

2 LOCATION PLAN
SCALE: 1 : 3

TOPOGRAPHIC PLAN SURVEY OF
PART OF BLOCK F
REGISTERED PLAN 605
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2020

3 SURVEY INFO
SCALE: 1 : 1

- SITE PLAN SYMBOLS LEGEND**
- BUILDING ENTRANCE
 - BUILDING EXIT
 - LS LIGHT STANDARD

4 SYMBOLS LEGEND
SCALE: 1 : 1

- 1 SOFT LANDSCAPING (REFER TO LANDSCAPE)
- 2 INTERLOCKED CONCRETE PAVERS (REFER TO LANDSCAPE)
- 3 DEPRESSED CURB
- 4 PERMEABLE PAVERS (REFER TO LANDSCAPE)
- 5 PRIVACY SCREEN
- 6 RETAINING WALL
- 7 AREA WELL
- 8 EXISTING SIDEWALK
- 9 NEW CONCRETE SIDEWALK
- 10 EXISTING CONCRETE PAVERS TO BE REMOVED
- 11 EXISTING CONCRETE PAD TO BE REMOVED
- 12 EXISTING ASPHALT DRIVE AISLE TO BE REMOVED
- 13 EXISTING ASPHALT PARKING LOT TO BE REMOVED
- 14 EXISTING SIGNAGE TO BE REMOVED
- 15 EXISTING EXIT ENCLOSURE TO BE DEMOLISHED

KEYNOTE LEGEND
SCALE: N.T.S.

STATISTICS AND ZONING INFORMATION

ZONING DESIGNATION: R4N

Dwelling Units: 35

BICYCLE PARKING CALCULATION
As per Table 111A

Required Parking: 18 spaces
0.5sp/Dwelling unit (111A(0)(i))

Total Parking Provided: 19 spaces

PARKING CALCULATION
As per Section 107 & Section 102

Parking Space Rate Area: Area B

NEW BUILDING

Residential Units: 35 units
Required Parking: 18 spaces
0.5 spaces/unit

Visitor Parking:
Required Parking: 7 spaces
0.2 spaces/unit
Parking Provided: 7 spaces

EXISTING BUILDING

Residential Units: 30 spaces
Required Parking: 15 spaces
0.5 spaces/unit
Parking Provided: 15 spaces

Visitor Parking:
Required Parking: 6 spaces
0.2 spaces/unit
Parking Provided: 7 spaces

Parking Provided: 40 spaces
(13 at Rideshed Length)

Total Required Parking: 46 spaces
Total Parking Provided: 47 spaces

AMENITY AREA CALCULATION
As per Table 137

Total Amenity Area Req'd: 282m²
15m²/unit for first 8
6m²/unit for 9 to 35

Communal Area Required: 141m²
Communal Area Provided: 167m²

Private Amenity Provided: 176m²

Total Amenity Area Provided: 343m²

5 ZONING & STATISTICS
SCALE: 1 : 1

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

4 ISSUED FOR SITE PLAN CONTROL	2020-11-13
3 ISSUED FOR COORDINATION	2020-09-18
2 ISSUED FOR COORDINATION	2020-09-04
1 ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	NOTED	IB/LB	RMK

SITE PLAN

SP-01

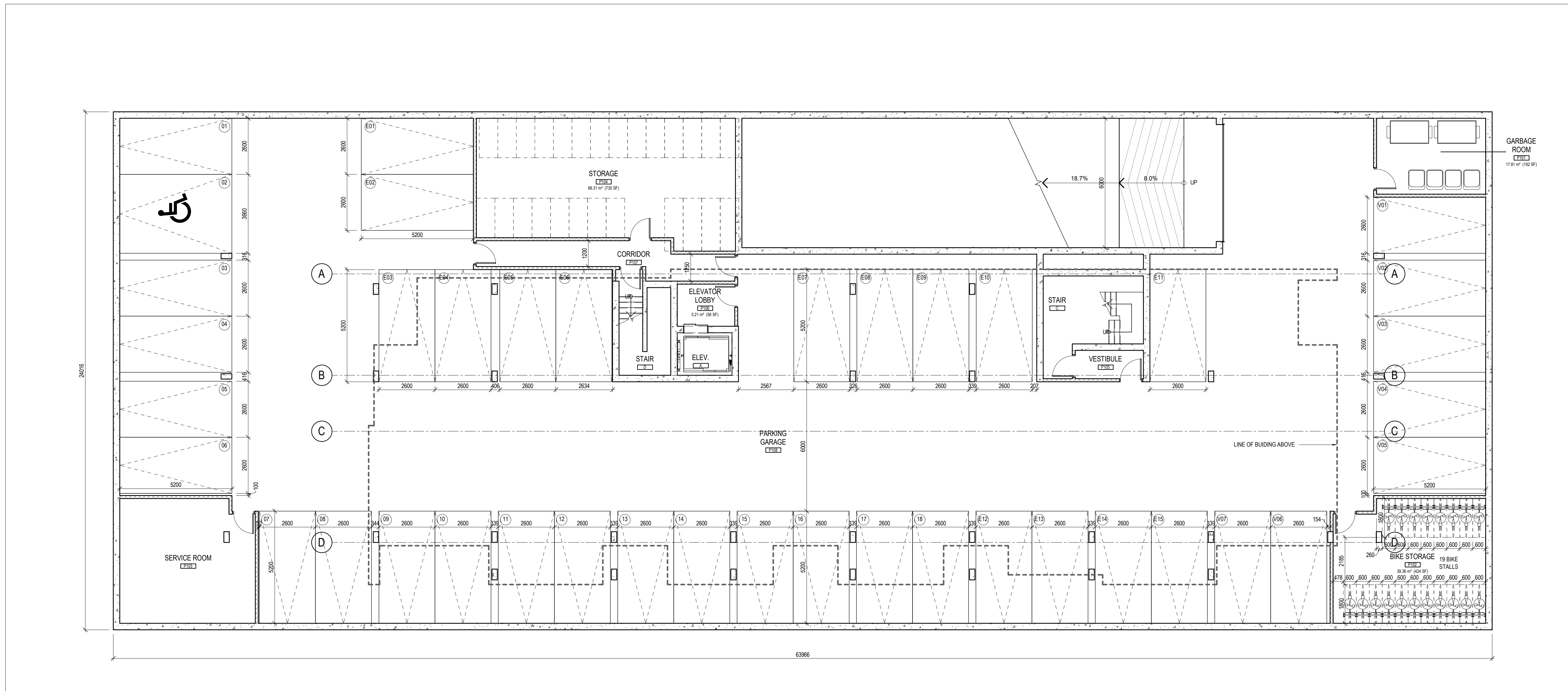
1 SITE PLAN
SCALE: 1 : 150

FOR INFORMATION USE ONLY.

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

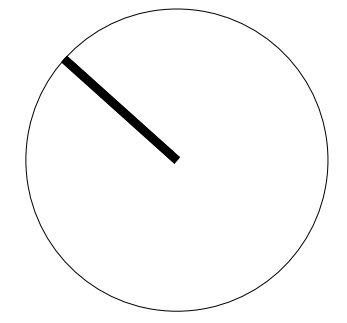
PRINTED: 2020-04-18



GARBAGE ROOM
17.81 m² (192 SF)

4 ISSUED FOR SITE PLAN CONTROL	2020-11-13
3 ISSUED FOR COORDINATION	2020-09-18
2 ISSUED FOR COORDINATION	2020-09-04
1 ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
613.884.9339 | email@project1studio.ca

700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	1 : 100	IB	RMK

LEVEL P1 FLOOR PLAN

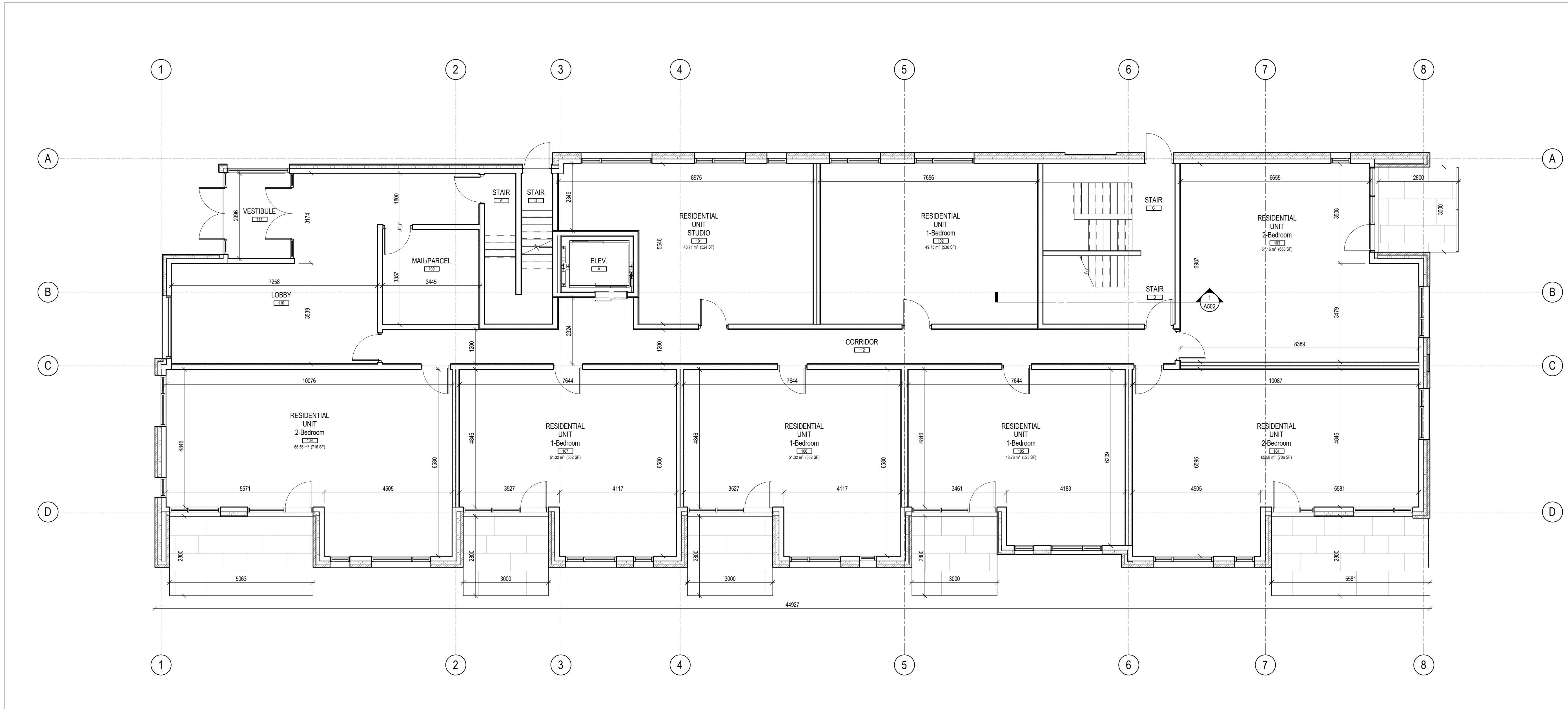
A100

1 LEVEL P1 FLOOR PLAN
SCALE: 1 : 100

FOR INFORMATION USE ONLY.

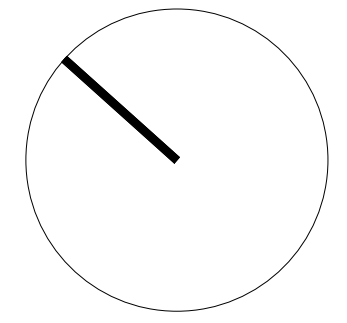
- GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.

PRINTED: 2020-04-18



- 4 ISSUED FOR SITE PLAN CONTROL 2020-11-13
- 3 ISSUED FOR COORDINATION 2020-09-18
- 2 ISSUED FOR COORDINATION 2020-09-04
- 1 ISSUED FOR COORDINATION 2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
613.884.3939 | mail@project1studio.ca

700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	1 : 75	IB	RMK

LEVEL 01 FLOOR PLAN

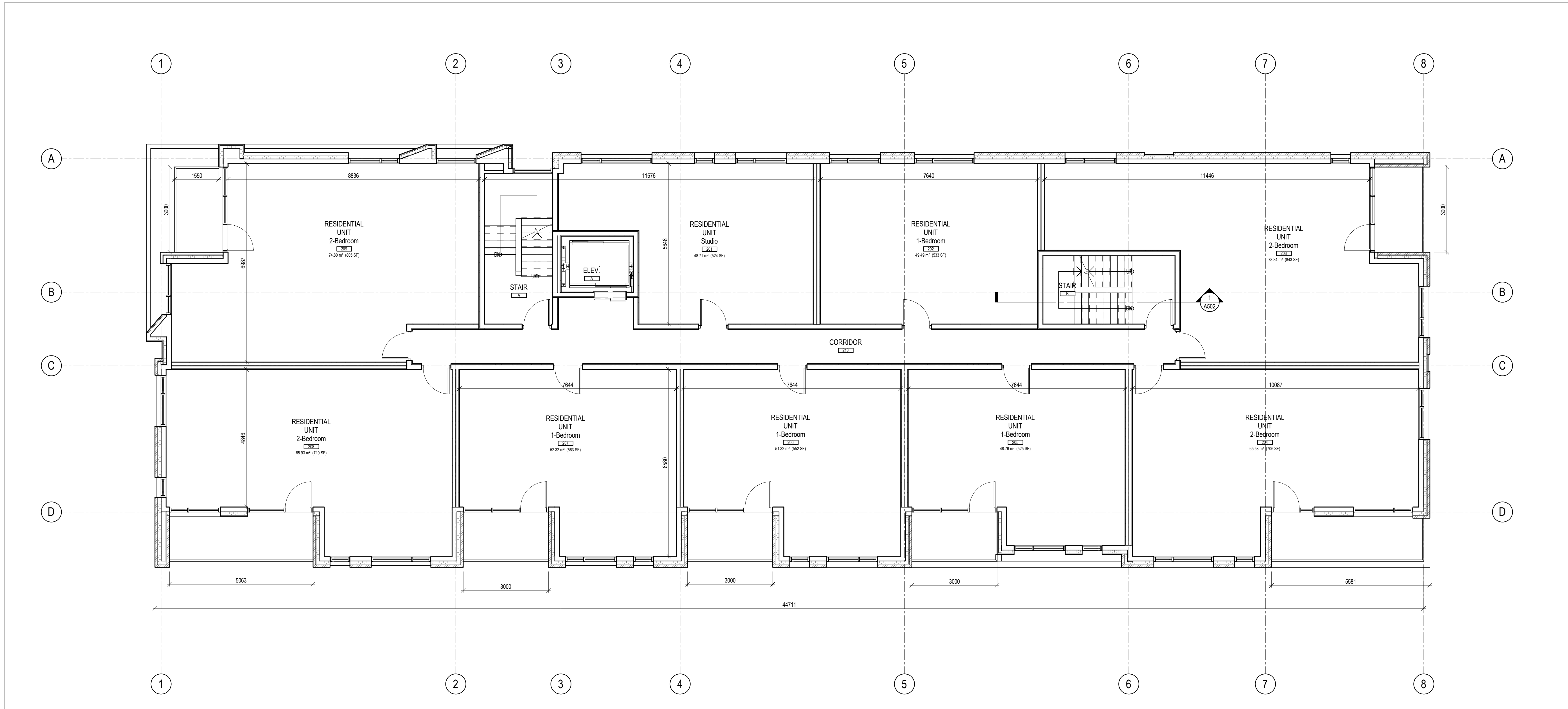
A101

1 LEVEL 01 FLOOR PLAN
A101 SCALE: 1 : 75

FOR INFORMATION USE ONLY.

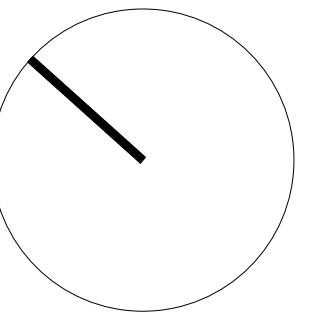
- GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.

PRINTED: 2020-04-18



- 4 ISSUED FOR SITE PLAN CONTROL 2020-11-13
- 3 ISSUED FOR COORDINATION 2020-09-18
- 2 ISSUED FOR COORDINATION 2020-09-04
- 1 ISSUED FOR COORDINATION 2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
613.884.9339 | mail@project1studio.ca

700 Coronation Avenue

700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	1 : 75	IB	RMK

LEVEL 02 FLOOR PLAN

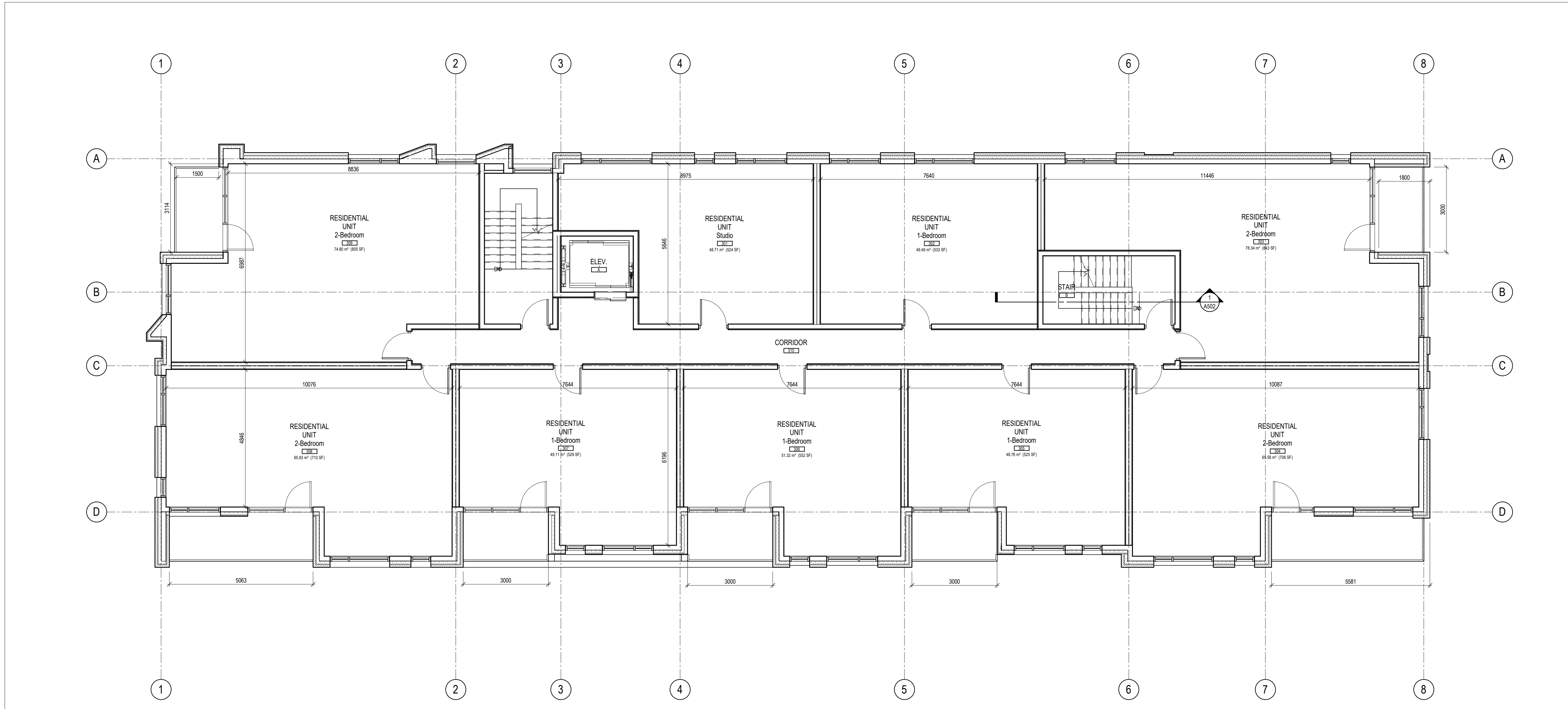
A102

1 LEVEL 02 FLOOR PLAN
A102 SCALE: 1 : 75

FOR INFORMATION USE ONLY.

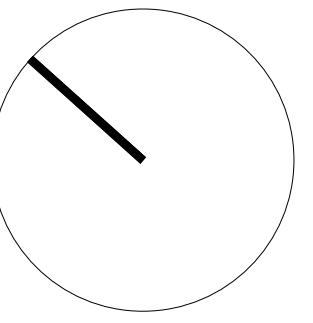
- GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.

PRINTED: 2020-04-18



4	ISSUED FOR SITE PLAN CONTROL	2020-11-13
3	ISSUED FOR COORDINATION	2020-09-18
2	ISSUED FOR COORDINATION	2020-09-04
1	ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
613.884.3939 | mail@project1studio.ca

700 Coronation Avenue

700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	1 : 75	IB	RMK

LEVEL 03 FLOOR PLAN

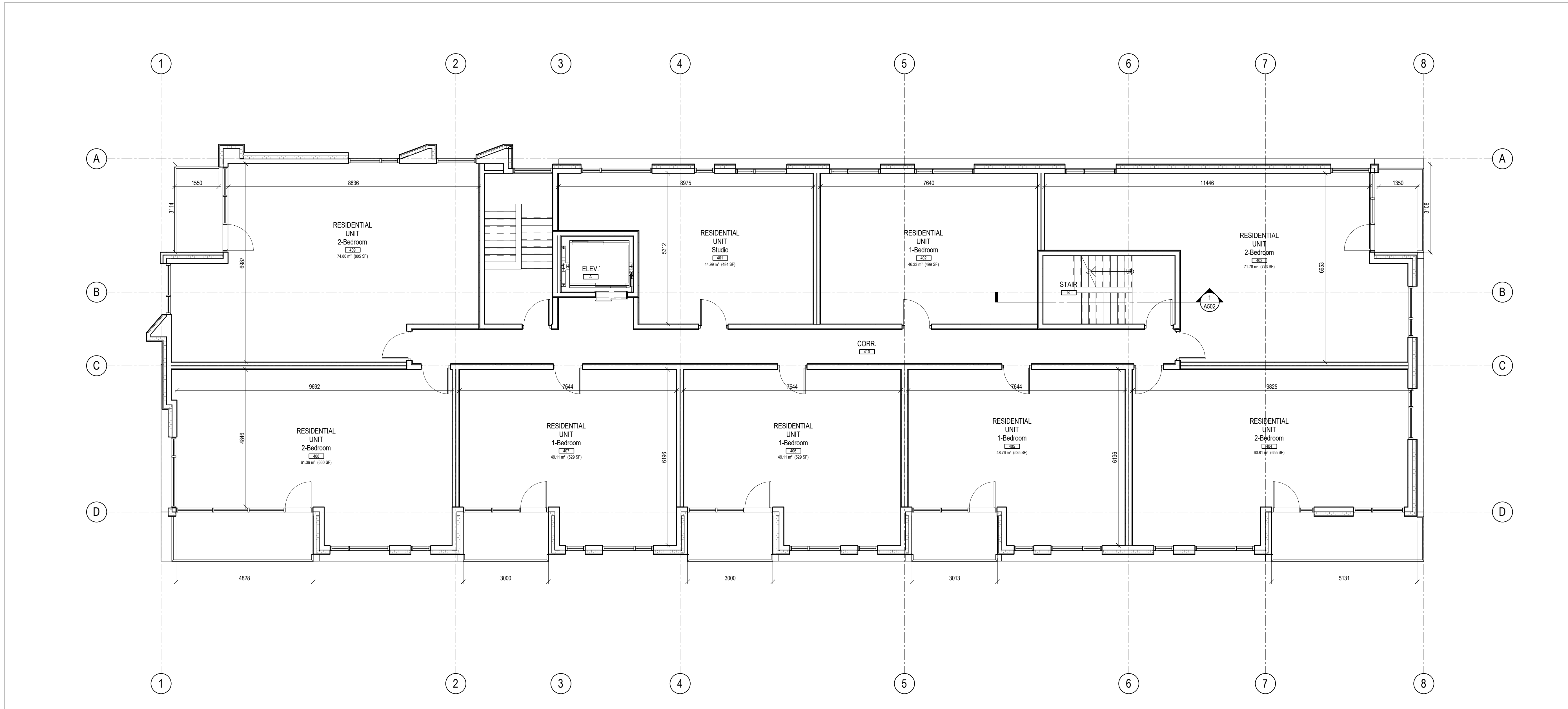
A103

1 LEVEL 03 FLOOR PLAN
SCALE: 1 : 75

FOR INFORMATION USE ONLY.

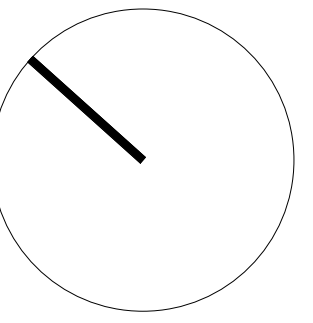
- GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.

PRINTED: 2020-04-18



4	ISSUED FOR SITE PLAN CONTROL	2020-11-13
3	ISSUED FOR COORDINATION	2020-09-18
2	ISSUED FOR COORDINATION	2020-09-04
1	ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
613.884.3939 | mail@project1studio.ca

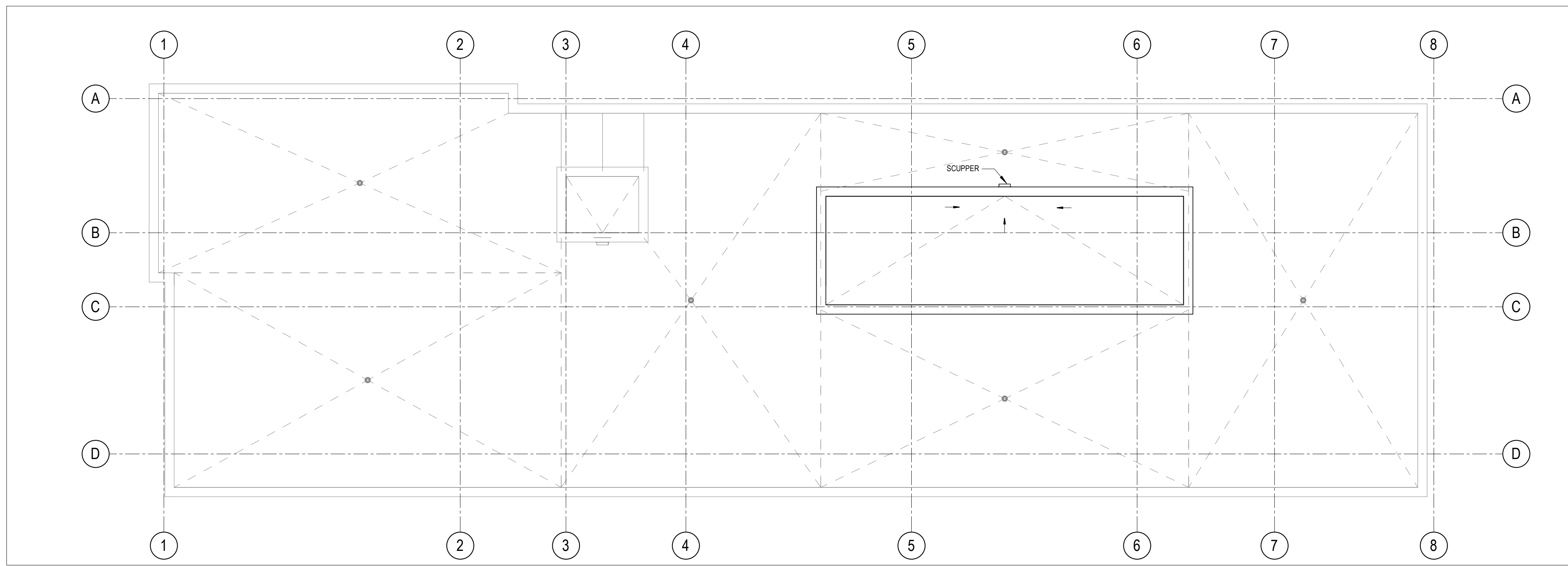
700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	1 : 75	IB	RMK

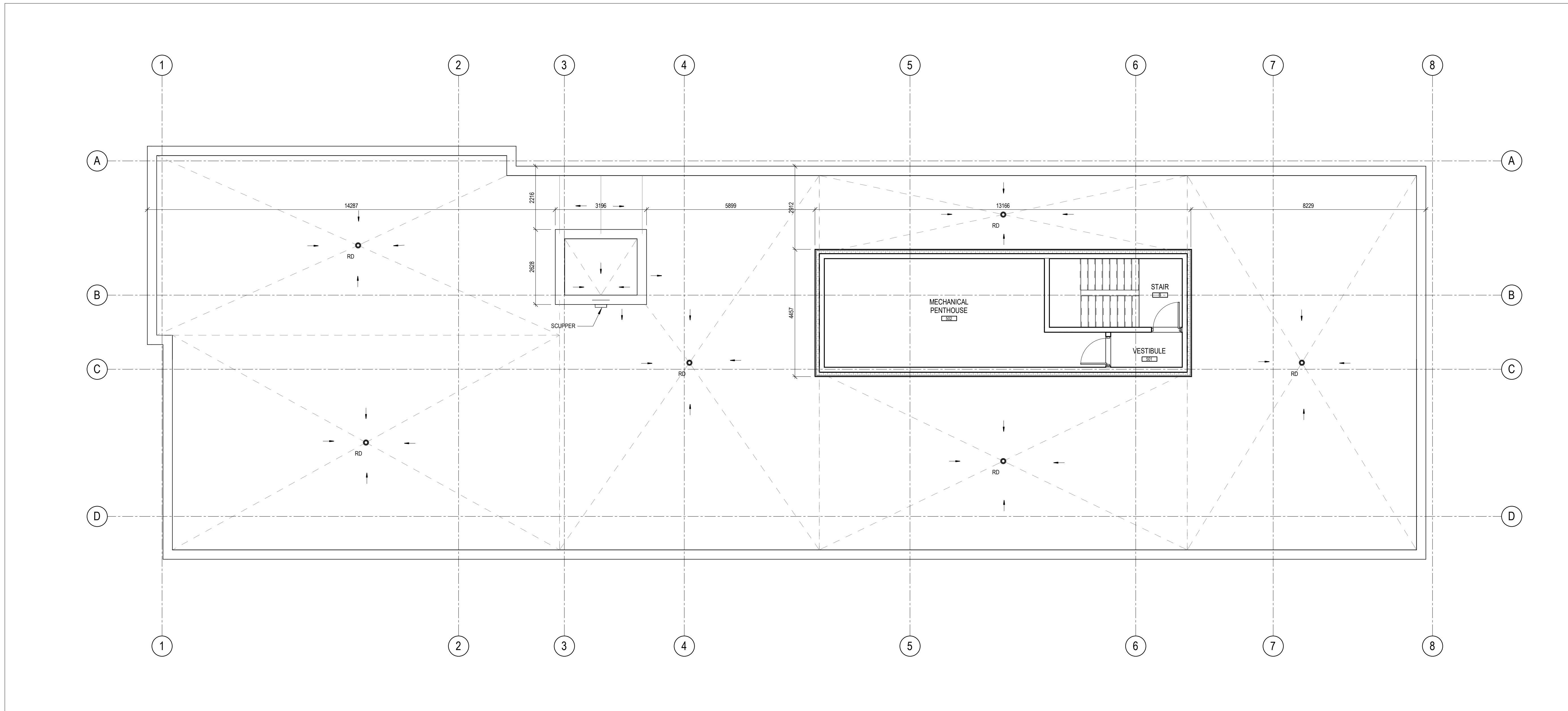
LEVEL 04 FLOOR PLAN

A104

1 LEVEL 04 FLOOR PLAN
SCALE: 1 : 75



2 UPPER ROOF PLAN
A105 SCALE: 1 : 100



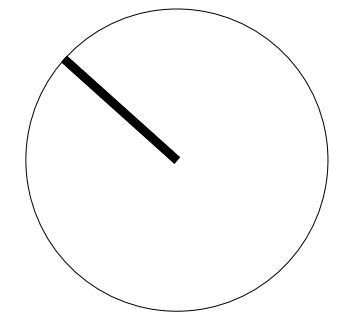
1 ROOF PLAN
A105 SCALE: 1 : 75

FOR INFORMATION USE ONLY.

GENERAL ARCHITECTURAL NOTES:
 1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.

4 ISSUED FOR SITE PLAN CONTROL 2020-11-13
 3 ISSUED FOR COORDINATION 2020-09-18
 2 ISSUED FOR COORDINATION 2020-09-04
 1 ISSUED FOR COORDINATION 2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
 (613) 884-3939 | mail@project1studio.ca

700 Coronation Avenue

700 Coronation Avenue
 Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	NOTED	LB	RMK

ROOF & UPPER ROOF PLANS

A105

- A1 ALUMINUM COMPOSITE PANEL
COLOUR: GRAPHITE GREY
- A2 ALUMINUM COMPOSITE PANEL
COLOUR: LIGHT GREY
- B1 BRICK
COLOUR: RED TONE
- C1 ALUMINUM SIDING
COLOUR: NATURAL CEDAR
FINISH: WOODGRAIN
- E1 MANUFACTURED STONE MASONRY
COLOUR: LIGHT GREY
- F1 CONCRETE MASONRY UNIT
- G1 STEEL AND CLEAR GLASS GUARD
- G2 STEEL AND FRITTED GLASS PRIVACY SCREEN
- J1 ARCHITECTURAL CONCRETE

CLADDING LEGEND
SCALE: N.T.S.

GENERAL ARCHITECTURAL NOTES:
 1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



4 ISSUED FOR SITE PLAN CONTROL	2020-11-13
3 ISSUED FOR COORDINATION	2020-09-18
2 ISSUED FOR COORDINATION	2020-09-04
1 ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
613.884.9399 | mail@project1studio.ca

700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	NOTED	IB	RMK

NORTH ELEVATION

A201

2 NORTH ELEVATION
A201 SCALE: 1 : 75

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

A1	ALUMINUM COMPOSITE PANEL COLOUR: GRAPHITE GREY
A2	ALUMINUM COMPOSITE PANEL COLOUR: LIGHT GREY
B1	BRICK COLOUR: RED TONE
C1	ALUMINUM SIDING COLOUR: NATURAL CEDAR FINISH: WOODGRAIN
E1	MANUFACTURED STONE MASONRY COLOUR: LIGHT GREY
F1	CONCRETE MASONRY UNIT
G1	STEEL AND CLEAR GLASS GUARD
G2	STEEL AND FRITTED GLASS PRIVACY SCREEN
J1	ARCHITECTURAL CONCRETE

CLADDING LEGEND
SCALE: N.T.S.



4	ISSUED FOR SITE PLAN CONTROL	2020-11-13
3	ISSUED FOR COORDINATION	2020-09-18
2	ISSUED FOR COORDINATION	2020-09-04
1	ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
[613.884.9399] | mail@project1studio.ca

700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2004	NOTED	IB	RMK

SOUTH ELEVATION

A202

1 SOUTH ELEVATION
SCALE: 1 : 75

- A1 ALUMINUM COMPOSITE PANEL
COLOUR: GRAPHITE GREY
- A2 ALUMINUM COMPOSITE PANEL
COLOUR: LIGHT GREY
- B1 BRICK
COLOUR: RED TONE
- C1 ALUMINUM SIDING
COLOUR: NATURAL CEDAR
FINISH: WOODGRAIN
- E1 MANUFACTURED STONE MASONRY
COLOUR: LIGHT GREY
- F1 CONCRETE MASONRY UNIT
- G1 STEEL AND CLEAR GLASS GUARD
- G2 STEEL AND FRITTED GLASS PRIVACY SCREEN
- J1 ARCHITECTURAL CONCRETE

CLADDING LEGEND
SCALE: N.T.S.

GENERAL ARCHITECTURAL NOTES:
 1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.

4 ISSUED FOR SITE PLAN CONTROL	2020-11-13
3 ISSUED FOR COORDINATION	2020-09-18
2 ISSUED FOR COORDINATION	2020-09-04
1 ISSUED FOR COORDINATION	2020-06-23

ISSUE RECORD



project1 studio
Project1 Studio Incorporated
[613.884.9399] [mail@project1studio.ca]

700 Coronation Avenue
700 Coronation Avenue
Ottawa, ON

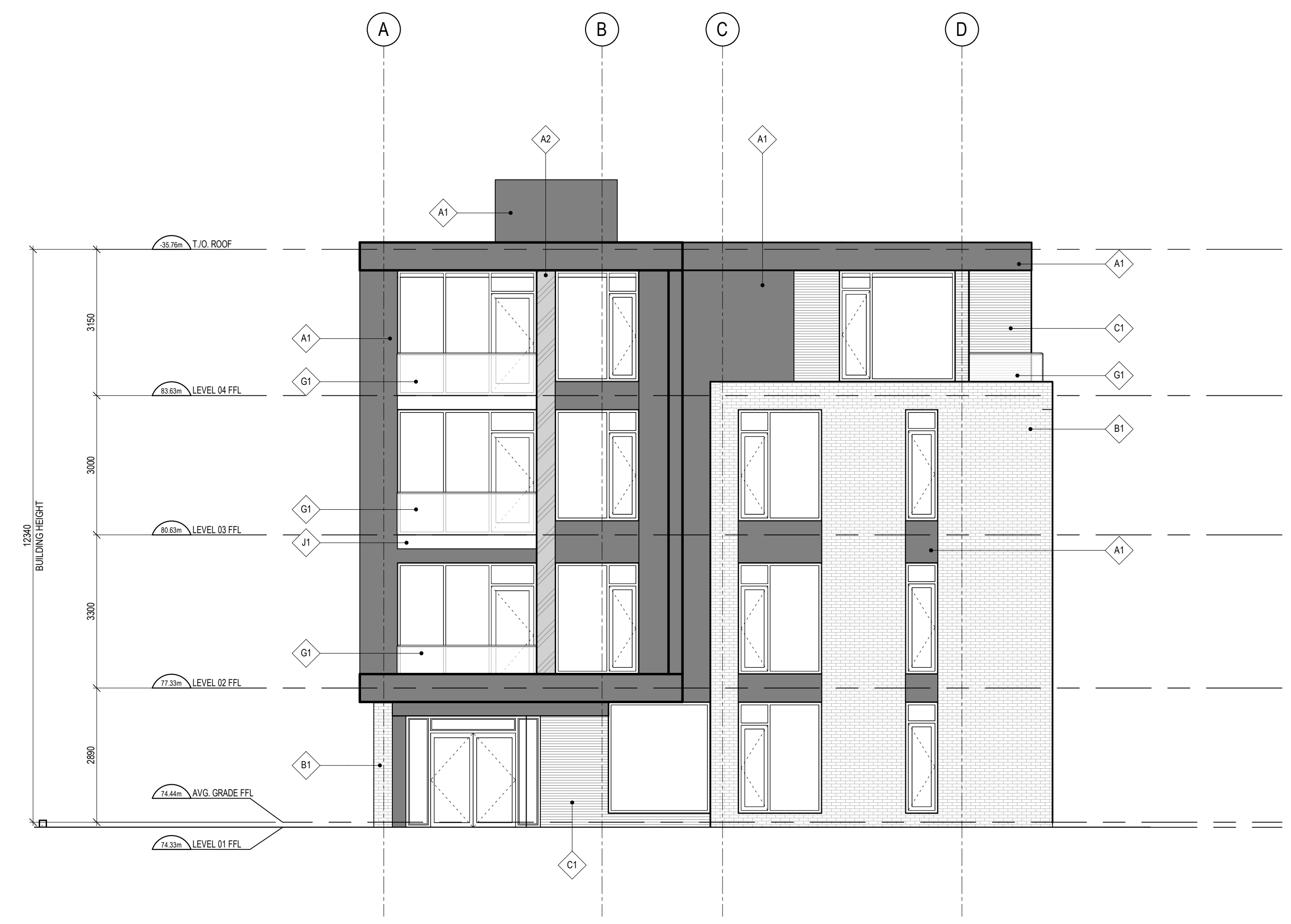
PROJ	SCALE	DRAWN	REVIEWED
2004	NOTED	IB	RMK

EAST & WEST ELEVATIONS

A203



2 EAST ELEVATION
SCALE: 1 : 75



1 WEST ELEVATION
SCALE: 1 : 75