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**OWNER**  
 INSPIRE DEVELOPMENTS  
 MARK FARRELL  
 440 LAURIER AVENUE WEST, SUITE 200, OTTAWA, ON, K1R 7X6

**APPLICANT**  
 FOTEM CONSULTANTS  
 SCOTT ALAIN  
 223 MCLEOD STREET, OTTAWA, ON, K2P 0Z8

**ARCHITECT**  
 PROJECT1 STUDIO  
 RYAN KOOLWINE  
 280 ST. PATRICK STREET #300, OTTAWA, ON, K1N 9S5

**LANDSCAPE ARCHITECT**  
 FOTEM CONSULTANTS  
 WYLES CARBERT  
 223 MCLEOD STREET, OTTAWA, ON, K2P 0Z8

**CIVIL ENGINEER**  
 LRL ASSOCIATES LTD.  
 AMR SALEM  
 5430 CANOTEX ROAD, GLOUCESTER, ON, K1J 9G2

**SURVEYOR**  
 FARLEY, SMITH & DENIS SURVEYING LTD.  
 DANIEL ROBINSON  
 190 COLONNAR ROAD, OTTAWA, ON, K2E 7J5

**2 LOCATION PLAN**  
 SP-01 SCALE: 1 : 3

ZONING MECHANISM	REQUIRED	PROVIDED	
		PROPOSED BUILDING	EXISTING BUILDING
MIN. LOT WIDTH 162(a)	18m	56.3 m	56.3 m
MIN. LOT AREA 162(a)	1,400m <sup>2</sup> for a Planned Unit Development	3411.36m <sup>2</sup>	3411.36m <sup>2</sup>
MIN. FRONT YARD SETBACK 136(3)(b)	4.4m (S.144.1)(a))	6.4m	6.1m
MIN. INTERIOR SIDE YARD SETBACK 162(a)	For existing building: 2.5m for first 18m from front lot line, then 7.5m for the remainder. For proposed building: 3m, and yard must be landscaped for the first 18m from the front lot line, then 7.5m for the remainder (S.162R(1)(b), S.144.2)(a))	5m on west property line	11.23m on east property line
MIN. REAR YARD SETBACK 162(a)(ii)	Despite the definitions of rear yard and interior side yard buildings in a PUD must be located so that they are set back, an amount equal to the minimum required rear yard setback for the dwelling type proposed, from a lot line where it abuts a rear yard on an abutting lot but need not exceed 7.5 metres (S.162R(1)(a))	4.03 m	16.55m
MAXIMUM BUILDING HEIGHT 162(a)	14.5m	12.34m	11m
PARKING SPACE RATES 161(14)	Residential Area B: 0.5 spaces/4 units = 32 Visitor after first 12 units: 0.2 spaces/52 units = 10 A motor vehicle parking space must have a min width of 2.6m and a maximum width of 3.1 Parking spaces must have a min. length of 5.2m	33 residential spaces 12 visitor spaces	33 residential spaces 12 visitor spaces
PARKING SPACE PROVISIONS (Section 106)	Parking spaces, other than visitor spaces, may be reduced in size for up to 40% of the required and provided parking spaces and may be reduced to a minimum width of 2.4 metres and a minimum length of 4.6 metres, where the parking spaces are located in a parking lot or parking garage containing more than 20 spaces, and provided any reduced length space is clearly identified for small cars only.	67.5% parking spaces are 2.6m by 5.2m in size, 32.5% are 2.6m by 4.6m	67.5% parking spaces are 2.6m by 5.2m in size, 32.5% are 2.6m by 4.6m
BICYCLE PARKING RATES Table 111(a)(ii)	0.5/unit = 32	34 spaces	34 spaces
ASILE AND DRIVEWAY PROVISIONS Section 107	A min 6m is required for a double traffic lane leading to a parking garage and for an aisle leading to parking spaces	6m aisle proposed leading to the parking garage. 6m aisle proposed in parking garage.	6m aisle proposed leading to the parking garage. 6m aisle proposed in parking garage.
AMENITY AREA Table 137 - Row 3	15m <sup>2</sup> per dwelling unit up to 8 units: 120m <sup>2</sup> 6m <sup>2</sup> for each unit in excess of 8: 336m <sup>2</sup> 120m <sup>2</sup> must be provided as communal amenity space, in rear yard at-grade and 80% must be soft landscaping. Total amenity area required: 456m <sup>2</sup> Communal amenity area required: 120m <sup>2</sup>	Total private amenity area provided for new building: 176m <sup>2</sup> Communal amenity area provided at-grade in rear yard: 230 m <sup>2</sup> Total: 406 m <sup>2</sup>	Total private amenity area provided for new building: 176m <sup>2</sup> Communal amenity area provided at-grade in rear yard: 230 m <sup>2</sup> Total: 406 m <sup>2</sup>
SOFT LANDSCAPING 161 (13)(b)(iii)	Thirty percent of the lot area must be provided as landscaped area for a lot containing an apartment dwelling, low rise, stacked dwelling, or retirement home, or a planned unit development that contains any one or more of these dwelling types. 3422.36m <sup>2</sup> x 30% = 1,026.7m <sup>2</sup>	1481.67m <sup>2</sup> of the total lot area is landscaped = 43.4%	1481.67m <sup>2</sup> of the total lot area is landscaped = 43.4%
FRONT YARD SOFT LANDSCAPING TABLE 161	40% of the front yard area must be landscaped with soft landscaping.	Total soft landscaped area = 51% of the front yard	Total soft landscaped area = 51% of the front yard

PLANNED UNIT DEVELOPMENT PROVISIONS (S.131)		
PROVISIONS	REQUIREMENT	PROVIDE
MIN. WIDTH OF PRIVATE WAY	6 m	6 m
MIN. SETBACK FOR ANY WALL OF A RESIDENTIAL USE TO A PRIVATE WAY	1.8 m	1 m
MIN. SETBACK OF A GARAGE ENTRANCE FROM PRIVATE WAY	5.2 m	54.2 m
MIN. SEPARATION BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT	FOR BUILDINGS EQUAL TO OR LESS THAN 14.5M: 1.2M	8.5 m
PARKING	PARKING WITHIN A PLANNED UNIT DEVELOPMENT MAY BE LOCATED ANYWHERE WITHIN THE DEVELOPMENT, WHETHER OR NOT THE DEVELOPMENT PARCELS WITHIN THE PLANNED UNIT DEVELOPMENT ARE SEVERED	PARKING WITHIN A PLANNED UNIT DEVELOPMENT MAY BE LOCATED ANYWHERE WITHIN THE DEVELOPMENT, WHETHER OR NOT THE DEVELOPMENT PARCELS WITHIN THE PLANNED UNIT DEVELOPMENT ARE SEVERED

- 1 SOFT LANDSCAPING (REFER TO LANDSCAPE)
- 2 INTERLOCKED CONCRETE PAVERS (REFER TO LANDSCAPE)
- 3 DEPRESSED CURB
- 4 CITY OF OTTAWA STONE/STUB PATH (REFER TO LANDSCAPE)
- 5 PRIVACY SCREEN
- 6 RETAINING WALL
- 7 CURB
- 8 EXISTING SIDEWALK
- 9 NEW CONCRETE SIDEWALK
- 10 EXISTING CONCRETE PAVERS TO BE REMOVED
- 11 EXISTING CONCRETE PAD TO BE REMOVED
- 12 EXISTING ASPHALT DRIVE AISLE TO BE REMOVED
- 13 EXISTING ASPHALT PARKING LOT TO BE REMOVED
- 14 EXISTING SIGNAGE TO BE REMOVED
- 15 EXISTING EXIT ENCLOSURE TO BE DEMOLISHED
- 16 CONCRETE PAD
- 17 UNIT PAVES (REFER TO LANDSCAPE)

**3 SURVEY INFO**  
 SP-01 SCALE: 1 : 1

TOPOGRAPHIC PLAN SURVEY OF PART OF BLOCK F REGISTERED PLAN 605 CITY OF OTTAWA  
 FARLEY, SMITH & DENIS SURVEYING LTD. 2020

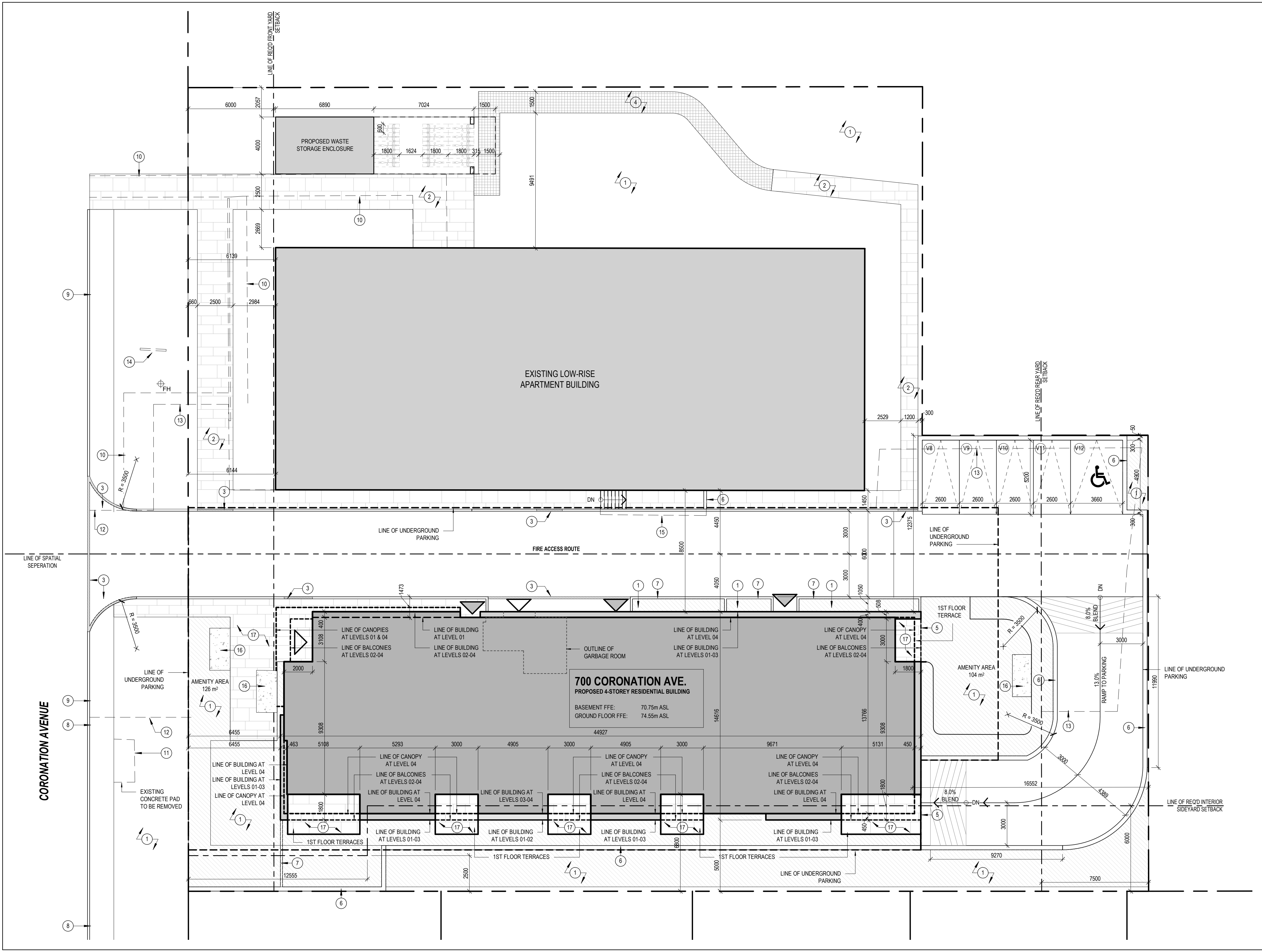
**4 SYMBOLS LEGEND**  
 SP-01 SCALE: 1 : 1

**SITE PLAN SYMBOLS LEGEND**

- ▲ BUILDING ENTRANCE
- ▲ BUILDING EXIT

**KEYNOTE LEGEND**  
 SP-01 SCALE: N.T.S.

**SYMBOLS LEGEND**  
 SP-01 SCALE: 1 : 1



**1 SITE PLAN**  
 SP-01 SCALE: 1 : 150

- 5 RE-ISSUED FOR SITE PLAN CONTROL 2021-11-10
- 4 ISSUED FOR SITE PLAN CONTROL 2020-11-13
- 3 ISSUED FOR COORDINATION 2020-09-18
- 2 ISSUED FOR COORDINATION 2020-09-04
- 1 ISSUED FOR COORDINATION 2020-06-23

**ISSUE RECORD**



**project1 studio**  
 Project1 Studio Incorporated  
 (613.884.9399 | mail@project1studio.ca)

**700 Coronation Avenue**  
 Ottawa, ON

**PROJ SCALE DRAWN REVIEWED**  
 2004 NOTED IB RMK

**SITE PLAN**

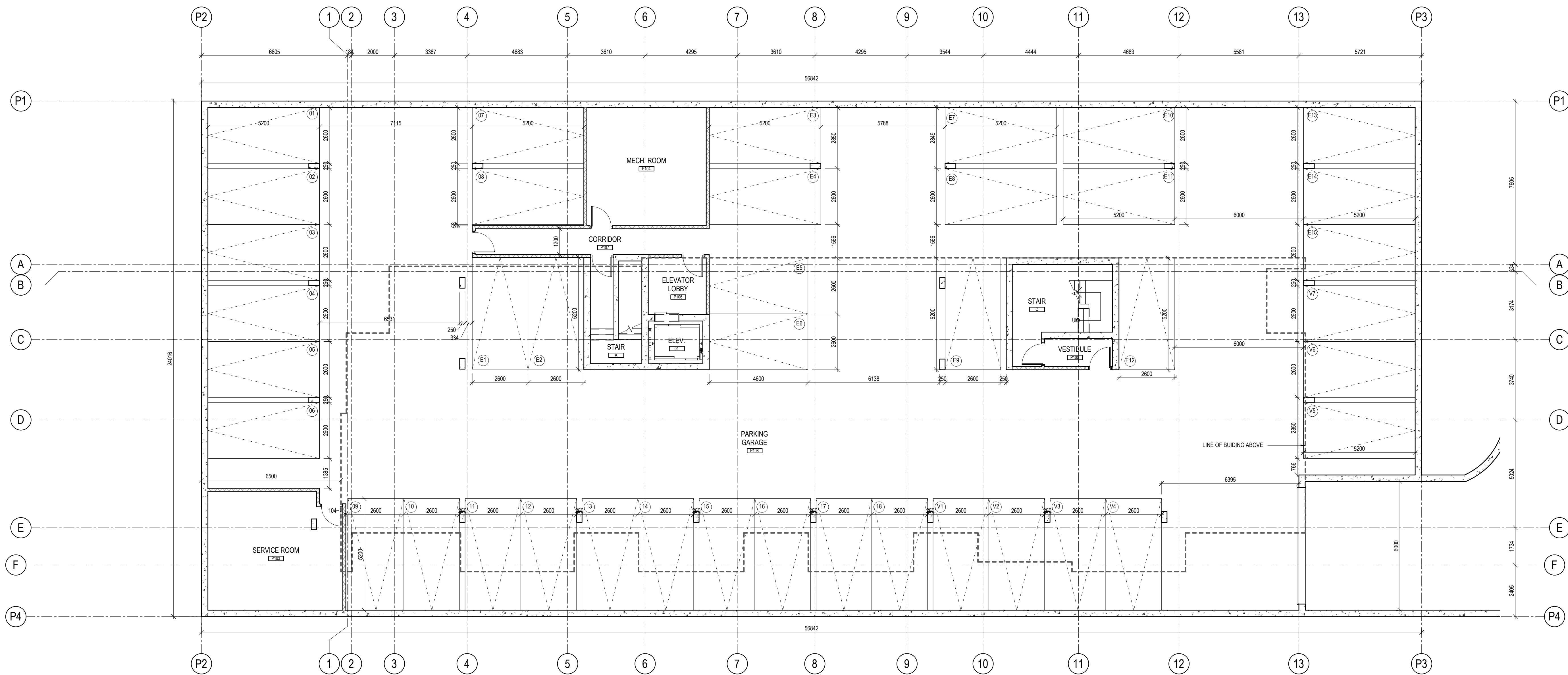
**SP-01**

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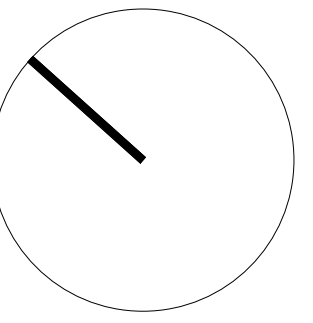
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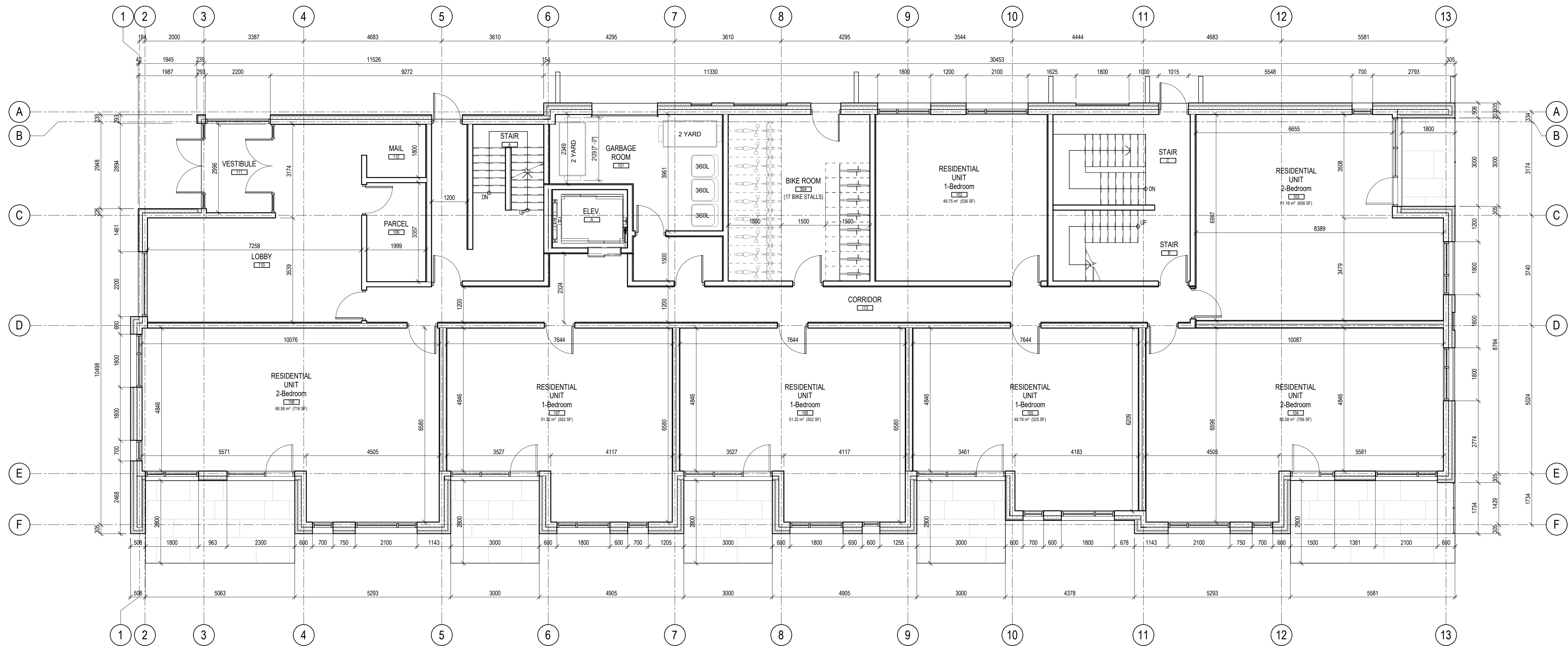
LEVEL P1 FLOOR PLAN

**A100**

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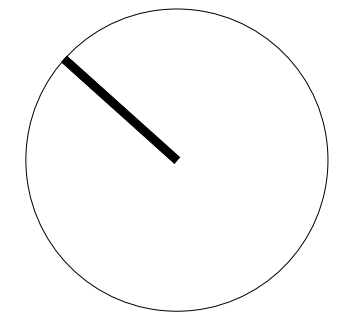
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2004	1 : 75	IB	RMK

LEVEL 01 FLOOR PLAN

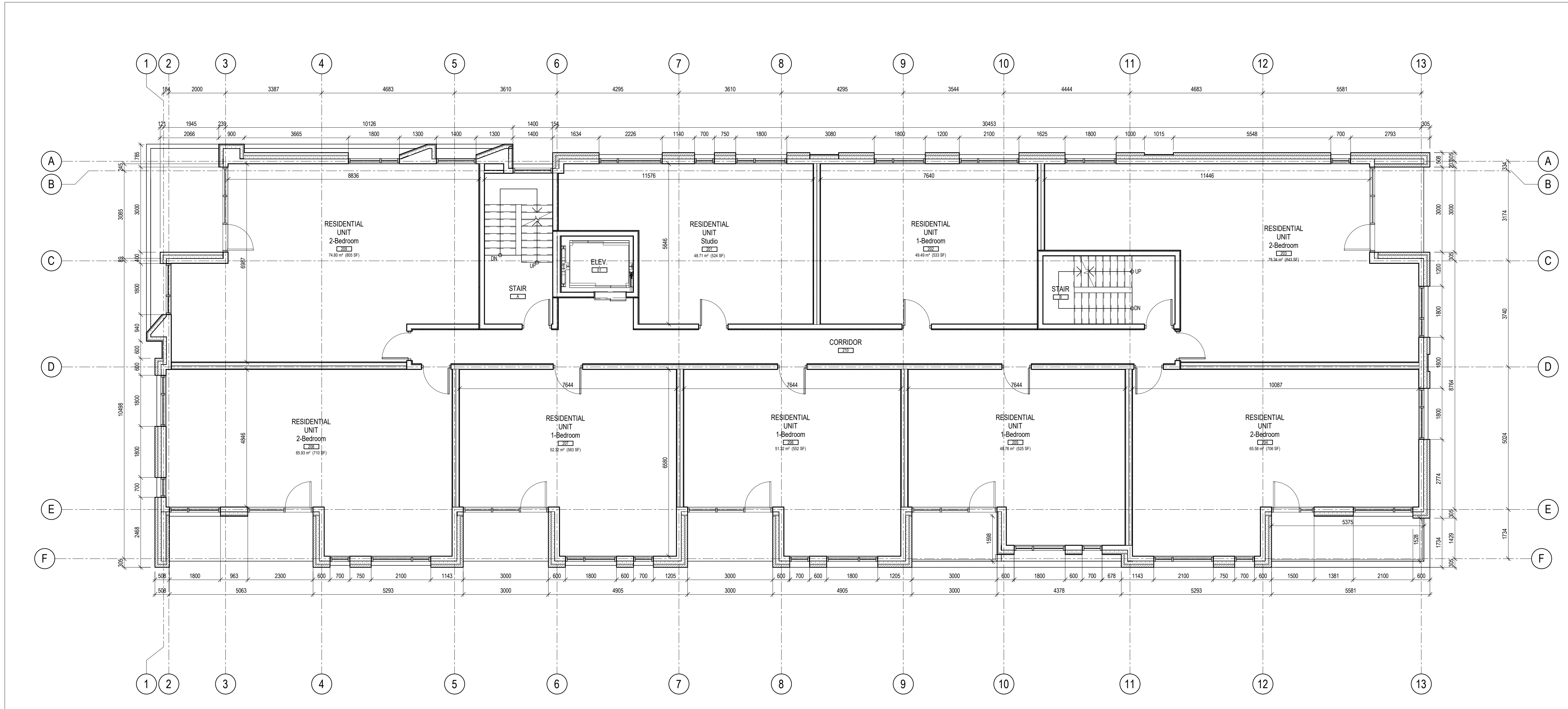
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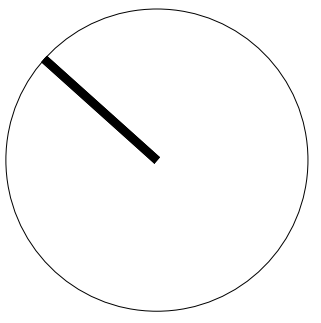
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LEVEL 02 FLOOR PLAN

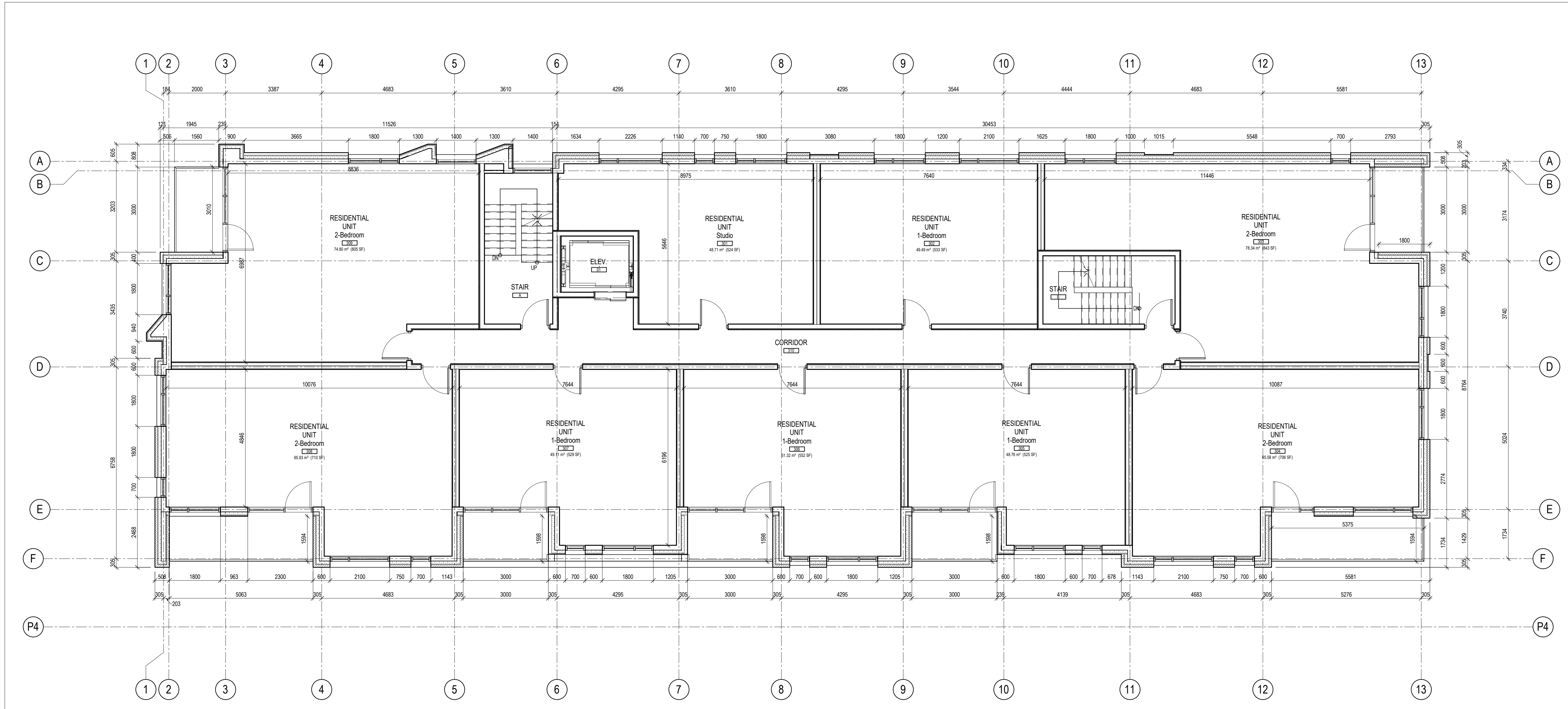
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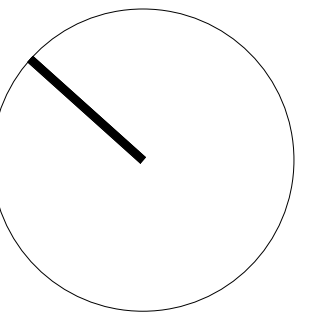
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LEVEL 03 FLOOR PLAN

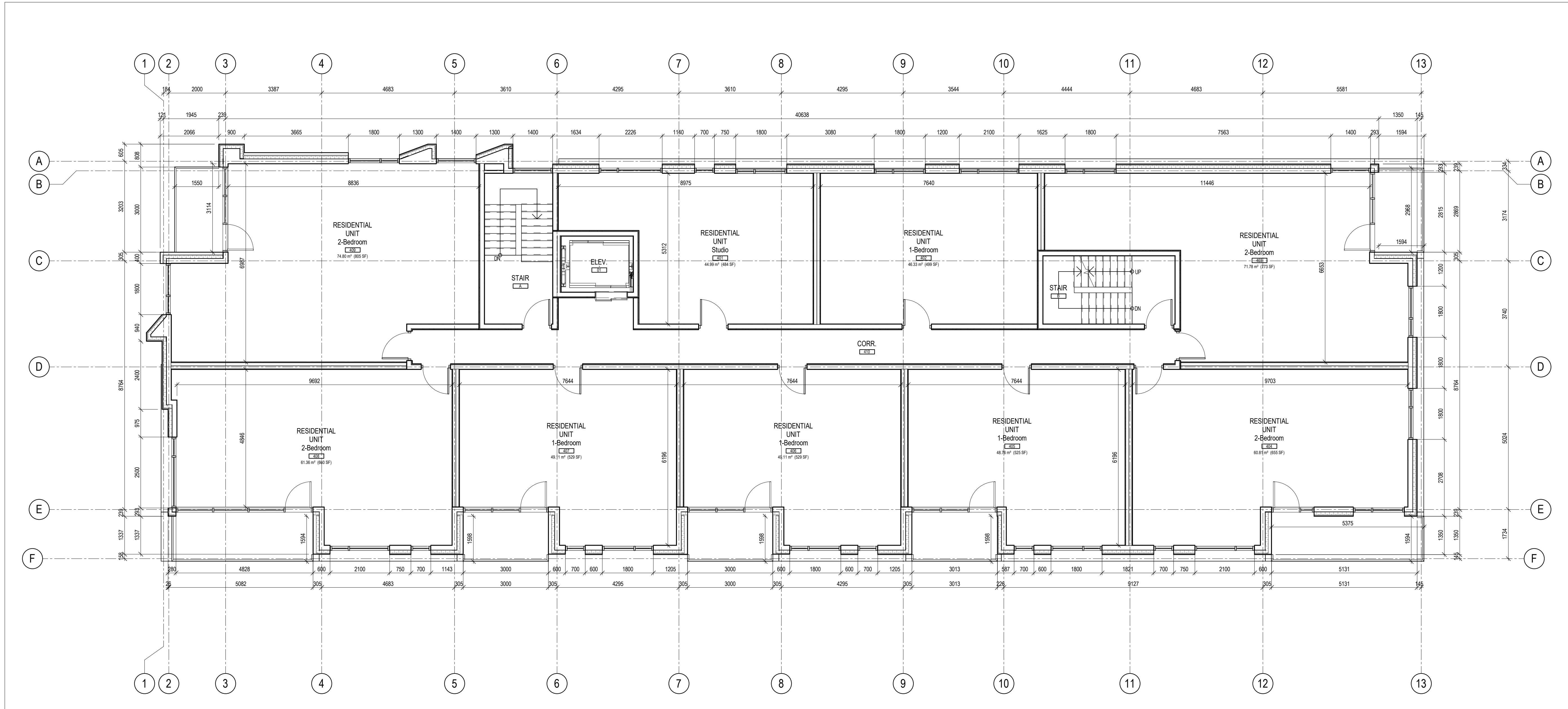
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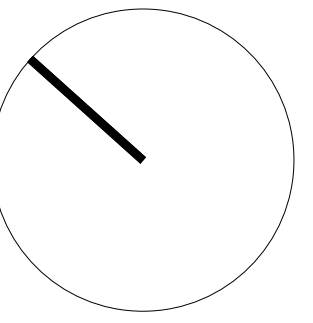
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LEVEL 04 FLOOR PLAN

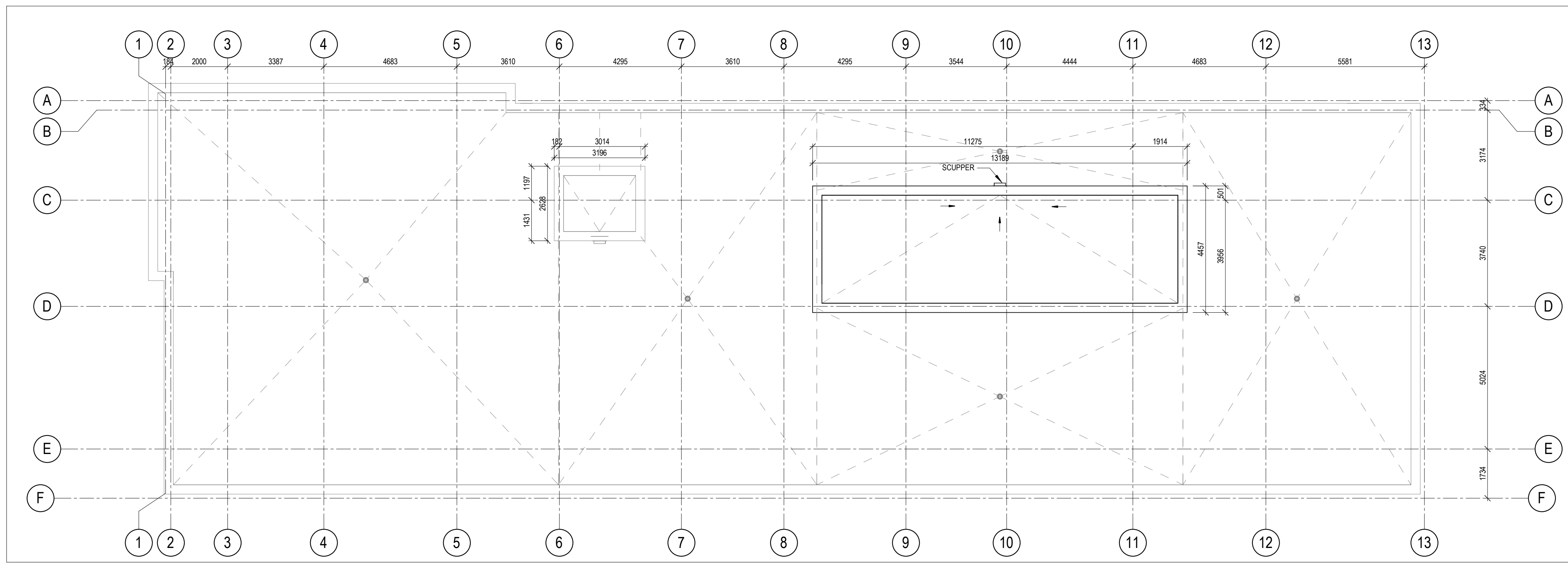
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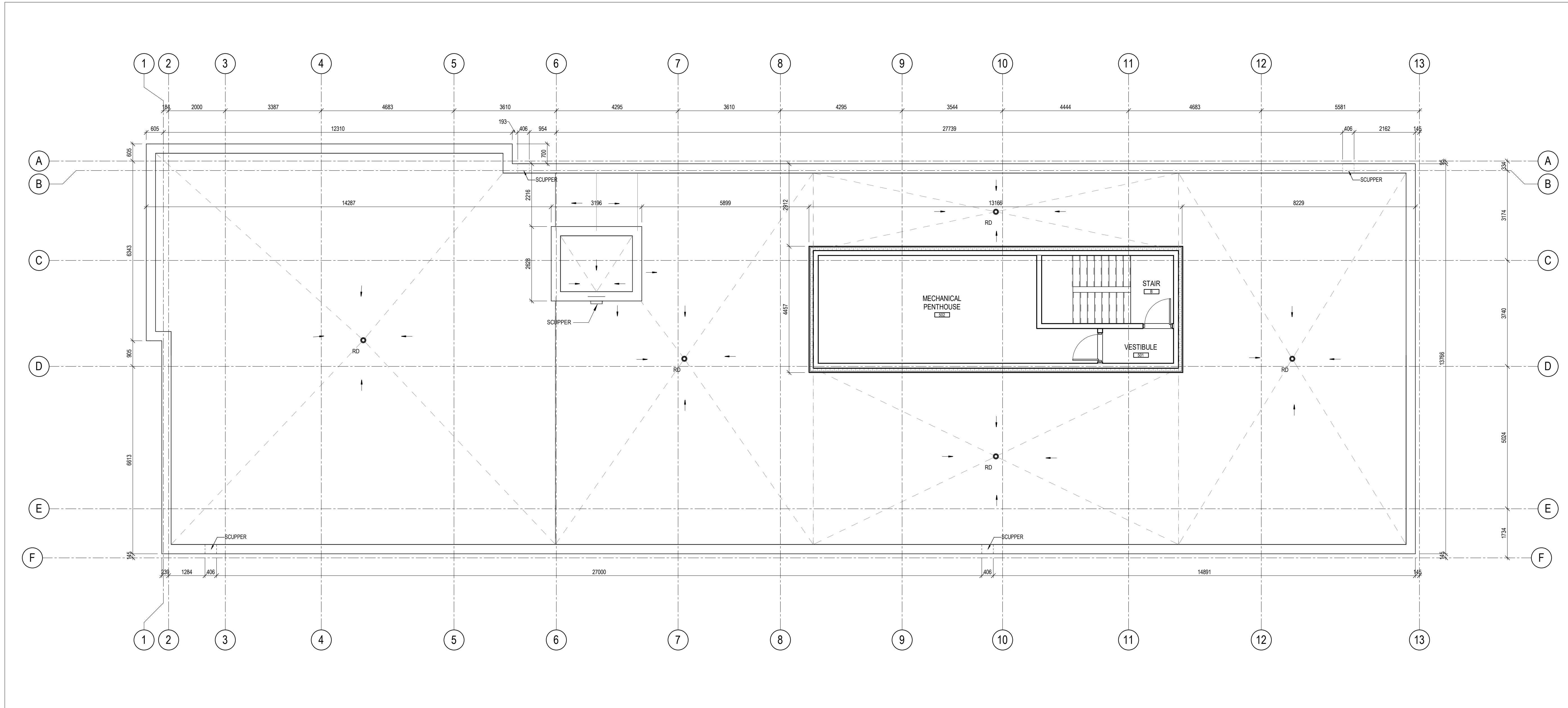
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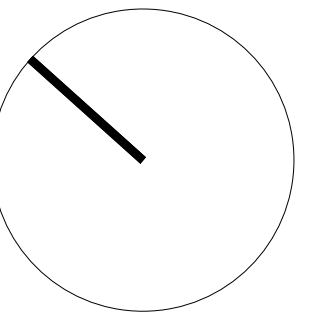
2 UPPER ROOF PLAN  
A105 SCALE: 1 : 100



1 ROOF PLAN  
A105 SCALE: 1 : 75

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ROOF & UPPER ROOF PLANS

**A105**

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- A1 ALUMINUM COMPOSITE PANEL  
COLOUR: GRAPHITE GREY
- A2 ALUMINUM COMPOSITE PANEL  
COLOUR: LIGHT GREY
- B1 BRICK  
COLOUR: RED TONE
- C1 ALUMINUM SIDING  
COLOUR: NATURAL CEDAR  
FINISH: WOODGRAIN
- E1 MANUFACTURED STONE MASONRY  
COLOUR: LIGHT GREY
- F1 CONCRETE MASONRY UNIT
- G1 STEEL AND CLEAR GLASS GUARD
- G2 STEEL AND FRITTED GLASS PRIVACY SCREEN
- J1 ARCHITECTURAL CONCRETE

**CLADDING LEGEND**  
SCALE: N.T.S.



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**EAST ELEVATION**

**A201**



- A1 ALUMINUM COMPOSITE PANEL  
COLOUR: GRAPHITE GREY
- A2 ALUMINUM COMPOSITE PANEL  
COLOUR: LIGHT GREY
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COLOUR: RED TONE
- C1 ALUMINUM SIDING  
COLOUR: NATURAL CEDAR  
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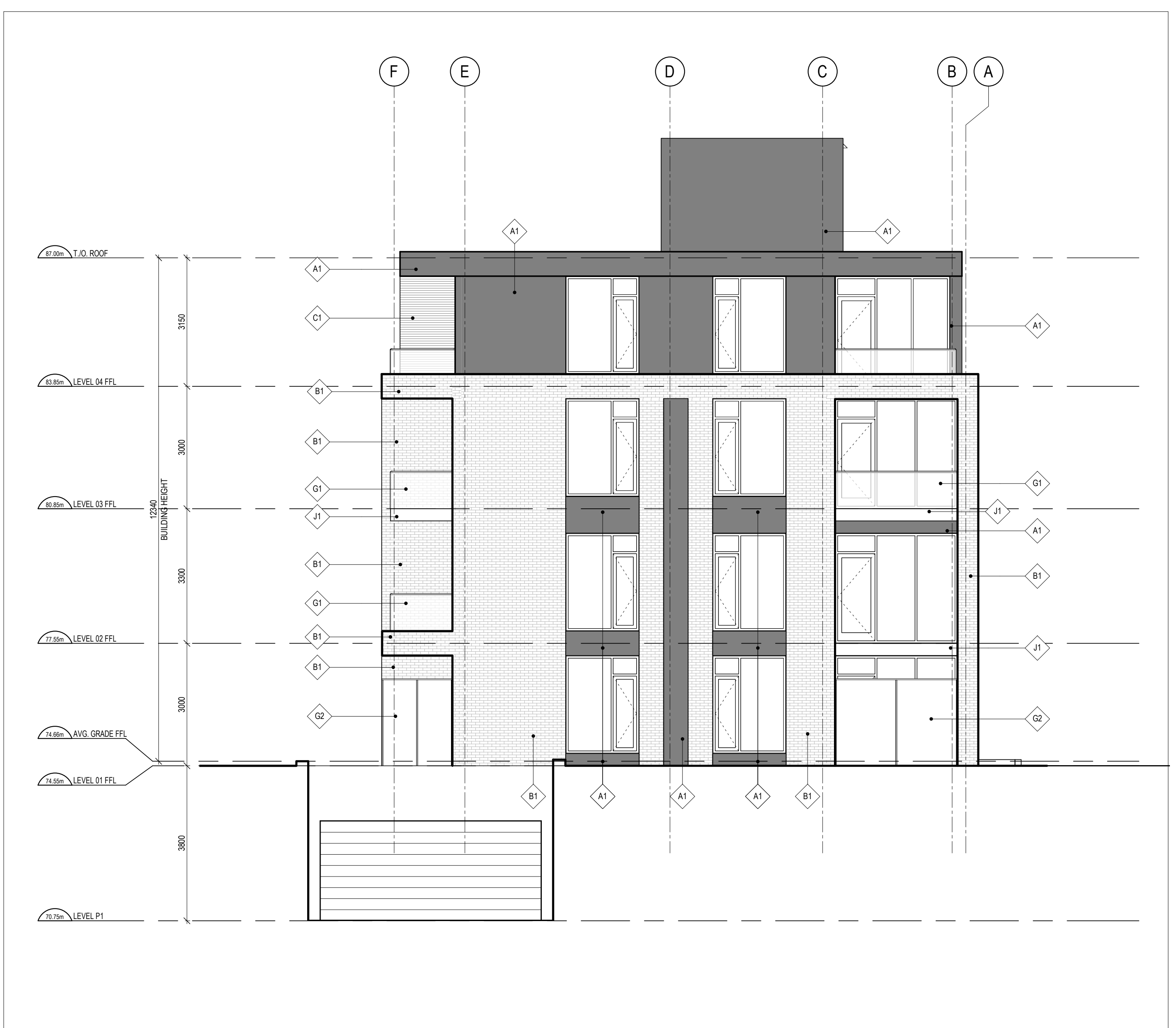
**WEST ELEVATION**

**A202**

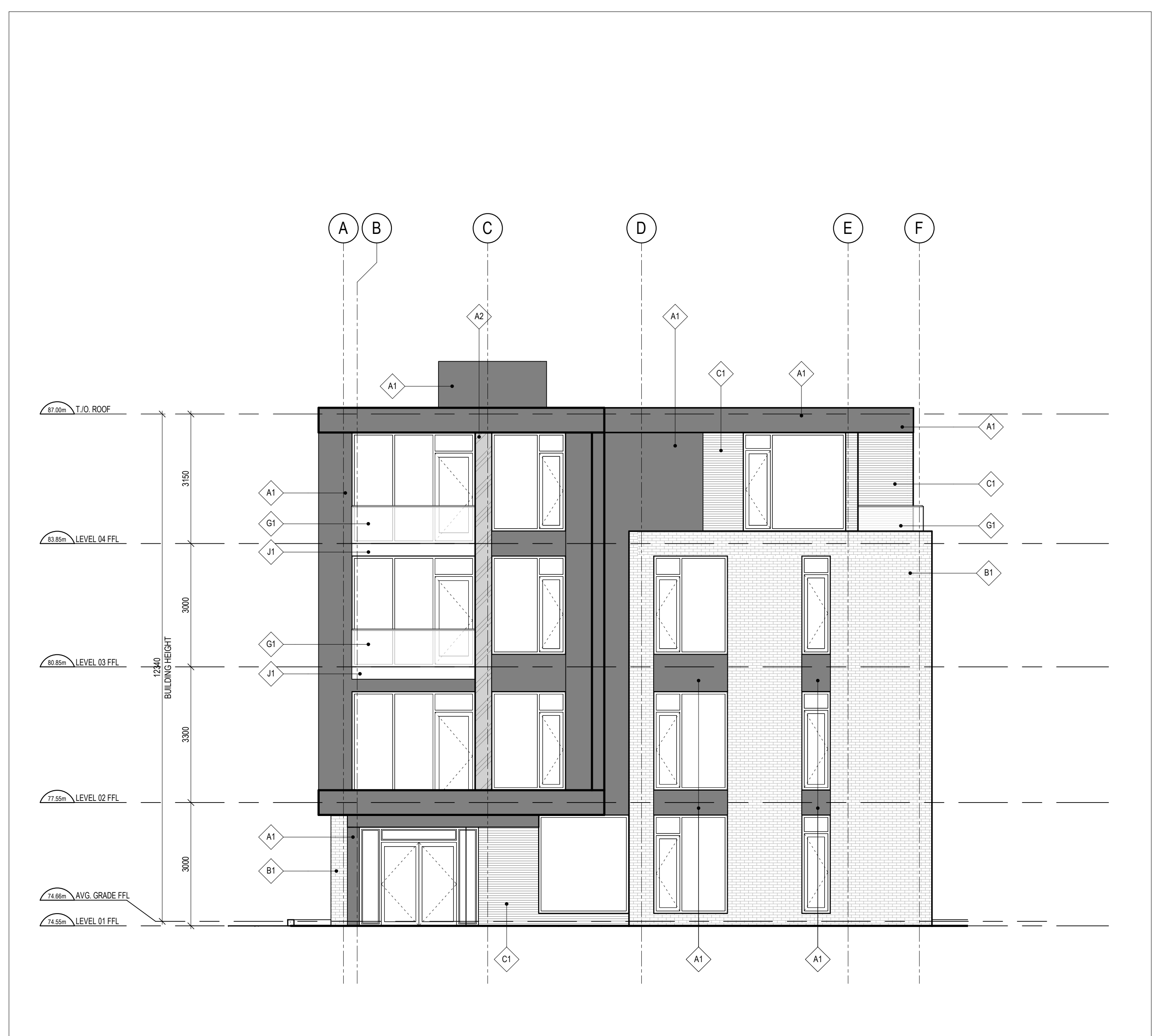
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- J1 ARCHITECTURAL CONCRETE

**CLADDING LEGEND**  
SCALE: N.T.S.

GENERAL ARCHITECTURAL NOTES:  
 1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.  
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.  
 3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.  
 4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.  
 5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.  
 6. These documents are not to be used for construction unless specifically noted for such purpose.



**2 SOUTH ELEVATION**  
SCALE: 1 : 75



**1 NORTH ELEVATION**  
SCALE: 1 : 75

5	RE-ISSUED FOR SITE PLAN CONTROL	2021-11-10
4	ISSUED FOR SITE PLAN CONTROL	2020-11-13
3	ISSUED FOR COORDINATION	2020-09-18
2	ISSUED FOR COORDINATION	2020-09-04
1	ISSUED FOR COORDINATION	2020-06-23

**ISSUE RECORD**



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PROJ	SCALE	DRAWN	REVIEWED
2004	NOTED	IB	RMK

**NORTH & SOUTH ELEVATIONS**

**A203**