

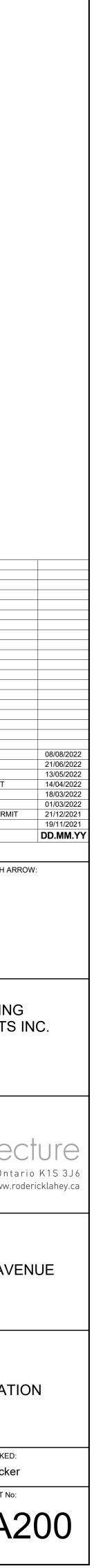
By Andrew McCreight at 2:47 pm, Aug 23, 2022	:)
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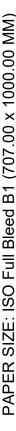
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13 12 11 9 8 No.	ISSUED FOR BULIDING PERMIT ISSUED FOR 66% REVIEW ISSUED FOR COORDINATION ISSUED FOR FOUNDATION PERMIT ISSUED FOR 33% REVIEW DESCRIPTION	14/04/202 18/03/202 01/03/202 21/12/202 19/11/202 DD.MM.
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CLIENT:	LICENCE 4375 1655 CARLING	
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SHEET T		
	SOUTH ELEVATION	1

IT IS THE RESPONSIBILITY OF THE APPROPRIATE

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR

RAWN:	CHECK
Author	Chec
CALE:	SHEET
As indicated	Λ
PROJECT No:	
2120	













A201 1 : 150

ANDREW MCCREIGHT MANAGER (A), DEVELOPMENT REVIEW CENTRAL PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

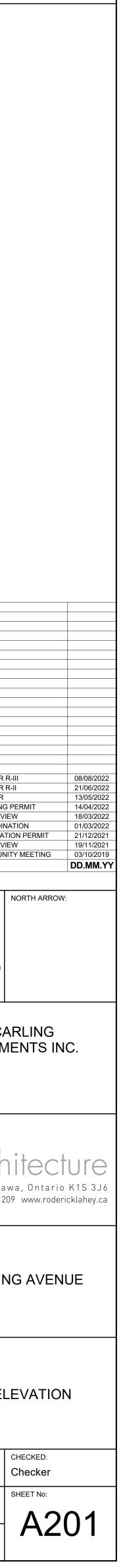
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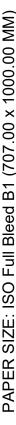
By Andrew McCreight at 2:47 pm, Aug 23, 2022

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	1000X350 LOUVER: SEE MECHANICAL		EXHAUST FAN; SEE MECHANICAL	15 X; SEE CAL 700X400 LOUV MECHANICAL			50 LOUVER; SEE MECHANICAL	WALL BOX; MECHANICA	SEE

PERTINENT CODES AND BY-LAWS. MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED. (F) (E) 6174 **G**) (D) (A) 6350 5086 139.880 _____ TOWER A - @ ELEV. L/P - 08 (136.980 ` TOWER A - @ ROOF LAP (134.530) TOWER A - MECH @ LOBBY TOWER A - @ MECH. L/P (130.480 ` 18 TH FLOOR - A (127.480 ` 17 TH FLOOR - A 124.480 16TH FLOOR 121.480 15'TH FLOOR (118.480) 14'TH FLOOR CW07b 115.480 13TH FLOOR 112.480 ISSUED FOR TENDER R-III 12'TH FLOOR ISSUED FOR TENDER R-II ISSUED FOR TENDER ISSUED FOR BULIDING PERMIT ISSUED FOR 66% REVIEW 109.480 ISSUED FOR COORDINATION ISSUED FOR FOUNDATION PERMIT 11'TH FLOOR ISSUED FOR 33% REVIEW ISSUED FOR COMMUNITY MEETING No. DESCRIPTION (106.480) **REVISIONS**: 10'TH FLOOR ARCHITECT SEAL: NO ASSOC (103.480) 9'TH FLOOR ARCHITECTS HODERICK I. LAHEY 100.480 8TH FLOOR wos (W01) CLIENT: 97.480 1655 CARLING 7TH FLOOR DEVELOPMENTS INC. 94.280 6TH FLOOR ////// 05 91.280 ARCHITECT: 5'TH FLOOR W08 88.280 4'TH FLOOR 56 Beech Street, Ottawa, Ontario K1S 3J WDB t.613.724.9932 f.613.724.1209 www.rodericklahey.ca 85.280 3RD FLOOR PROJECT TITLE: 82.280 1655 CARLING AVENUE 2ND FLOOR – PRE-CAST TO MASONRY 81.780 WW12 OTTAWA ON 77.780 SHEET TILE: GROUND FLOOR EXHAUST FAN; SEE MECHANICAL 1000X350 LOUVER; SEE MECHANICAL NORTH ELEVATION

NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH

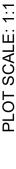




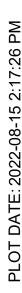
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR

ALL CONTRACTORS MUST COMPLY WITH ALL

OMISSIONS TO THE ARCHITECT.







DRAWN:

Author

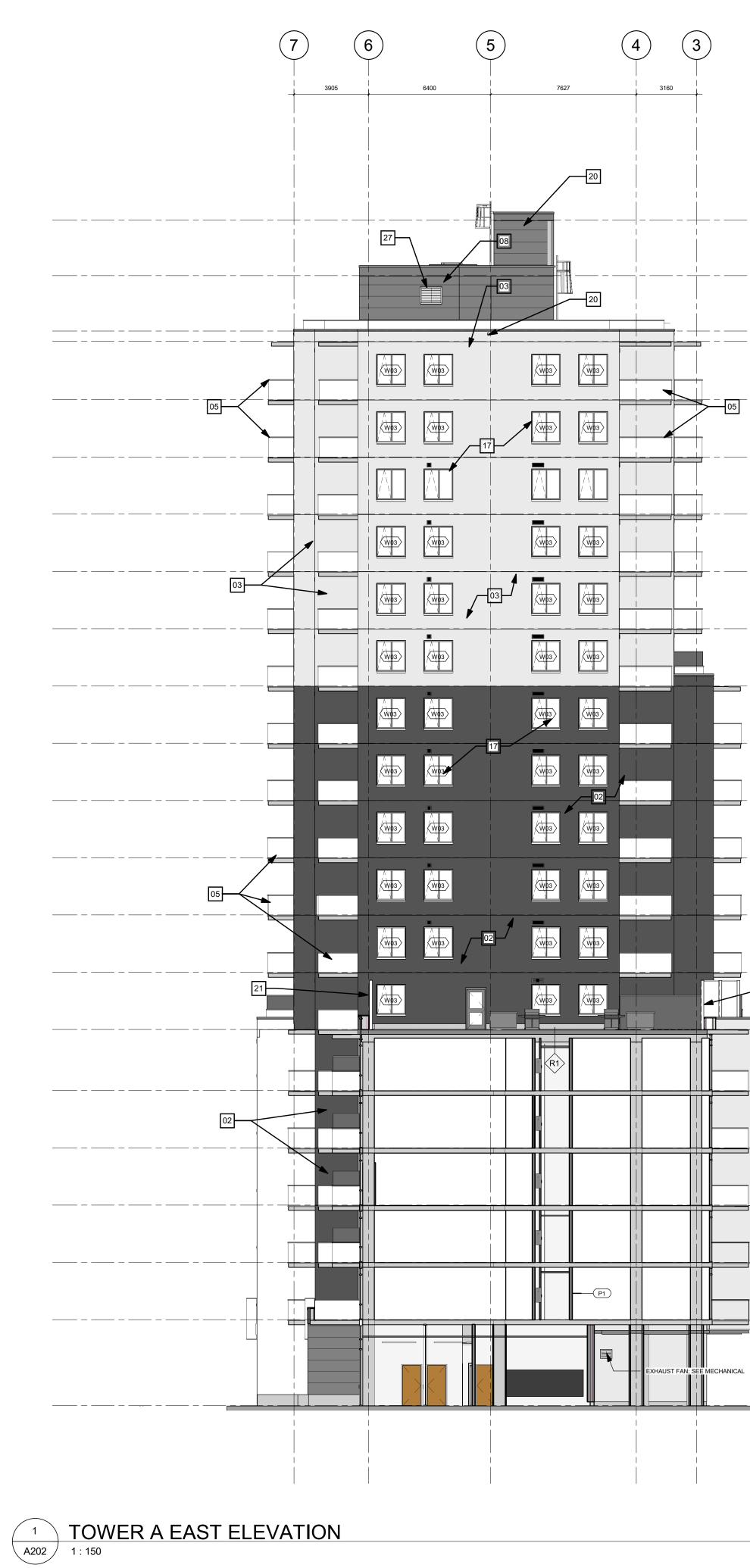
SCALE:

As indicated

PROJECT No: 2120

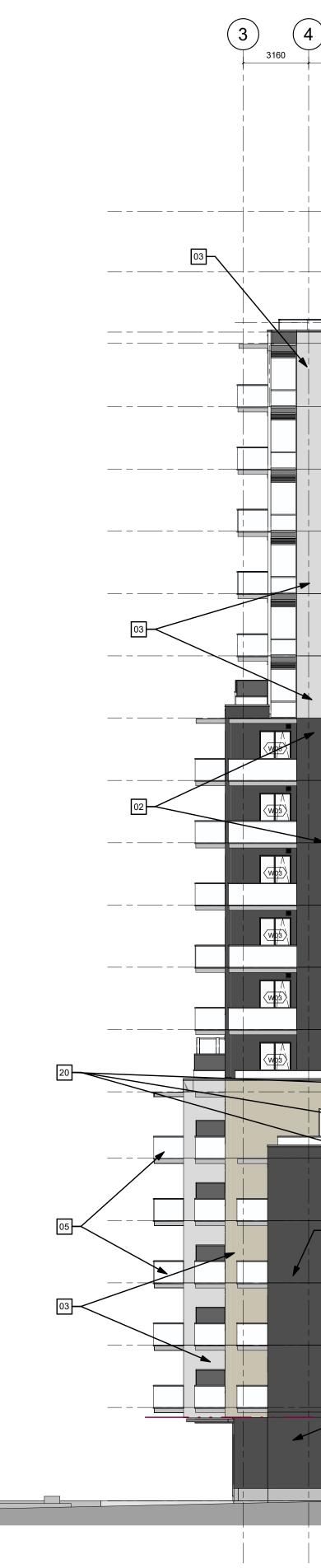


- 03 PRECAST PANELS LIGHT GREY BRICK VENEER FINISH 4 - WINDOW WALL C/W METAL SPANDREL PANEL 05 - ALUMINIUM & GLASS HANDRAIL TO OBC SECTION 4. GLASS TO BE 51mm FROM SLAB EDGE
- 06 1.8M H. ALUMINIUM & GLASS GUARD TO OBC SECTION 4 07 COMMERICAL CURTAINWALL, ANODIZED ALUMINIUM FINISH
- 08 MECHANICAL PENTHOUSE 09 - ELEVATOR MACHINE ROOM
- 0 RECESSED BALCONY BEYOND SEE PLANS 1 - RESIDENTIAL ENTRANCE
- 12 FUTURE COMMERCIAL ENTRANCE(S) 13 VEHICULAR BREEZEWAY 14 - EXIT STAIR
- 15 ROLLING OVERHEAD GARAGE/LOADING BAY DOOR
- 16 EXIT DOOR 17 - PUNCHED ALUMINIUM WINDOW - CHARCOAL GREY FINISH 18 - METAL SIDING (Vic-West AD-300)
- 19 JULIETTE BALCONIES
- 20 SCUPPER
- 21 2.6m AFF CLEAR GLASS SOUND BARRIER 22 GALVANIZED STEEL ACCESS LADDER SEE SPECIFICATIONS 23 - ALUMINUM COMPOSITE PANEL @ ENTRANCE - PLATINUM COLOUR. SEE SPECIFICATIONS
- 24 MASONRY VENEER BEIGE STONE VENEER FINISH 25 MASONRY VENEER DARK GREY BRICK VENEER FINISH
- 26 MASONRY VENEER LIGHT GREY BRICK VENEER FINISH 7 - INTAKE/EXAUST LOUVER - SEE MECHANICAL 28 - WALL-MOUNTED A/C UNIT - SEE MECHANICAL



ANDREW MCCREIGHT MANAGER (A), DEVELOPMENT REVIEW CENTRAL PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

> APPROVED By Andrew McCreight at 2:47 pm, Aug 23, 2022





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900 200	3RD FLOOR
4500 1500 1500 1500 1500 1500 1500 1500	2ND FLOOR
	77.780 GROUND FLOOR

NOTE MINIMUM STC REQUIREMENTS FOR ALL RESIDENTIAL WINDOWS, WINDOW WALLS AND DOORS ON THE EAST AND WEST ELEVATIONS; SEE ACOUSTICAL REPORTS. CONTRACTOR TO INDICATE STC FOR ALL SHOP DRAWINGS BEDROOMS: STC 36

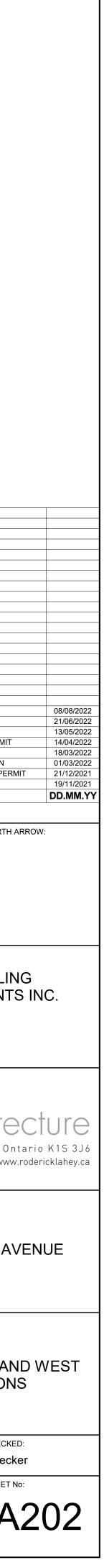
LIVING ROOM STC 31 L1 COMMERCIAL & RESIDENTIAL WINDOWS & DOORS: STC 26

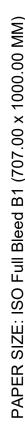
NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

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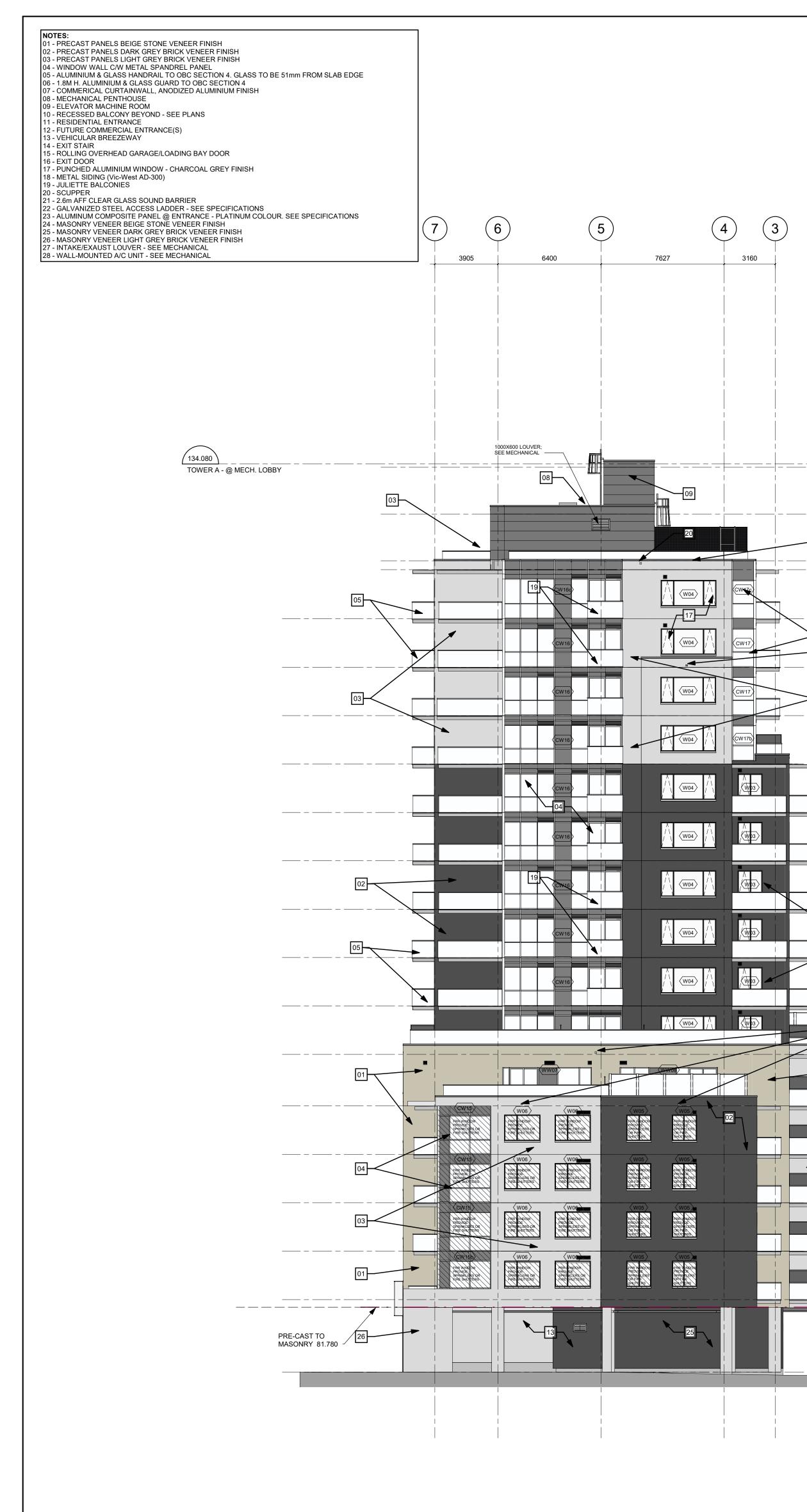
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PLANNING, REA	ANDREW MCCREIGHT A), DEVELOPMENT REVIEW AL ESTATE & ECONOMIC DE PARTMENT, CITY OF OTTAW	VELOPMENT					
	APPROVED By Andrew McCreight at 2:47 p	om, Aug 23, 2022					
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