

- NOTES:**
- 01 - PRECAST PANELS BEIGE STONE VENEER FINISH
  - 02 - PRECAST PANELS DARK GREY BRICK VENEER FINISH
  - 03 - PRECAST PANELS LIGHT GREY BRICK VENEER FINISH
  - 04 - WINDOW WALL C/W METAL SPANDREL PANEL
  - 05 - ALUMINIUM & GLASS HANDRAIL TO CBC SECTION 4. GLASS TO BE 51mm FROM SLAB EDGE
  - 06 - 1.8M H. ALUMINIUM & GLASS GUARD TO CBC SECTION 4
  - 07 - COMMERCIAL CURTAINWALL, ANODIZED ALUMINIUM FINISH
  - 08 - MECHANICAL PENTHOUSE
  - 09 - ELEVATOR MACHINE ROOM
  - 10 - RECESSED BALCONY BEYOND - SEE PLANS
  - 11 - RESIDENTIAL ENTRANCE
  - 12 - FUTURE COMMERCIAL ENTRANCE(S)
  - 13 - VEHICULAR BREEZEWAY
  - 14 - EXIT STAIR
  - 15 - ROLLING OVERHEAD GARAGE/LOADING BAY DOOR
  - 16 - EXIT DOOR
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  - 18 - METAL SIDING (150-Width AD-300)
  - 19 - JULIETTE BALCONIES
  - 20 - SCUPPER
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  - 22 - GALVANIZED STEEL ACCESS LADDER - SEE SPECIFICATIONS
  - 23 - ALUMINIUM COMPOSITE PANEL @ ENTRANCE - PLATINUM COLOUR. SEE SPECIFICATIONS
  - 24 - MASONRY VENEER BEIGE STONE VENEER FINISH
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  - 27 - INTAKE/EXHAUST LOUVER - SEE MECHANICAL
  - 28 - WALL-MOUNTED A/C UNIT - SEE MECHANICAL

*Andrew McCreight*

**ANDREW MCCREIGHT**  
**MANAGER (A), DEVELOPMENT REVIEW CENTRAL**  
**PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT**  
**DEPARTMENT, CITY OF OTTAWA**

**APPROVED**  
 By Andrew McCreight at 2:47 pm, Aug 23, 2022

NOTE MINIMUM STC REQUIREMENTS FOR ALL RESIDENTIAL WINDOWS, WINDOW WALL ASSEMBLIES AND DOORS ON THE SOUTH ELEVATIONS; SEE ACOUSTICAL REPORTS. CONTRACTOR TO INDICATE STC FOR ALL SHOP DRAWINGS

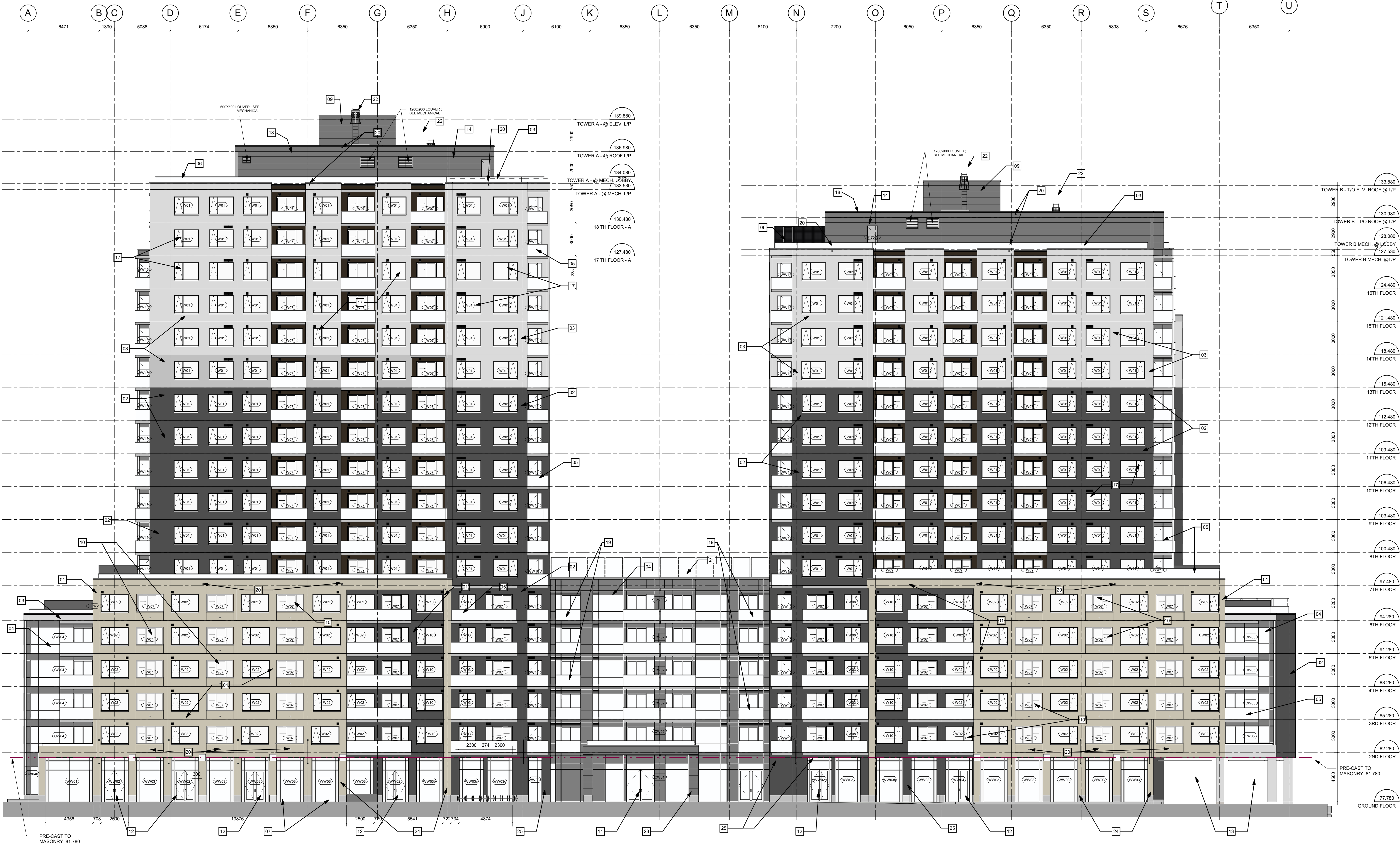
BEDROOMS: STC 38  
 LIVING ROOM STC 34  
 L1 COMMERCIAL & RESIDENTIAL WINDOWS & DOORS: STC 29

NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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No.	DESCRIPTION	DATE
16	ISSUED FOR TENDER R-II	08/08/2022
15	ISSUED FOR TENDER R-II	21/06/2022
14	ISSUED FOR TENDER	13/05/2022
13	ISSUED FOR BUILDING PERMIT	14/04/2022
12	ISSUED FOR 60% REVIEW	18/03/2022
11	ISSUED FOR COORDINATION	01/03/2022
9	ISSUED FOR FOUNDATION PERMIT	21/12/2021
8	ISSUED FOR 35% REVIEW	19/11/2021

ARCHITECT SEAL: NORTH ARROW:

CLIENT: **1655 CARLING DEVELOPMENTS INC.**

ARCHITECT: **rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE: **1655 CARLING AVENUE**

OTTAWA ON

SHEET TITLE: **SOUTH ELEVATION**

DRAWN: Author	CHECKED: Checker
SCALE: As indicated	SHEET No: <b>A200</b>
PROJECT No: 2120	

**1 SOUTH ELEVATION.**  
 A200 1:150

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

PLOT DATE: 2022-08-15 2:17:13 PM  
 C:\Users\gesparza\OneDrive - Roderick Laney Architect Inc\Documents\2120\_1655 Carling\_Central\_WORKING DRAWINGS\_gesparza8UZZ.rvt

- NOTES:**
- 01 - PRECAST PANELS BEIGE STONE VENEER FINISH
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  - 05 - ALUMINIUM & GLASS HANDRAIL TO OBC SECTION 4. GLASS TO BE 51mm FROM SLAB EDGE
  - 06 - 1.8M H. ALUMINIUM & GLASS GUARD TO OBC SECTION 4
  - 07 - COMMERCIAL CURTAINWALL, ANODIZED ALUMINIUM FINISH
  - 08 - MECHANICAL PENTHOUSE
  - 09 - ELEVATOR MACHINE ROOM
  - 10 - RECESSED BALCONY BEYOND - SEE PLANS
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  - 12 - FUTURE COMMERCIAL ENTRANCE(S)
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  - 16 - EXIT DOOR
  - 17 - PUNCHED ALUMINIUM WINDOW - CHARCOAL GREY FINISH
  - 18 - METAL SIDING (150-1600 AD-300)
  - 19 - JULIETTE BALCONIES
  - 20 - SCUPPER
  - 21 - 2.6m HFF CLEAR GLASS SOUND BARRIER
  - 22 - GALVANIZED STEEL ACCESS LADDER - SEE SPECIFICATIONS
  - 23 - ALUMINIUM COMPOSITE PANEL @ ENTRANCE - PLATINUM COLOUR. SEE SPECIFICATIONS
  - 24 - MASONRY VENEER BEIGE STONE VENEER FINISH
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  - 27 - INTAKE/EXHAUST LOUVER - SEE MECHANICAL
  - 28 - WALL-MOUNTED A/C UNIT - SEE MECHANICAL

*Andrew McCreight*

**ANDREW MCCREIGHT**  
 MANAGER (A), DEVELOPMENT REVIEW CENTRAL  
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
 DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
 By Andrew McCreight at 2:47 pm, Aug 23, 2022

NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES

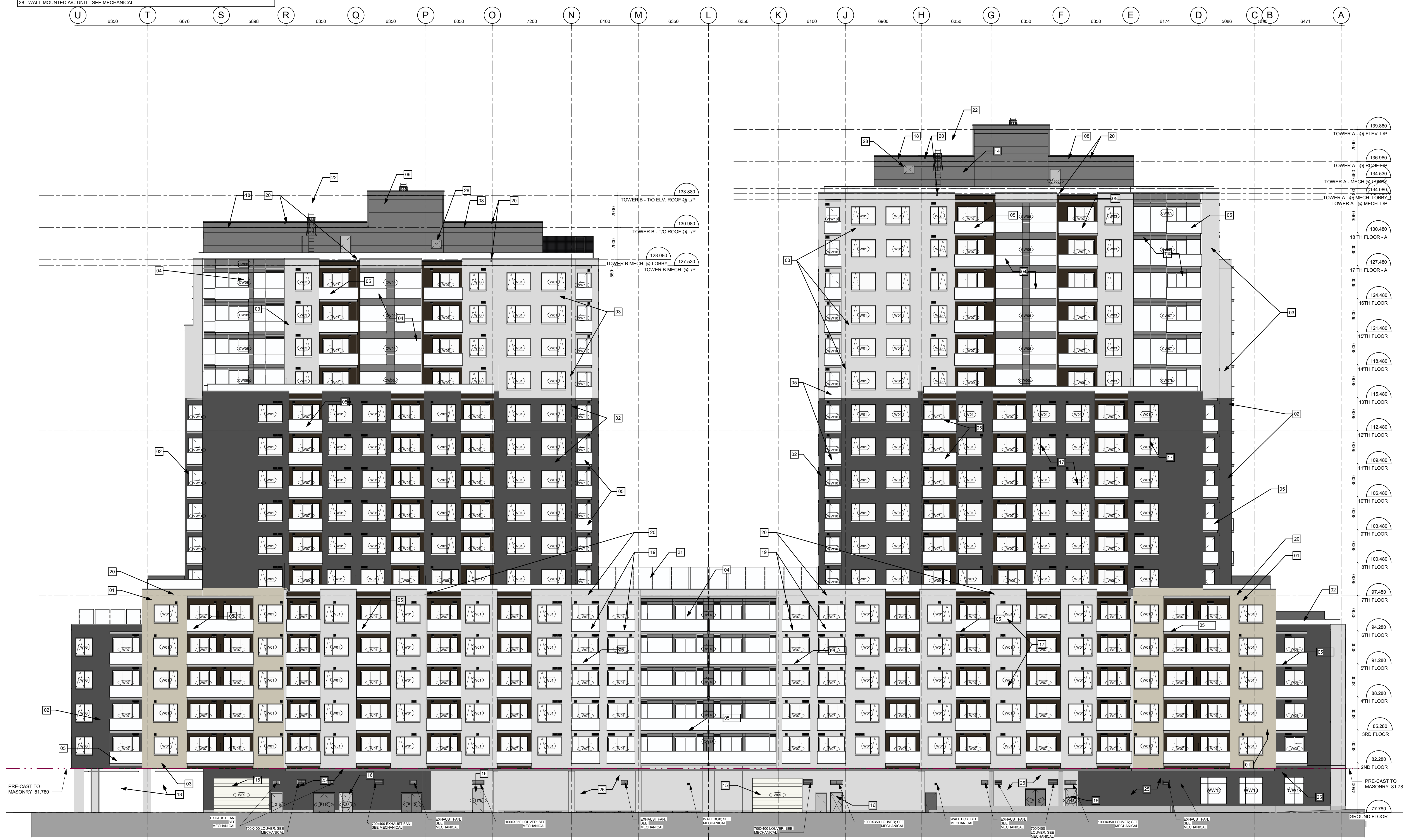
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**1 NORTH BUILDING ELEVATION**  
 A201 1:150

No.	DESCRIPTION	DATE
16	ISSUED FOR TENDER R-III	08/08/2022
15	ISSUED FOR TENDER R-II	21/06/2022
14	ISSUED FOR TENDER	13/05/2022
13	ISSUED FOR BUILDING PERMIT	14/04/2022
12	ISSUED FOR 66% REVIEW	18/03/2022
11	ISSUED FOR COORDINATION	01/03/2022
9	ISSUED FOR FOUNDATION PERMIT	21/12/2021
8	ISSUED FOR 33% REVIEW	19/11/2021
1	ISSUED FOR COMMUNITY MEETING	03/10/2019

ARCHITECT SEAL: **RODERICK LANEY ARCHITECTS**  
 ARCHITECTS  
 RODERICK LANEY  
 LICENCE 4378

NORTH ARROW:

CLIENT:  
**1655 CARLING DEVELOPMENTS INC.**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

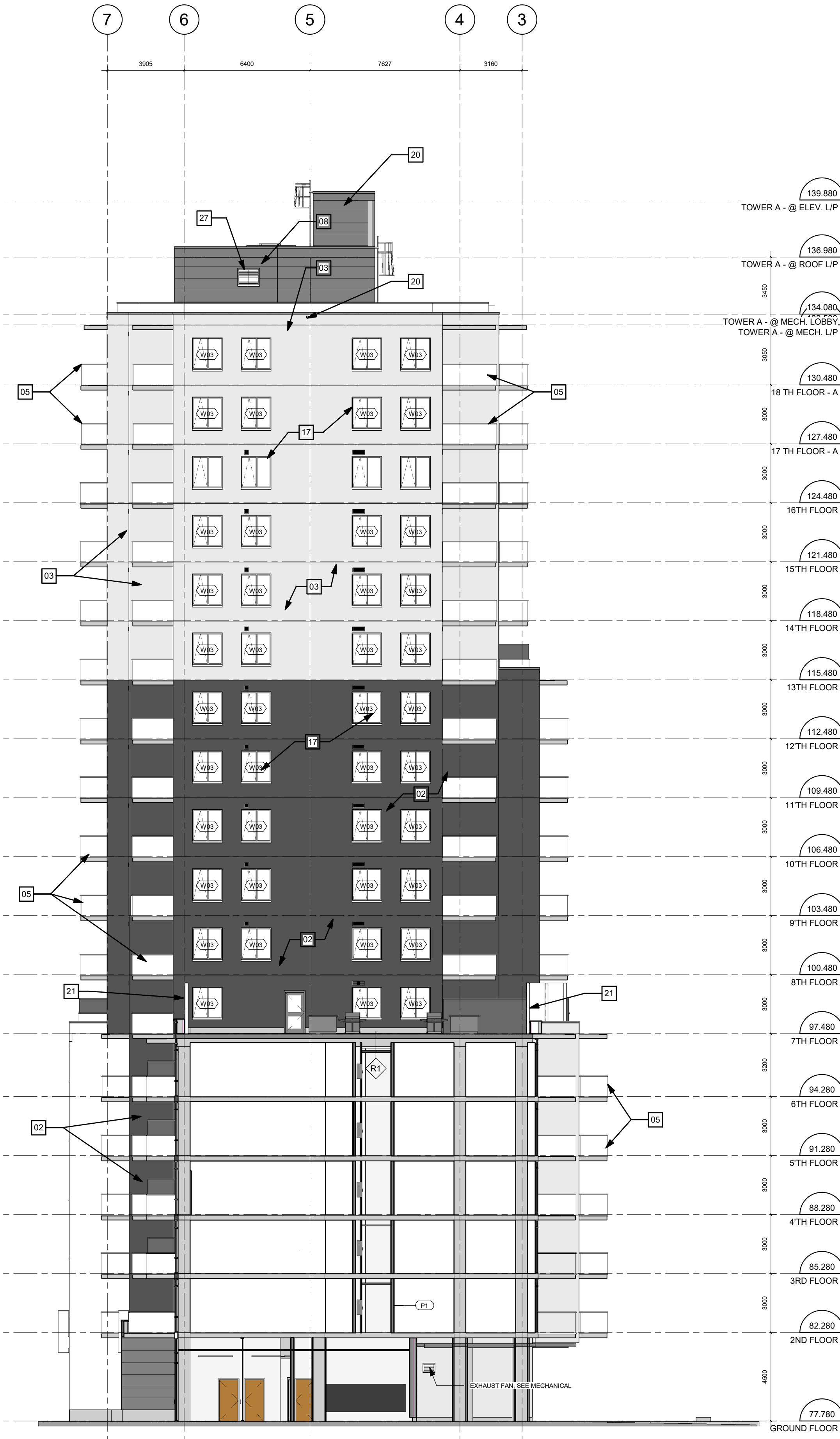
PROJECT TITLE:  
**1655 CARLING AVENUE**

OTTAWA ON

SHEET TITLE:  
**NORTH ELEVATION**

DRAWN: Author	CHECKED: Checker
SCALE: As indicated	SHEET No: <b>A201</b>
PROJECT No: 2120	

- NOTES:**
- 01 - PRECAST PANELS BEIGE STONE VENEER FINISH
  - 02 - PRECAST PANELS DARK GREY BRICK VENEER FINISH
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  - 05 - ALUMINIUM & GLASS HANDRAIL TO CBC SECTION 4. GLASS TO BE 51mm FROM SLAB EDGE
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  - 18 - METAL SIDING (V19-W166 AD-300)
  - 19 - JULIETTE BALCONIES
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  - 28 - WALL-MOUNTED A/C UNIT - SEE MECHANICAL



1 TOWER A EAST ELEVATION  
A202 1: 150

*Andrew McCreight*

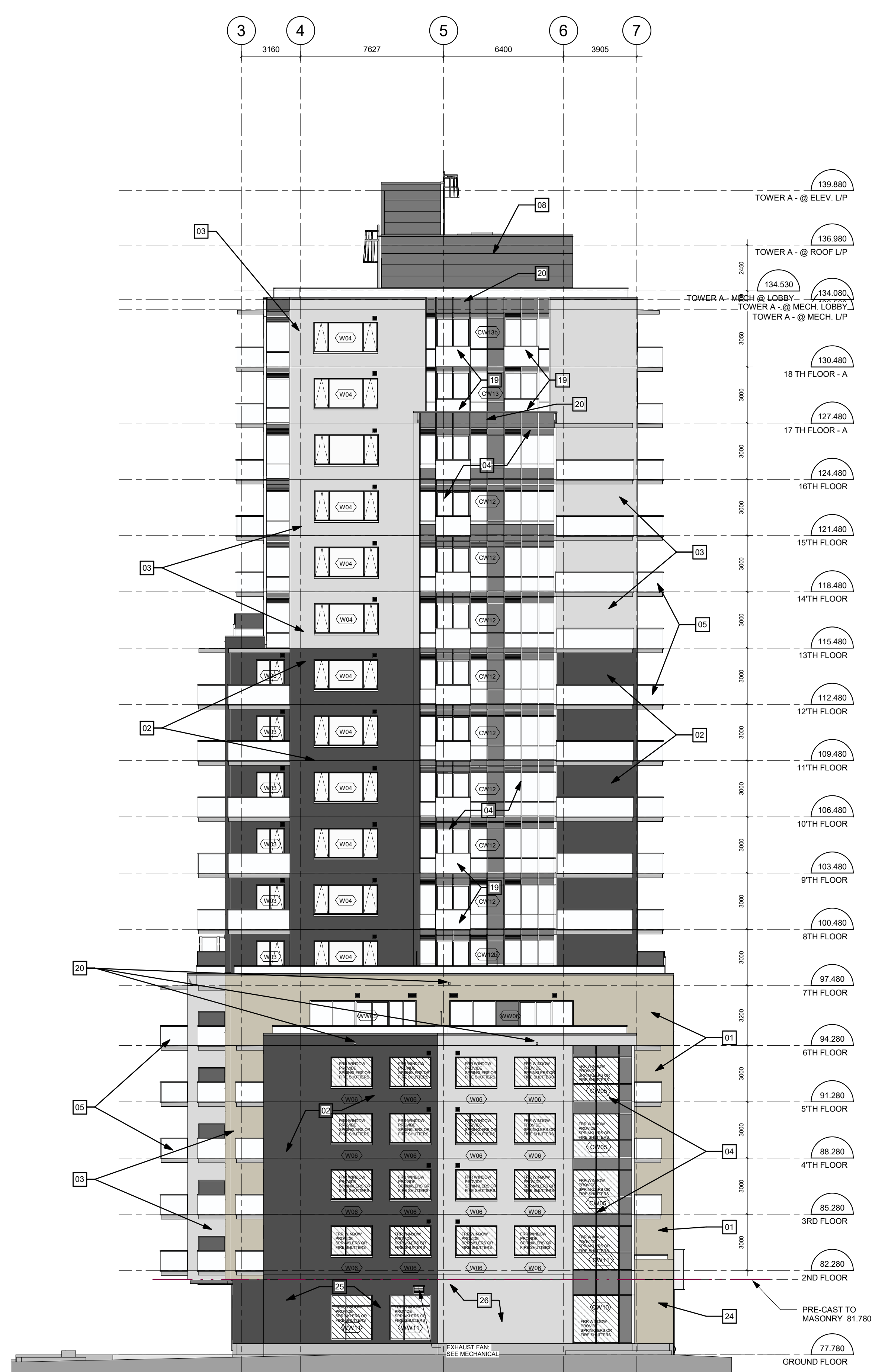
**ANDREW MCCREIGHT**  
MANAGER (A), DEVELOPMENT REVIEW CENTRAL  
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Andrew McCreight at 2:47 pm, Aug 23, 2022

NOTE MINIMUM STC REQUIREMENTS FOR ALL RESIDENTIAL WINDOWS, WINDOW WALLS AND DOORS ON THE EAST AND WEST ELEVATIONS; SEE ACOUSTICAL REPORTS. CONTRACTOR TO INDICATE STC FOR ALL SHOP DRAWINGS

BEDROOMS: STC 36  
LIVING ROOM STC 31  
L1 COMMERCIAL & RESIDENTIAL WINDOWS & DOORS: STC 26

NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES



2 TOWER A WEST ELEVATION  
A202 1: 150

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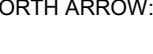
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11	ISSUED FOR COORDINATION	01/03/2022
9	ISSUED FOR FOUNDATION PERMIT	21/12/2021
8	ISSUED FOR 35% REVIEW	19/11/2021

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  
**1655 CARLING DEVELOPMENTS INC.**

ARCHITECT:  
**rla/architecture**  
56 Beech Street, Ottawa, Ontario K1S 3J6  
t.613.724.9932 f.613.724.1209 www.rodericklathey.ca

PROJECT TITLE:  
**1655 CARLING AVENUE**

OTTAWA ON  
SHEET TITLE:  
**TOWER A EAST AND WEST ELEVATIONS**

DRAWN: Author	CHECKED: Checker
SCALE: As indicated	SHEET No: <b>A202</b>
PROJECT No: 2120	

- NOTES:**
- 01 - PRECAST PANELS BEIGE STONE VENEER FINISH
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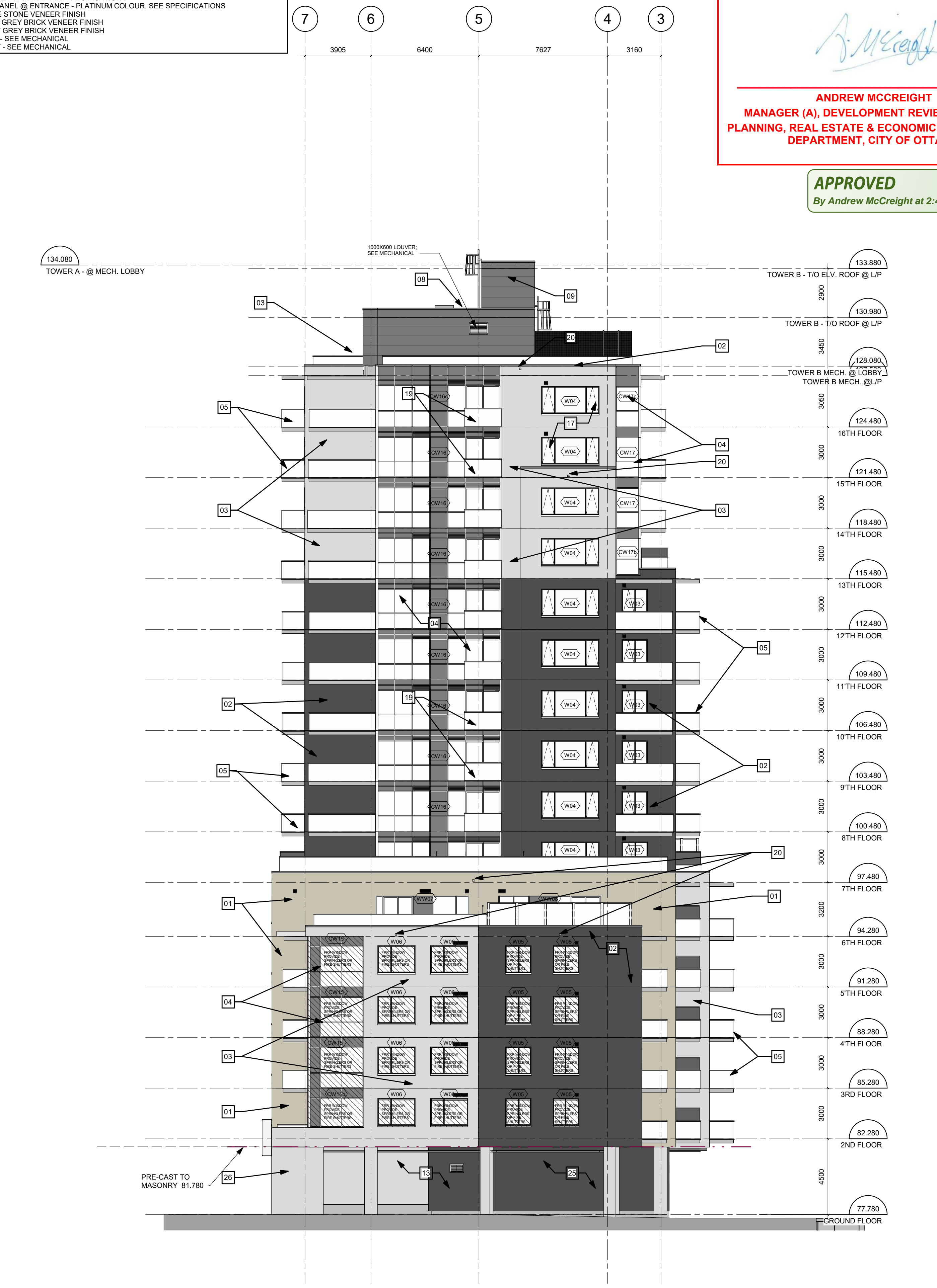
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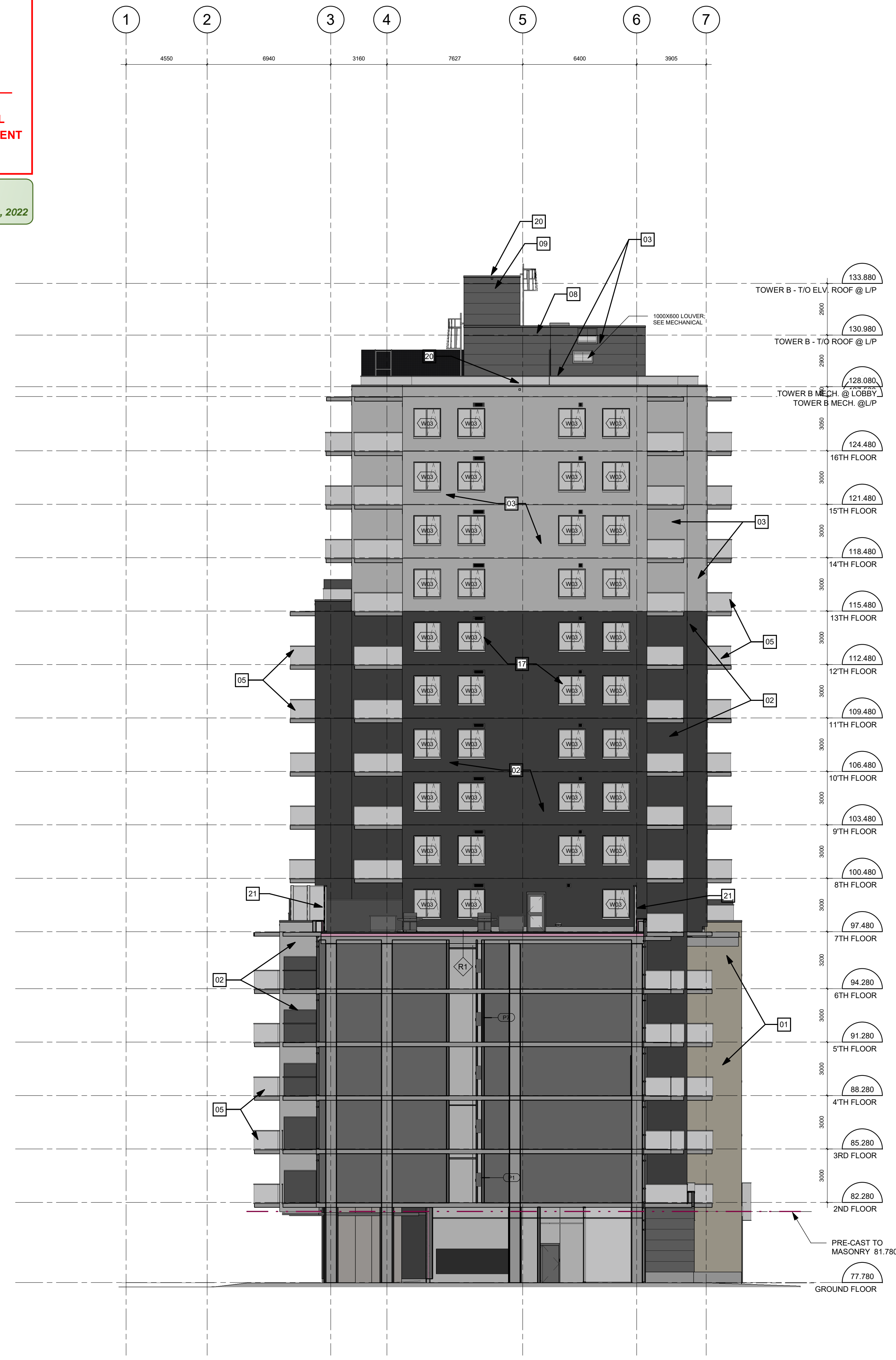
*Andrew McCreight*

**ANDREW MCCREIGHT**  
 MANAGER (A), DEVELOPMENT REVIEW CENTRAL  
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
 DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
 By Andrew McCreight at 2:47 pm, Aug 23, 2022



1 TOWER B EAST ELEVATION.  
 A203 1:150



2 TOWER B WEST ELEVATION  
 A203 1:150

No.	DESCRIPTION	DD.MM.YY
16	ISSUED FOR TENDER R-III	08/08/2022
15	ISSUED FOR TENDER R-II	21/06/2022
14	ISSUED FOR TENDER	13/05/2022
13	ISSUED FOR BUILDING PERMIT	14/04/2022
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11	ISSUED FOR COORDINATION	01/03/2022

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NORTH ARROW:

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**1655 CARLING DEVELOPMENTS INC.**

ARCHITECT:  
**rla/architecture**  
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 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE:  
**1655 CARLING AVENUE**

OTTAWA ON  
 SHEET TITLE:  
**TOWER B EAST AND WEST ELEVATIONS**

DRAWN: Author	CHECKED: Checker
SCALE: As indicated	SHEET No: <b>A203</b>
PROJECT No: 2120	