

By Andrew McCreight at 2:47 pm, Aug 23, 2022	:)
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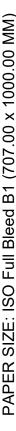
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IT IS THE RESPONSIBILITY OF THE APPROPRIATE

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR

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Author	Chec
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As indicated	Λ
PROJECT No:	
2120	













A201 1 : 150

ANDREW MCCREIGHT MANAGER (A), DEVELOPMENT REVIEW CENTRAL PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

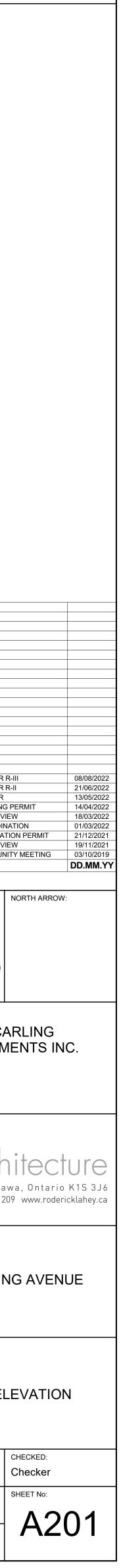
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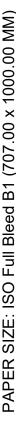
By Andrew McCreight at 2:47 pm, Aug 23, 2022

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	1000X350 LOUVER: SEE MECHANICAL		EXHAUST FAN; SEE MECHANICAL	15 X; SEE CAL 700X400 LOUV MECHANICAL			50 LOUVER; SEE MECHANICAL	WALL BOX; MECHANICA	SEE

PERTINENT CODES AND BY-LAWS. MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED. (F) (E) 6174 **G**)  $(\mathsf{D})$ (A) 6350 5086 139.880 \_\_\_\_\_ TOWER A - @ ELEV. L/P - 08 ( 136.980 ` TOWER A - @ ROOF LAP (134.530) TOWER A - MECH @ LOBBY TOWER A - @ MECH. L/P ( 130.480 ` 18 TH FLOOR - A ( 127.480 ` 17 TH FLOOR - A 124.480 16TH FLOOR 121.480 15'TH FLOOR (118.480) 14'TH FLOOR CW07b 115.480 13TH FLOOR 112.480 ISSUED FOR TENDER R-III 12'TH FLOOR ISSUED FOR TENDER R-II ISSUED FOR TENDER ISSUED FOR BULIDING PERMIT ISSUED FOR 66% REVIEW 109.480 ISSUED FOR COORDINATION ISSUED FOR FOUNDATION PERMIT 11'TH FLOOR ISSUED FOR 33% REVIEW ISSUED FOR COMMUNITY MEETING No. DESCRIPTION (106.480) **REVISIONS**: 10'TH FLOOR ARCHITECT SEAL: NO ASSOC ( 103.480 ) 9'TH FLOOR ARCHITECTS HODERICK I. LAHEY 100.480 8TH FLOOR wos (W01) CLIENT: 97.480 1655 CARLING 7TH FLOOR DEVELOPMENTS INC. 94.280 6TH FLOOR ////// 05 91.280 ARCHITECT: 5'TH FLOOR W08 88.280 4'TH FLOOR 56 Beech Street, Ottawa, Ontario K1S 3J WDB t.613.724.9932 f.613.724.1209 www.rodericklahey.ca 85.280 3RD FLOOR PROJECT TITLE: 82.280 1655 CARLING AVENUE 2ND FLOOR – PRE-CAST TO MASONRY 81.780 WW12 OTTAWA ON 77.780 SHEET TILE: GROUND FLOOR EXHAUST FAN; SEE MECHANICAL 1000X350 LOUVER; SEE MECHANICAL NORTH ELEVATION

## NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH

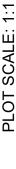




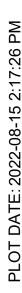
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR

ALL CONTRACTORS MUST COMPLY WITH ALL

OMISSIONS TO THE ARCHITECT.







DRAWN:

Author

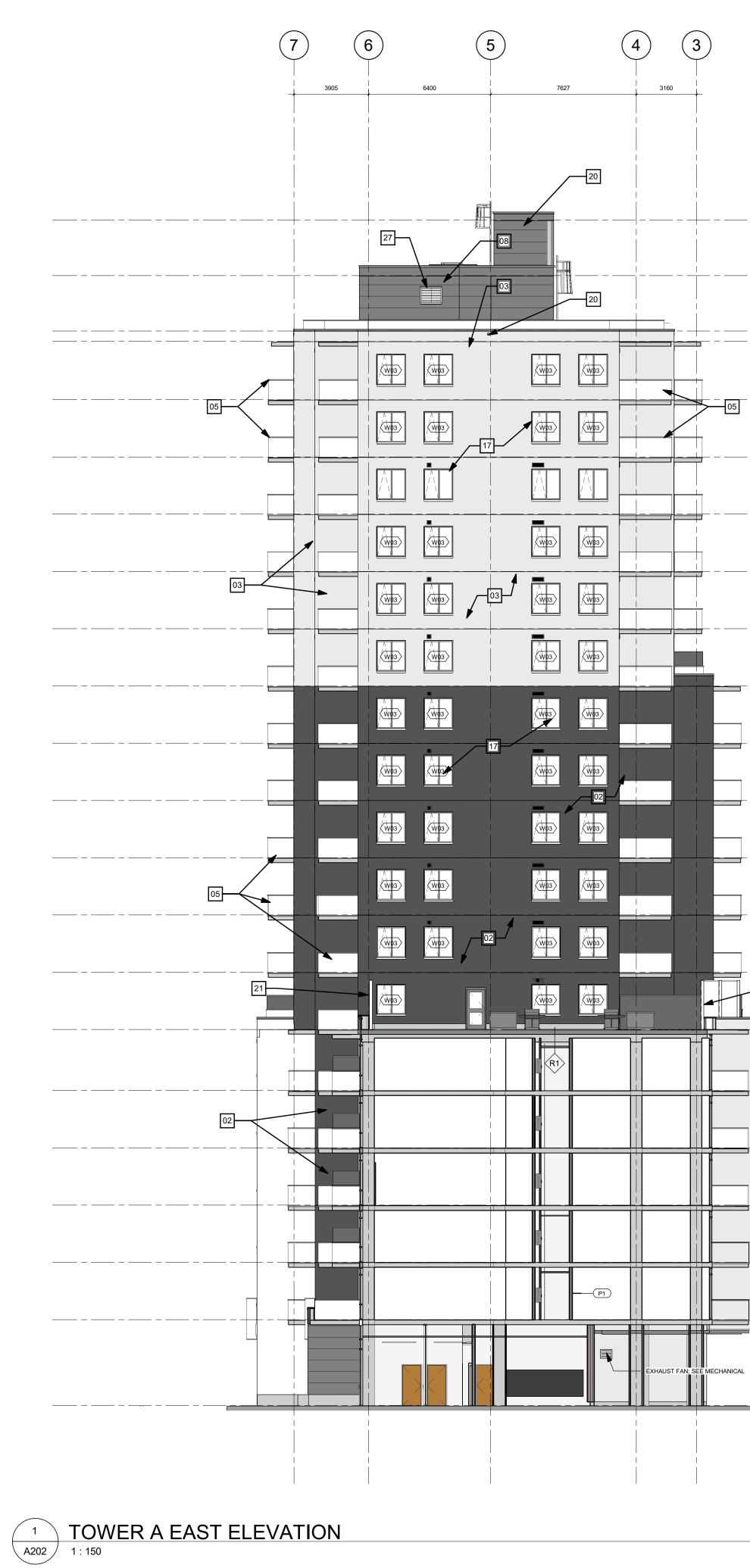
SCALE:

As indicated

PROJECT No: 2120

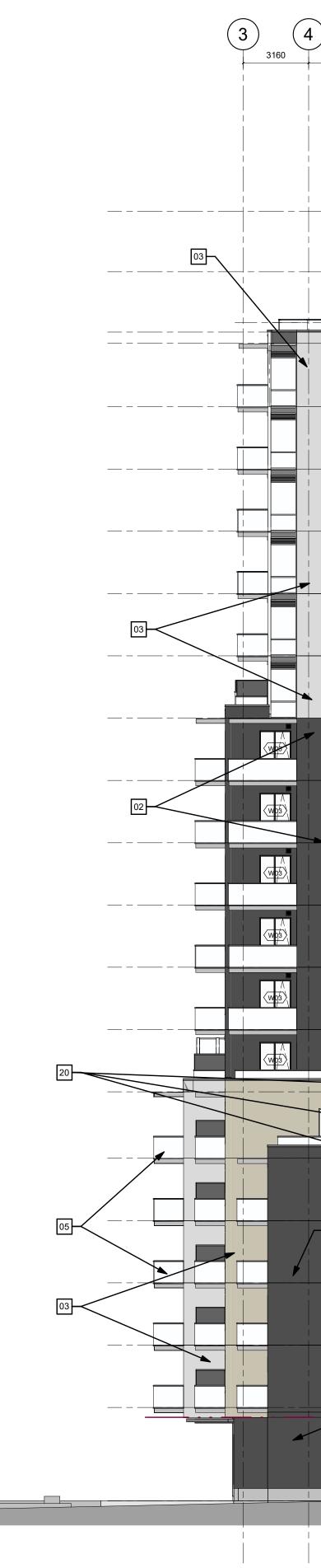


- 03 PRECAST PANELS LIGHT GREY BRICK VENEER FINISH 4 - WINDOW WALL C/W METAL SPANDREL PANEL 05 - ALUMINIUM & GLASS HANDRAIL TO OBC SECTION 4. GLASS TO BE 51mm FROM SLAB EDGE
- 06 1.8M H. ALUMINIUM & GLASS GUARD TO OBC SECTION 4 07 COMMERICAL CURTAINWALL, ANODIZED ALUMINIUM FINISH
- 08 MECHANICAL PENTHOUSE 09 - ELEVATOR MACHINE ROOM
- 0 RECESSED BALCONY BEYOND SEE PLANS 1 - RESIDENTIAL ENTRANCE
- 12 FUTURE COMMERCIAL ENTRANCE(S) 13 VEHICULAR BREEZEWAY 14 - EXIT STAIR
- 15 ROLLING OVERHEAD GARAGE/LOADING BAY DOOR
- 16 EXIT DOOR 17 - PUNCHED ALUMINIUM WINDOW - CHARCOAL GREY FINISH 18 - METAL SIDING (Vic-West AD-300)
- 19 JULIETTE BALCONIES
- 20 SCUPPER
- 21 2.6m AFF CLEAR GLASS SOUND BARRIER 22 GALVANIZED STEEL ACCESS LADDER SEE SPECIFICATIONS 23 - ALUMINUM COMPOSITE PANEL @ ENTRANCE - PLATINUM COLOUR. SEE SPECIFICATIONS
- 24 MASONRY VENEER BEIGE STONE VENEER FINISH 25 MASONRY VENEER DARK GREY BRICK VENEER FINISH
- 26 MASONRY VENEER LIGHT GREY BRICK VENEER FINISH 7 - INTAKE/EXAUST LOUVER - SEE MECHANICAL 28 - WALL-MOUNTED A/C UNIT - SEE MECHANICAL



**ANDREW MCCREIGHT** MANAGER (A), DEVELOPMENT REVIEW CENTRAL PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

> APPROVED By Andrew McCreight at 2:47 pm, Aug 23, 2022





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	77.780 GROUND FLOOR

NOTE MINIMUM STC REQUIREMENTS FOR ALL RESIDENTIAL WINDOWS, WINDOW WALLS AND DOORS ON THE EAST AND WEST ELEVATIONS; SEE ACOUSTICAL REPORTS. CONTRACTOR TO INDICATE STC FOR ALL SHOP DRAWINGS BEDROOMS: STC 36

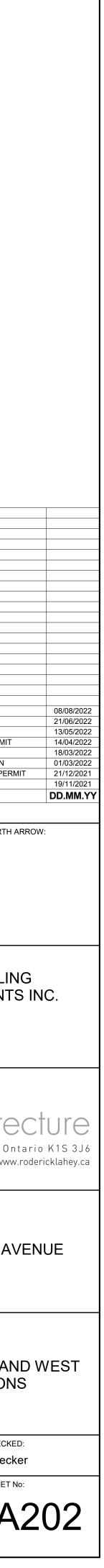
LIVING ROOM STC 31 L1 COMMERCIAL & RESIDENTIAL WINDOWS & DOORS: STC 26

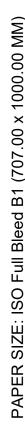
NOTE: L1 ONLY: REPLACE ALL PRE-CAST VENEER WITH MASONRY VENEER; SEE PLANS AND WALL ASSEMBLIES

## IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

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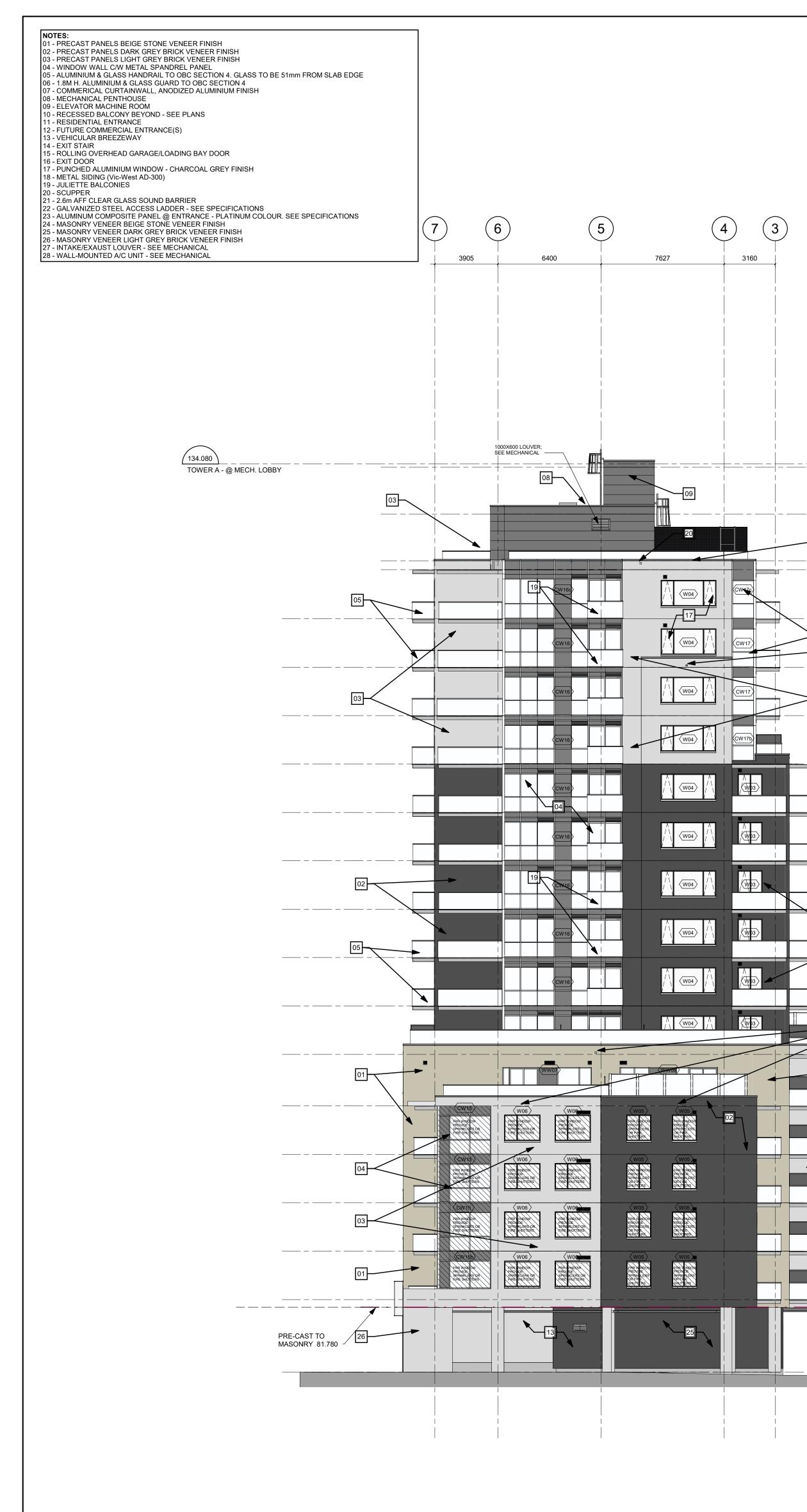
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	APPROVED By Andrew McCreight at 2:47 p	om, Aug 23, 2022					
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