FOR FOUNDA ISSUED FOR 33% REV	
	DESCRIPTION	
No.		
REVISIO	NS:	
REVISIO	NS:	NORTH
REVISIO	NS:	NORTH
REVISIO	NS:	NORTH
ARCHITE	NS: ECT SEAL: ASSO CONTECTS Z	NORTH
ARCHITE	NS: ECT SEAL: ASSO CONTECTS Z	NORTH
ARCHITE	NS: ECT SEAL: ASSO CONTECTS Z	NORTH
ARCHITE	NS: ECT SEAL: ASSO CONTECTS Z	NORTH
REVISION ARCHITE	NS: ASSO ASSO F COUPECTS COUPEC	
REVISION ARCHITE	NS: COLLECTS OF COLLECTS COLLE	ARLII
REVISION ARCHITE	NS: ASSO ASSO F COUPECTS COUPEC	ARLII
REVISION ARCHITE	NS: COLLECTS OF COLLECTS COLLE	ARLII
REVISION ARCHITE	NS: COLLECTS OF COLLECTS COLLE	ARLII
REVISION ARCHITE	ASSO OF CONTECTS OF LICENCE 4375 1655 CA DEVELOPN	ARLII
REVISION ARCHITE CLIENT: ARCHITE	ASSO OF CONTECTS OF CONTEC	ARLII
REVISION ARCHITE CLIENT: CLIENT:	ASSO OF CONTECTS OF LICENCE 4375 1655 CA DEVELOPN	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT:	ASS CONTECTS OF CONTECTS OT OT CONTECTS OT OT CONTECTS OT OT OT OT OT O	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT:	ASS COLFECTS O COLFECTS O COLFECTS O COLFECTS O TASSO COLFECTS O TASSO	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE 56 Bee t.613.72	ASS COLFECTS O COLFECTS O COLFECTS O COLFECTS O TASSO COLFECTS O TASSO	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIEN	ASS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS ASS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS C	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIEN	ASS COLFECTS O COLFECTS O COLFECTS O COLFECTS O TASSO COLFECTS O TASSO	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIEN	ASS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS ASS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS C	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIEN	ASS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS ASS CONTECTS CONTECTS CONTECTS CONTECTS CONTECTS C	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSOCIENT CHITECTS CHITEC	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSOCIENT CHITECTS CHITEC	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIENT: PROJECT OTTAN SHEET T	NS: ECT SEAL: ASSOCIENT CHITECTS CHITEC	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIENT: PROJECT OTTAN SHEET T	NS: ECT SEAL: ASSO CHITECTS ASSO CHITECTS ETHORICIT ATTEXT 1655 CARLIN ANNON TITLE: 1655 CARLIN WA ON TLE: DWER A EAS	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIENT: PROJECT OTTAN SHEET T	NS: ECT SEAL: ASSOCIENT CHITECTS CHITEC	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIENT: PROJECT OTTAN SHEET T	NS: ECT SEAL: ASSO CHITECTS ASSO CHITECTS ETHORICIT ATTEXT 1655 CARLIN ANNON TITLE: 1655 CARLIN WA ON TLE: DWER A EAS	ARLII MENT
REVISION ARCHITE CLIENT: CLIENT: ARCHITE CLIENT: CLIENT: PROJECT OTTAN SHEET T	NS: ECT SEAL: ASSO CHITECTS CHIT	ARLII MENT
REVISION ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHITECTS ASSO CHITECTS ETCH LICENCE 4375 4375 1655 CA LICENCE 4375 4375 4375 4375 CHITECTS CHITECTS CONTENTS 4375 4375 4375 4375 CHITECTS CONTENTS 4375 4	
REVISION ARCHITE ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHITECTS ASSO CHITECTS ETCH LICENCE 4375 4375 1655 CA LICENCE 4375 4375 4375 4375 CHITECTS CHITECTS CONTENTS 4375 4375 4375 4375 CHITECTS CONTENTS 4375 4	ARLII MENT
REVISION ARCHITE ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHITECTS ASSO CHITECTS TOTECTS ASSO CHITECTS ASSO CHITECTS ASSO THOUGH CHITECTS ASSO TOTECTS ASSO	
REVISION ARCHITE ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHITECTS ASSO CHITECTS TOTECTS ASSO CHITECTS ASSO CHITECTS ASSO THOUGH CHITECTS ASSO TOTECTS ASSO	ARLII MENT
REVISION ARCHITE ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHIPECTS ENCLA-LAHEY ICENCE 4375 1655 CA DEVELOPN CONCELOPN	ARLII MENT
REVISION ARCHITE ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHIPECTS ENCLA-LAHEY ICENCE 4375 1655 CA DEVELOPN CONCELOPN	ARLII MENT
REVISION ARCHITE CLIENT: CLIEN	NS: ECT SEAL: ASSO CHIPECTS ENCLA-LAHEY ICENCE 4375 1655 CA DEVELOPN CONCELOPN	ARLII MENT











(3)

\_ \_\_\_\_



	J. MErcenft			4550	6940	3 (2	•
PLANNING, REA	ANDREW MCCREIGHT A), DEVELOPMENT REVIEW AL ESTATE & ECONOMIC DE PARTMENT, CITY OF OTTAW	VELOPMENT					
	APPROVED By Andrew McCreight at 2:47 p	om, Aug 23, 2022					
	133.880 T/O ELV. ROOF @ L/P						
02							
т	ER B MECH. @L/P WER B MECH. @L/P						wp3
20	16TH FLOOR		   				
3	15'TH FLOOR 15'TH FLOOR 118.480 14'TH FLOOR						
	8 115.480 13TH FLOOR						
	8 112.480 12'TH FLOOR				05		
	00000000000000000000000000000000000000	=					
·	00000000000000000000000000000000000000						
	9'TH FLOOR						
20	00.480 8TH FLOOR				21		
01	00000000000000000000000000000000000000						
<u> </u>	6TH FLOOR			<del></del>			
	5'TH FLOOR 88.280 4'TH FLOOR						
	85.280 3RD FLOOR						
	82.280 2ND FLOOR						
	<sup>6</sup> 77.780						

2 TOWER B WEST ELEVATION A203 1:150

