

2 LOCATION PLAN
SP-01 SCALE: 1 : 3

Table with columns: ZONING MECHANISM, REQUIRED, PROVIDED (PROPOSED BUILDING, EXISTING BUILDING). Rows include: MIN. LOT WIDTH, MIN. LOT AREA, MIN. FRONT YARD SETBACK, MIN. INTERIOR SIDE YARD SETBACK, MIN. REAR YARD SETBACK, MAXIMUM BUILDING HEIGHT, PARKING SPACE RATES, PARKING SPACE PROVISIONS, BICYCLE PARKING RATES, AMENITY AREA, SOFT LANDSCAPING, FRONT YARD SOFT LANDSCAPING.

Table with columns: PROVISIONS, REQUIREMENT, PROVIDE. Rows include: MIN. WIDTH OF PRIVATE WAY, MIN. SETBACK FOR ANY WALL OF A RESIDENTIAL USE TO A PRIVATE WAY, MIN. SETBACK OF A GARAGE ENTRANCE FROM PRIVATE WAY, MIN. SEPARATION BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT, PARKING.

- 1 SOFT LANDSCAPING (REFER TO LANDSCAPE)
2 INTERLOCKED CONCRETE PAVERS (REFER TO LANDSCAPE)
3 DEPRESSED CURB
4 CITY OF OTTAWA STONEDUST PATH (REFER TO LANDSCAPE)
5 PRIVACY SCREEN
6 RETAINING WALL
7 CURB
8 EXISTING SIDEWALK
9 NEW CONCRETE SIDEWALK
10 EXISTING CONCRETE PAVERS TO BE REMOVED
11 EXISTING CONCRETE PAD TO BE REMOVED
12 EXISTING ASPHALT DRIVE AISLE TO BE REMOVED
13 EXISTING ASPHALT PARKING LOT TO BE REMOVED
14 EXISTING SIGNAGE TO BE REMOVED
15 EXISTING EXIT ENCLOSURE TO BE DEMOLISHED
16 CONCRETE PAD
17 UNIT PAVEMENT (REFER TO LANDSCAPE)
18 PROPOSED 3m PRIVACY FENCE, REFER TO LANDSCAPE

KEYNOTE LEGEND
SP-01 SCALE: N.T.S.

3 SURVEY INFO
SP-01 SCALE: 1 : 1

SITE PLAN SYMBOLS LEGEND table with symbols for BUILDING ENTRANCE and BUILDING EXIT.

4 SYMBOLS LEGEND
SP-01 SCALE: 1 : 1

GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

OWNER
INSPIRE DEVELOPMENTS
MARK FARRELL
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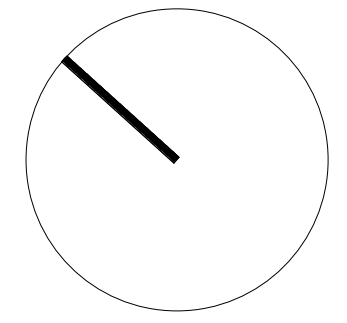
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SURVEYOR
FARLEY, SMITH & DENIS SURVEYING LTD.
DANIEL ROBINSON
190 COLONNADE ROAD, OTTAWA, ON K2E 7J5

- 7 RE-ISSUED FOR SITE PLAN CONTROL 2022-03-31
6 RE-ISSUED FOR SITE PLAN CONTROL 2022-01-28
5 RE-ISSUED FOR SITE PLAN CONTROL 2021-11-10
4 ISSUED FOR SITE PLAN CONTROL 2020-11-13
3 ISSUED FOR COORDINATION 2020-09-18
2 ISSUED FOR COORDINATION 2020-09-04
1 ISSUED FOR COORDINATION 2020-06-23

ISSUE RECORD



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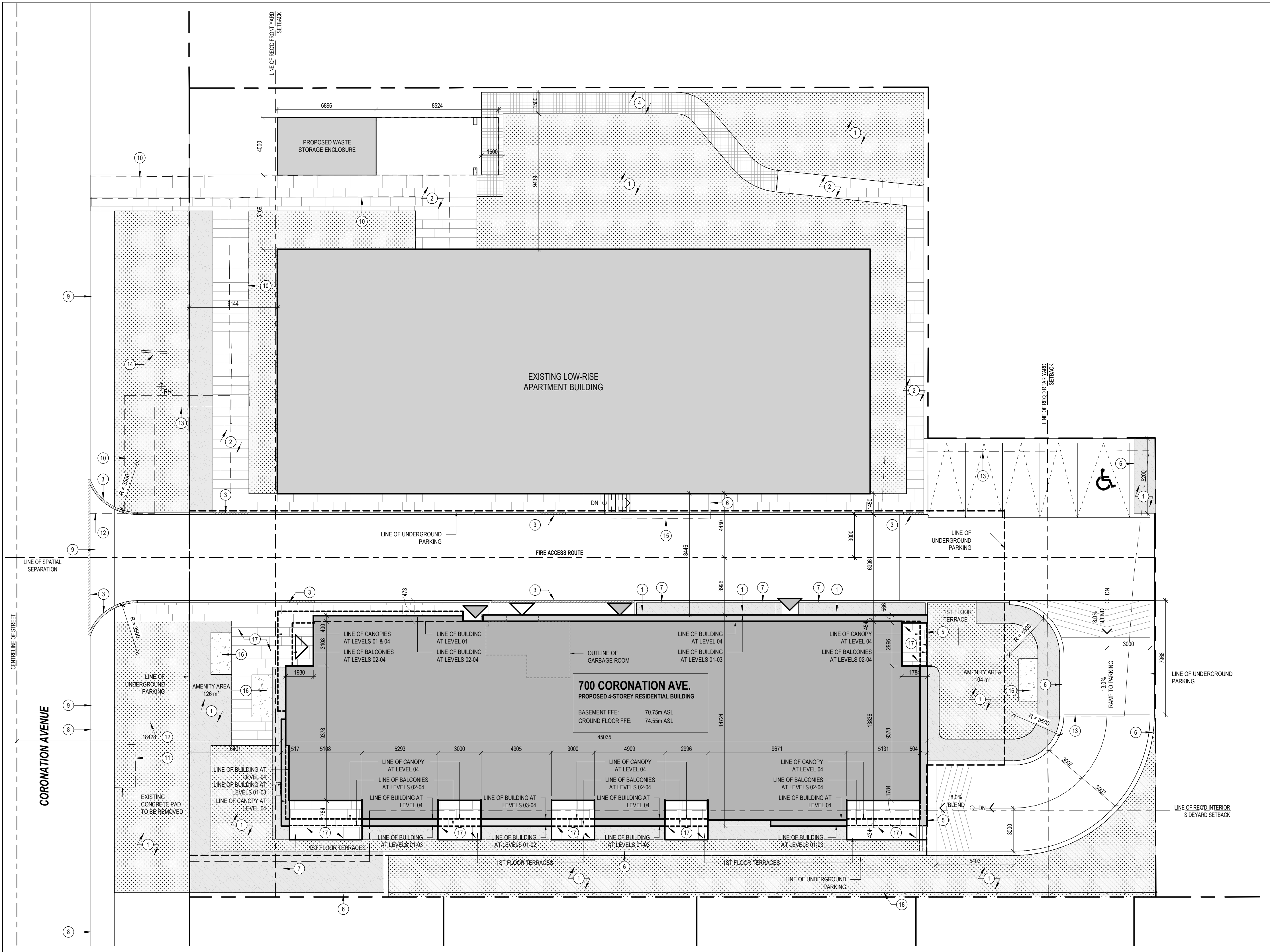
700 CORONATION AVE

700 CORONATION AVENUE
OTTAWA, ON

PROJ SCALE DRAWN REVIEWED
2205 NOTED IB RMK

SITE PLAN

SP-01



1 SITE PLAN
SP-01 SCALE: 1 : 150