

DESIGN BRIEF

2830 Carling Avenue, Ottawa Ontario

Section 1

See Planning Rationale for information requested under this part of the Design Brief.

Section 2

Massing and Scale

See Figures 1 & 2 for two views of part of the block showing the proposed development and how it relates to the adjacent properties. See Figure 3 for an overview of the proposed development to illustrate the layout of the project.

See Figure 4 showing the location of the buildings and how the transition to the adjacent site is handled. The larger building three-storey, four-level townhouse building is located along Carling Avenue, away from the lower scaled buildings to the south. The three-storey apartment building is located on Vick Avenue between the townhouse building and the adjacent property. The remainder of the property adjacent to the properties to the south are designed as open areas or the parking garage ramp.

The grading of the site has been modified to lower the site to minimize slopes and structures along Carling Avenue. The site then rises to the south to closely match the existing grade of the existing site and the properties to the south.

Alternative building massing was investigated early in the design, however, based on the tight site and the requirements for a reasonable number of units, alternate designs were found not to fit on the site.

Public Realm

See Figure 5 shows a cross sections of the site and how it relates to the Carling Avenue and the property at the rear. The street level on Judge Street will match the grades at the sidewalk and slope up to the property line. The retaining wall along this street will be replaced. The driveway and ramp to the parking garage will slope from the street to the lot line at 2% and then the ramp will slope down to the parking level. A sidewalk to access the site and the front doors of this side of the building will be adjacent to the ramp, approximately at the midpoint of the site. The street level on Vick Avenue will again match the existing grades and slope up to the site. A sidewalk to access the site will be provided to

access the site and the townhouse front doors on this side of the building and a sidewalk to the three-story apartment building will be placed near the south end of the site leading the main entrance.

The main townhouse complex was oriented to align with Carling Avenue to provide a front elevation to the main street of the site. The complex has multiple front doors facing Carling with a walkway connecting the stairs to the front doors with the street. The site and the building were lowered to maintain a connection with Carling Avenue and to avoid a large retaining wall which would have created a visual and physical barrier to the development Carling Avenue. The site to the west features a wedge of land that is not owned by the development and provides a landscaped area and slope up to the buildings. There is a walkway connecting the front doors of the back of the stacked townhouses with both Vick Avenue and Judge Street. The east side of the property has the front door of the three-storey apartment connected to Vick Avenue with a sidewalk.

The landscaping will include Street Trees with low shrubs and ground cover within the site boundaries, typically up to three feet to maintain safety and security in areas of pedestrian traffic.

Building Design

Both residential buildings will be constructed of sustainable wood structure except for the underground parking garage and clad with brick and siding. Colours shown are representative but a contrast between the brick and the siding is desired. The elevations show the approximate ratio of brick to siding. The roof will be constructed of wood trusses with asphalt shingles. The front steps to the common porch will be precast concrete with metal railings. The balconies will be pre-manufactured aluminum structure and railings with integral privacy dividers between the units. The balconies, window and door frames, and trim will be a light colour to contrast with the brick. Precast concrete sills will be provided under the windows in the brick cladding. Trim will be used on all sides of the windows in the siding portions.

Refer to the elevations submitted with the site plan application documents.

The stacked townhouse building consists of 30 apartments arranged around a common front porch with access to 4 units. The level 2 is the main living area for the lower units and the bedrooms are located on level 1 which is, by code, a basement, however, the windows on this floor are the same size as the upper level bedrooms. From the porch the front door for the upper units lead up a stair to the main living areas for the upper units on level 3. Level four contains the bedrooms for the upper units. Both main levels of the building have balconies off the living room.

Stacked Townhouses

There are 21 two-bedroom apartments which have two and ½ bathrooms. One of the units on the upper level is a larger apartment created by joining two 1-bedroom units. There are 6 one-bedroom apartments which have 1 ½ bathrooms.

Apartment Building

There are 3 two-bedroom apartments, one per floor, with a common exit stair. The units have 2 bathrooms, one an en-suite for the master bedroom.

Refer to Figures 6 to 8 for overall floor plans and typical floor plans.

Sustainability

Sustainable strategies will be limited to using durable building materials, green building products throughout the design, high-energy efficient systems, and high energy saving doors and windows. The buildings will meet or exceed the current SB-10 energy requirements of the Ontario Building Code.

All parking has been placed in the underground parking lot in order to provide as much soft landscaping as possible on the site.

It is proposed to provide parking spaces for bicycles within the parking garage and provide outlets for Electric Vehicles.

The landscape will include 100% native species and/or adoptive plants that will drought tolerant and have low water demands to minimize use of water for irrigation.

FIGURE 1 – VIEW OF PROPOSAL – NORTH WEST VIEW OF SITE FROM CARLING



P R PYE & RICHARDS -
T Y TEMPRANO & YOUNG
ARCHITECTS INC.

2830 CARLING AVENUE

**1408505 ONTARIO INC.
C/O HOLTZMAN CONSULTANTS INC.**

FIGURE 2 – VIEW OF PROPOSAL – NORTH EAST VIEW OF PROPOSED DEVELOPMENT



FIGURE 3 – VIEW OF PROPOSAL – NORTH EAST VIEW OF PROPOSED DEVELOPMENT

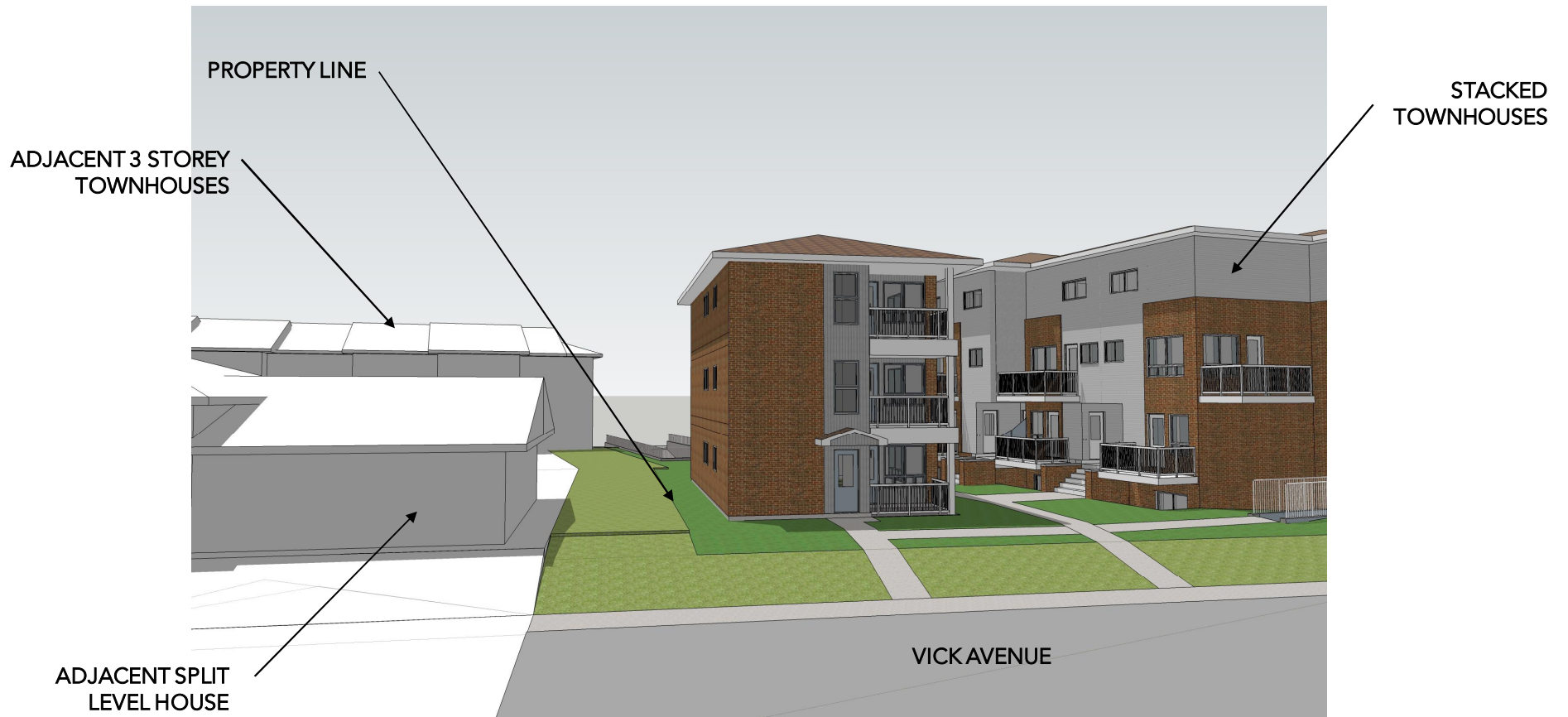


FIGURE 4 – VIEW OF PROPOSAL – NORTH WEST VIEW OF SITE FROM CARLING

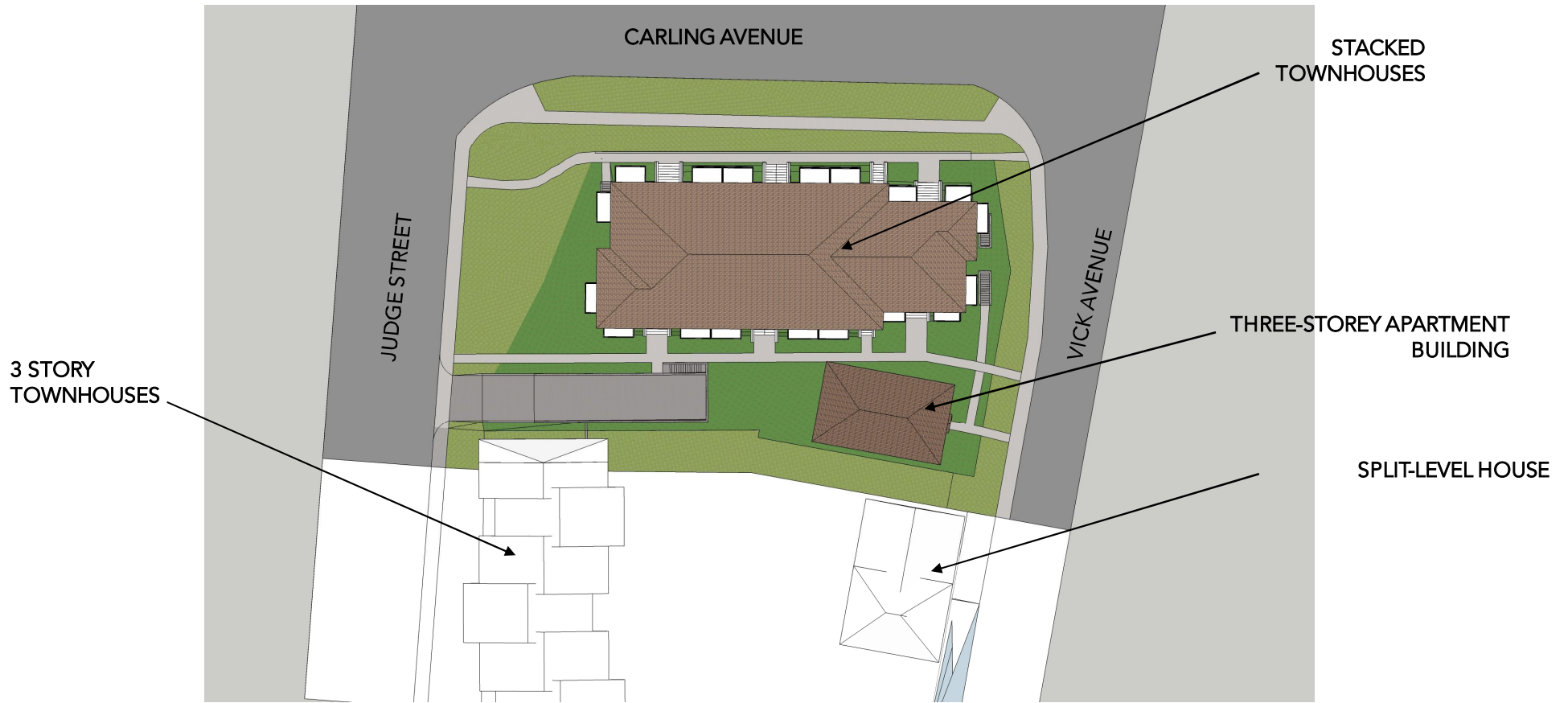


FIGURE 5 – SITE SECTION – VIEWING FROM EAST

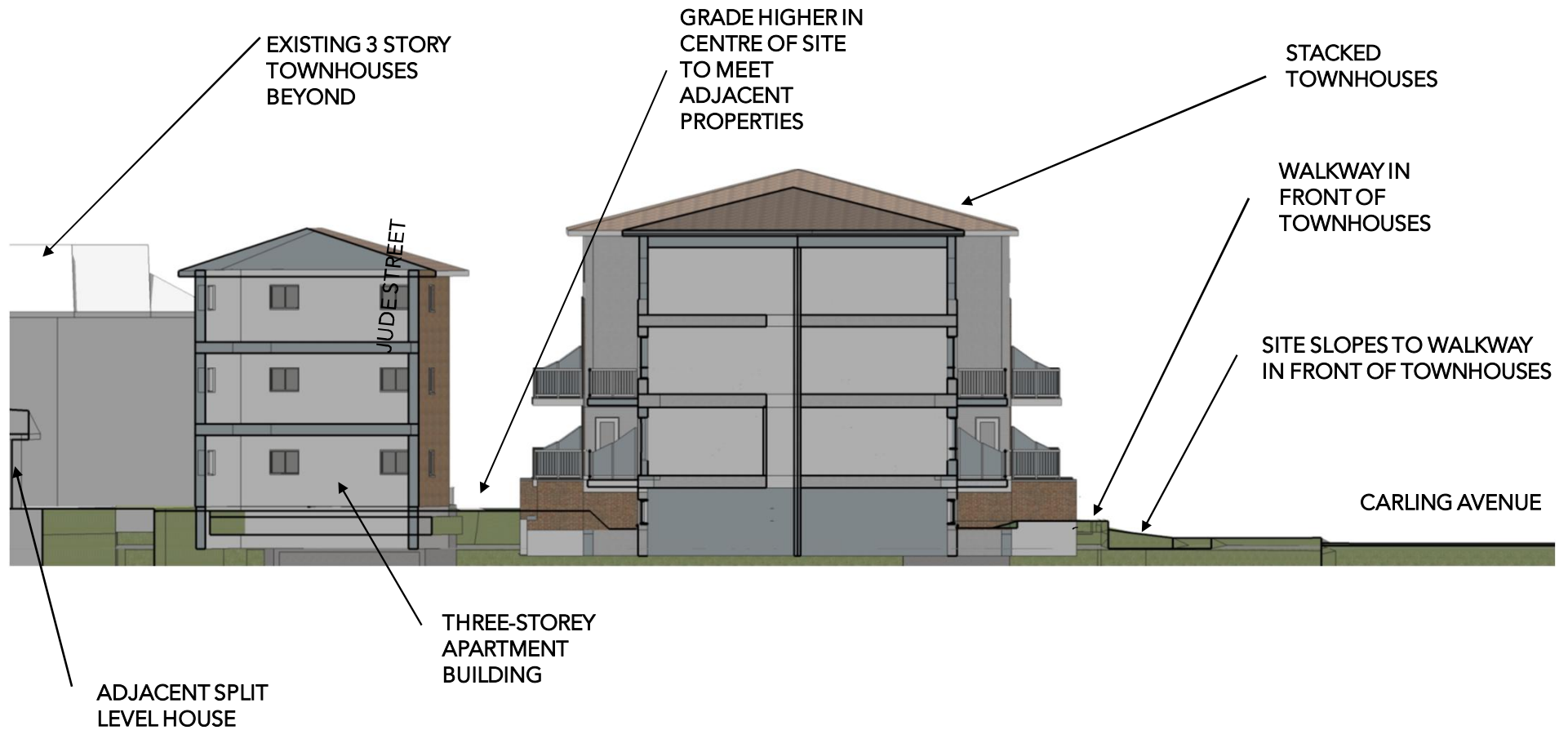
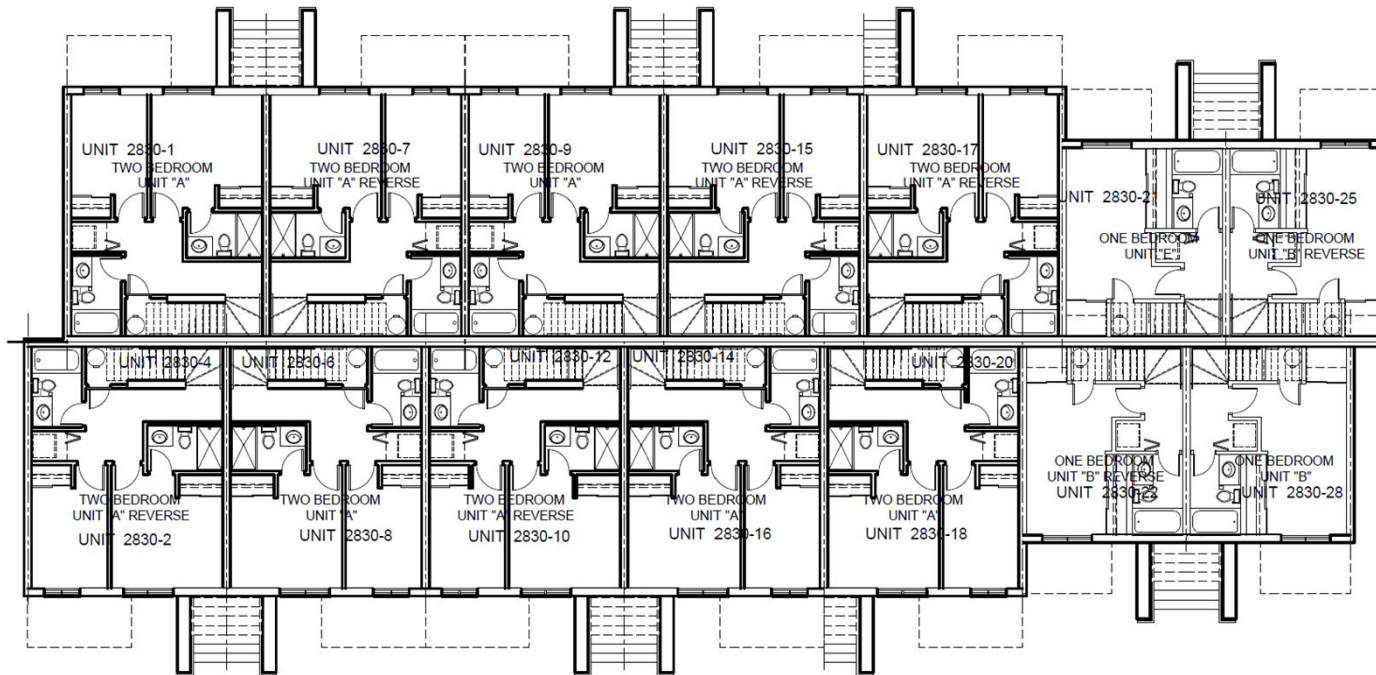
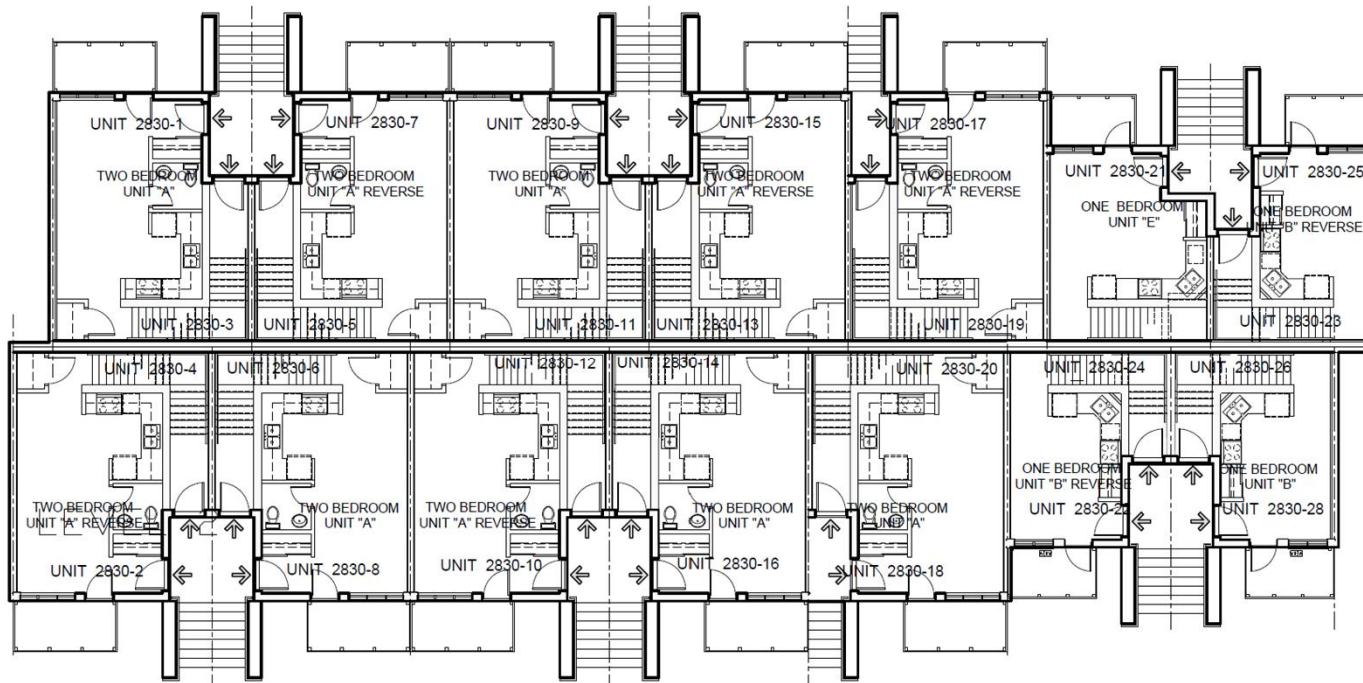


FIGURE 6.1 – STACKED TOWNHOUSE - OVERALL FLOOR PLANS



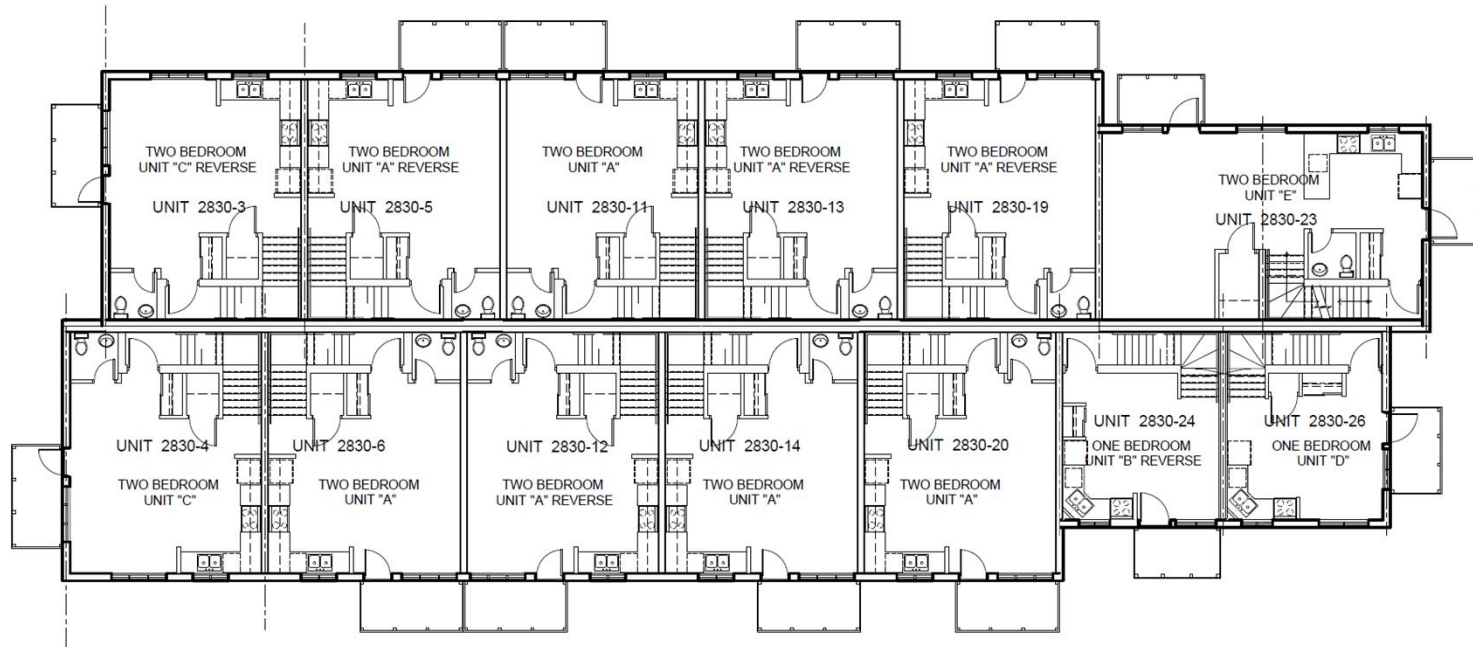
LEVEL 1 – BEDROOM LEVEL OF LOWER UNITS

FIGURE 6.2 – STACKED TOWNHOUSE - OVERALL FLOOR PLANS



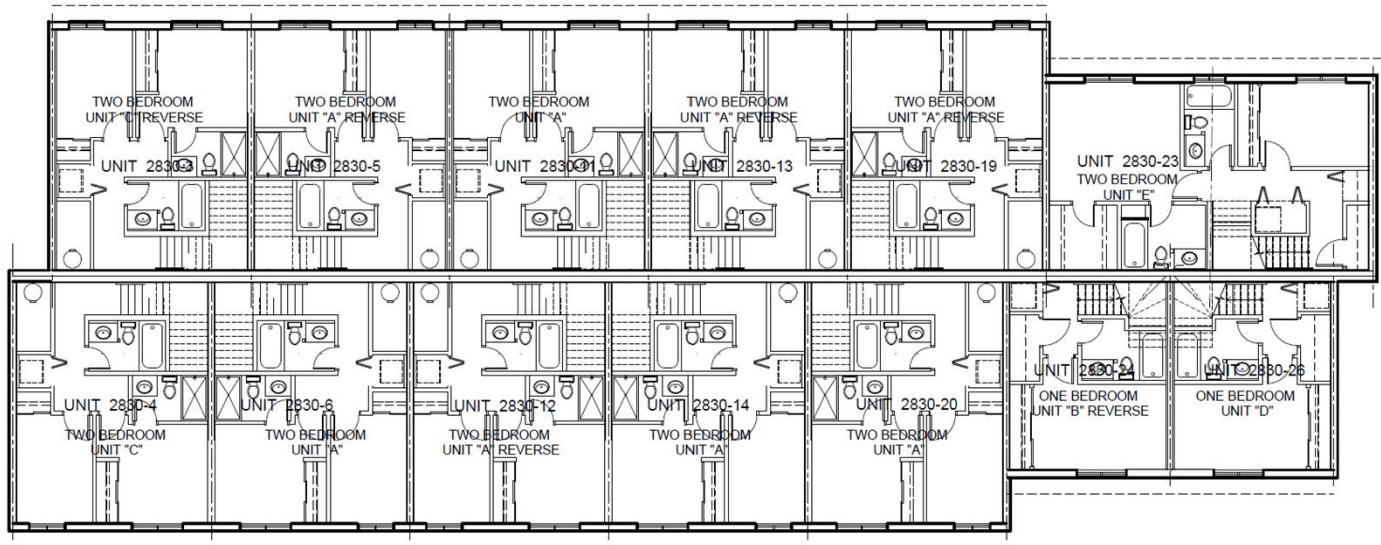
LEVEL 2 – LIVING AREA OF LOWER UNITS

FIGURE 6.3 – STACKED TOWNHOUSE - OVERALL FLOOR PLANS



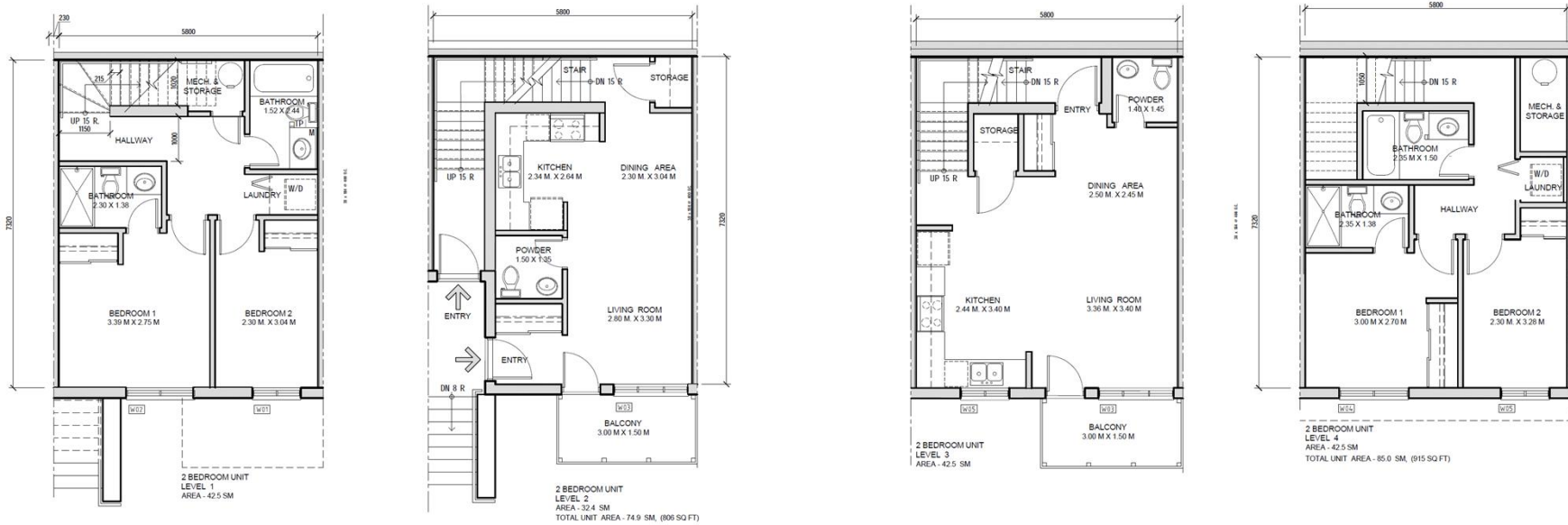
LEVEL 3 – LIVING AREA OF UPPER UNITS

FIGURE 6.4 – STACKED TOWNHOUSE - OVERALL FLOOR PLANS



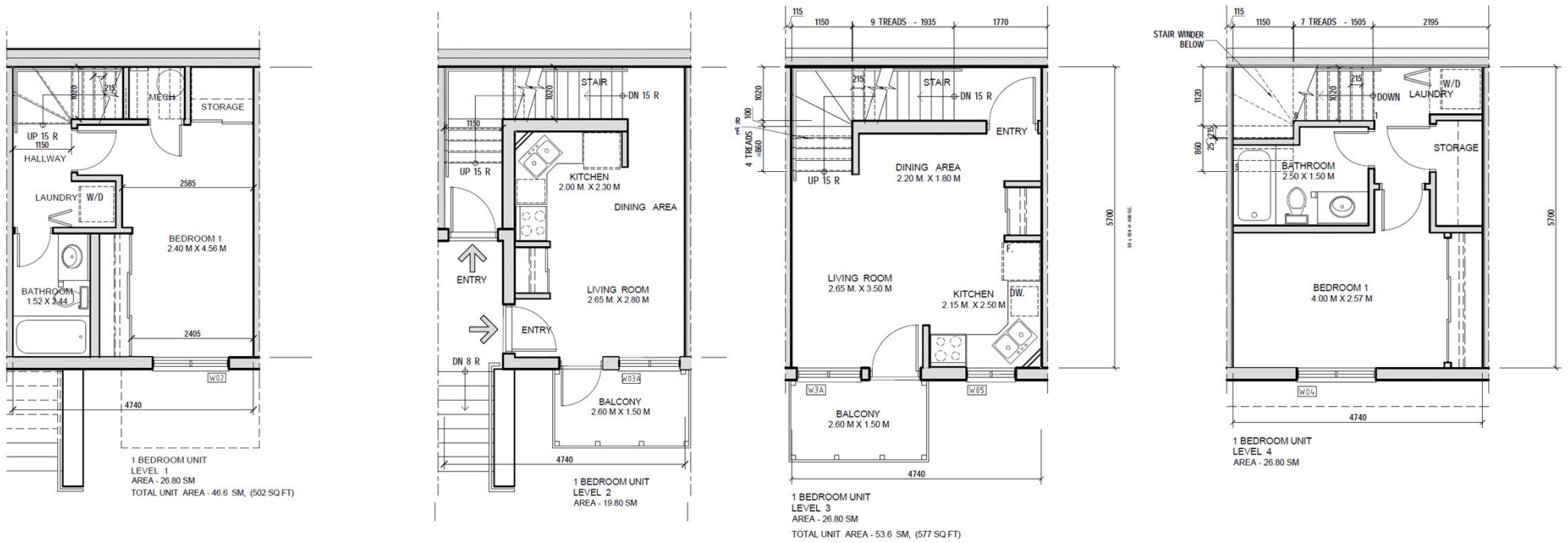
LEVEL 4 – BEDROOM LEVEL OF UPPER UNITS

FIGURE 7.1 – STACKED TOWNHOUSE – TYPICAL FLOOR PLANS



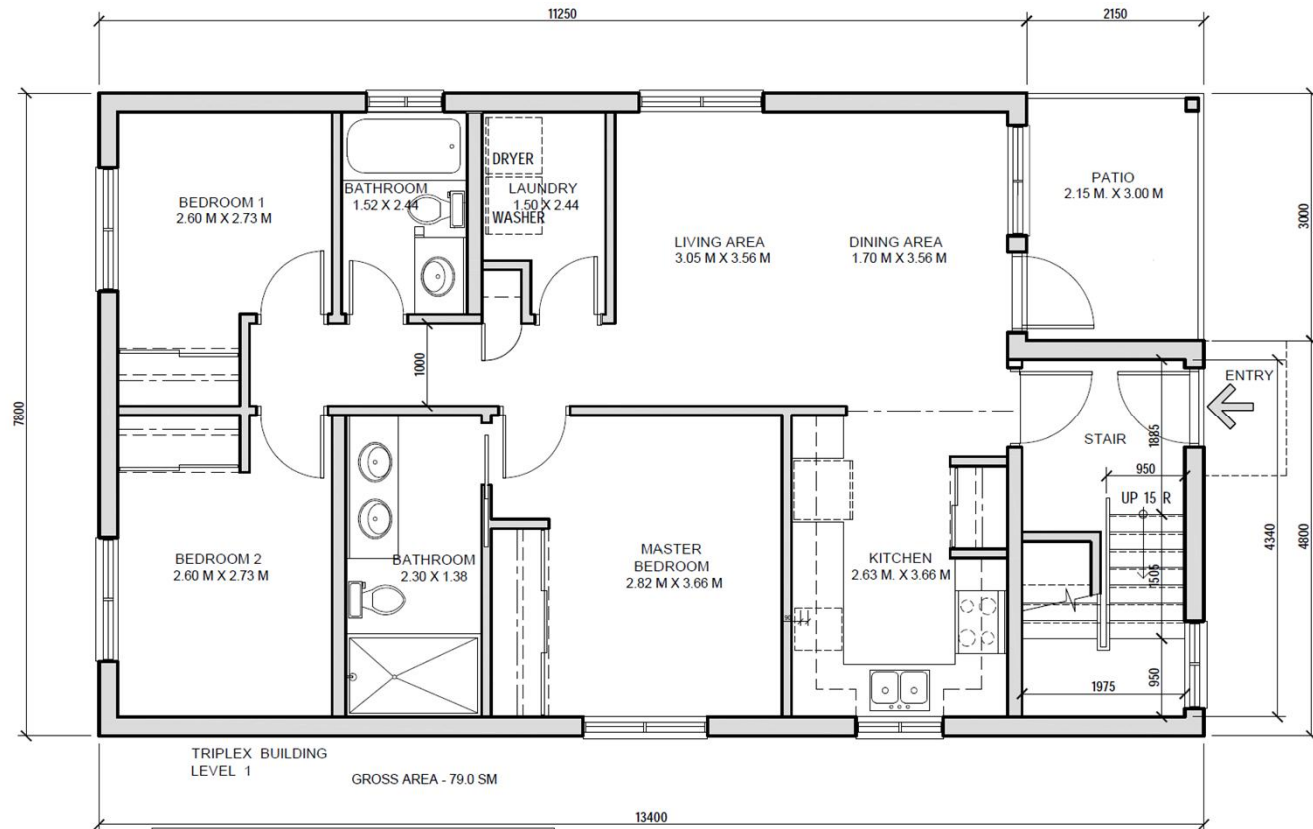
TWO-BEDROOM UNITS

FIGURE 7.2 – STACKED TOWNHOUSE – TYPICAL FLOOR PLANS



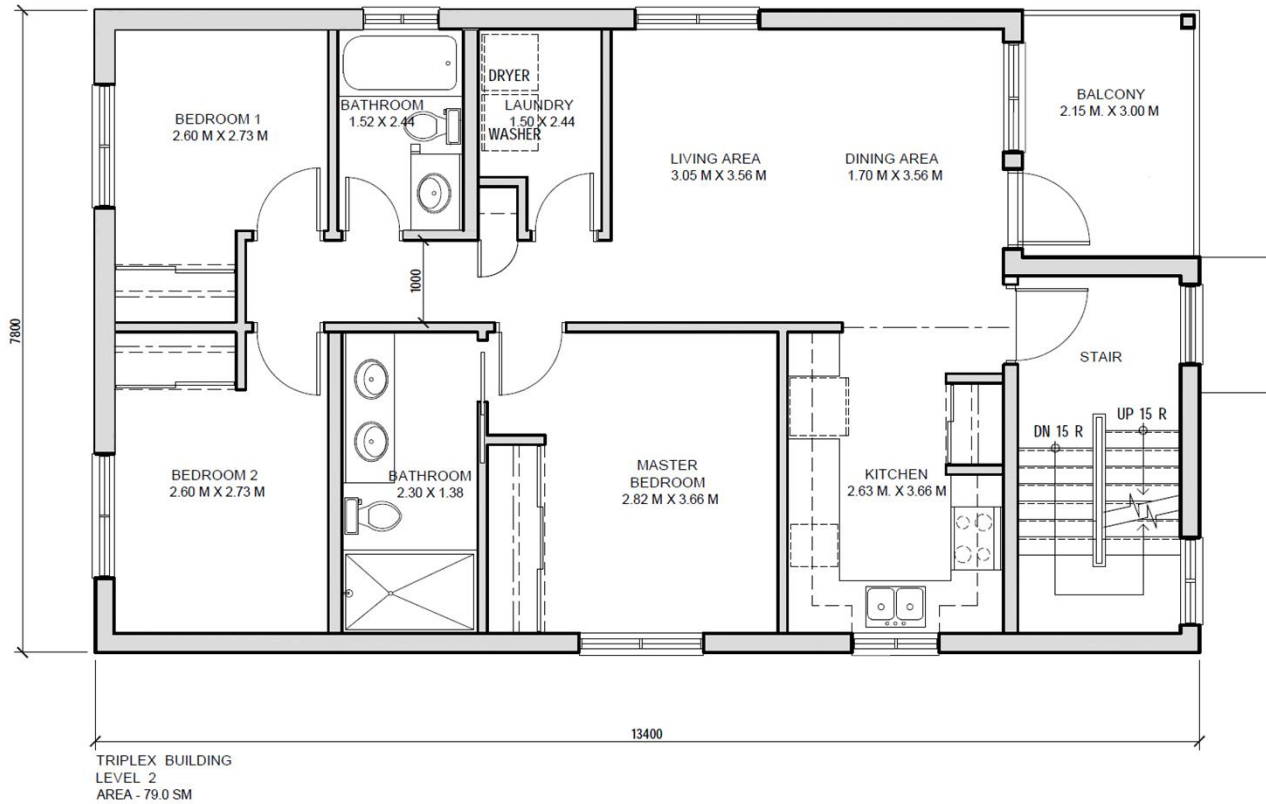
ONE-BEDROOM UNITS

FIGURE 8.1 – APARTMENT BUILDING – TYPICAL FLOOR PLANS



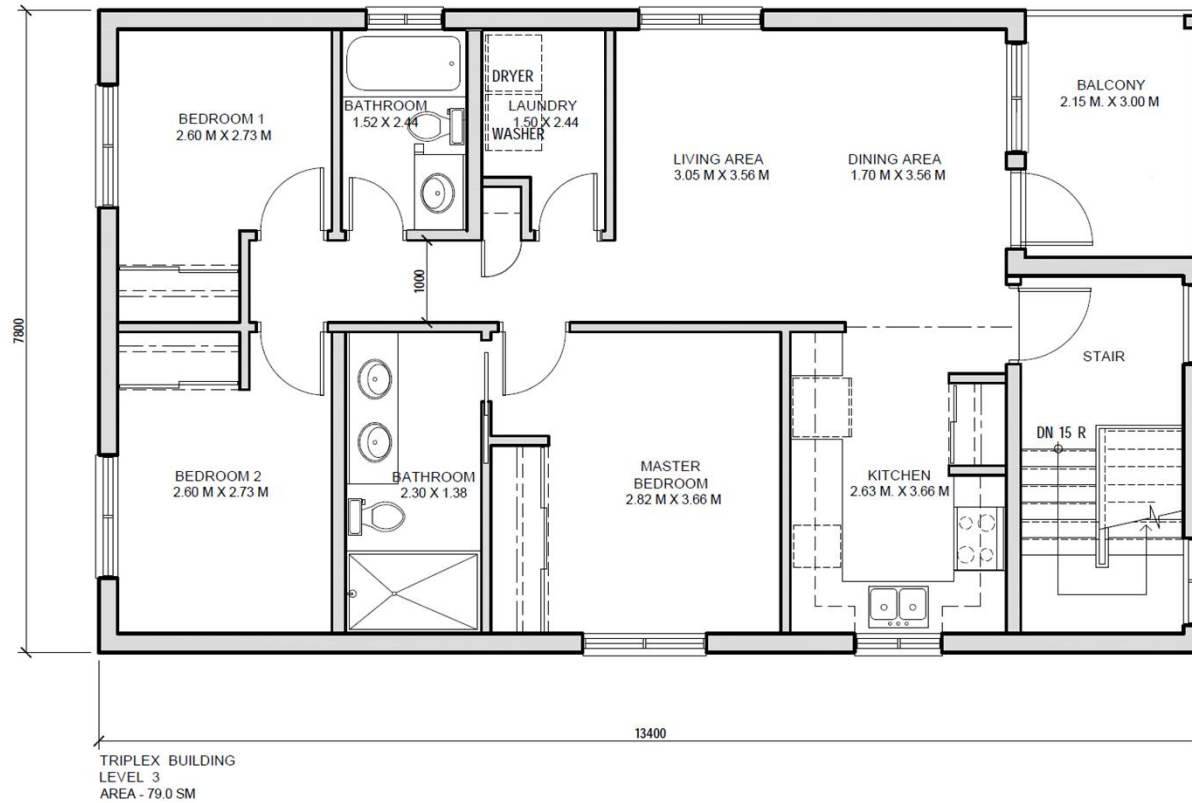
GROUND FLOOR

FIGURE 8.1 – APARTMENT BUILDING – TYPICAL FLOOR PLANS



SECOND FLOOR

FIGURE 8.1 – APARTMENT BUILDING – TYPICAL FLOOR PLANS



THIRD FLOOR