

1 Ground Floor Plan
A1
Scale = 1:100

LEGAL DESCRIPTION: LOT 27 & PART OF LOTS 28, 29, & 30

PINS: 04413-0212
04413-0387
04413-0389
04413-0399

PROPERTY:

PROPERTY AREA: 7267.07 sq.m
FRONTAGE: 122.08 m
DEPTH: 59.94 m
PROPOSED BUILDING FOOT PRINT:
BLOCK A 1348.28 sq.m
BLOCK B 1348.28 sq.m
TOTAL 2696.56 sq.m
PROPOSED LOT COVERAGE:
BLOCK A 18.55%
BLOCK B 18.55%
TOTAL 37.1%

SITE BOUNDARY INFORMATION DERIVED FROM SURVEY OF PROPERTY, LOT 27 AND PART OF LOTS 28, 29 AND 30. REGISTRAR'S COMPLETES PLAN 905. CITY OF OTTAWA. PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

ZONING: ZONE R4Z

MINIMUM LOT WIDTH: 18 m
MINIMUM LOT AREA: 450 sq.m
MINIMUM FRONT YARD SETBACK: 3 m
MINIMUM REAR YARD SETBACK: 6 m
MINIMUM INTERIOR SIDE YARD SETBACK: Up to 21m from front lot line: 3 m
More than 21m: 6 m
MINIMUM CORNER YARD SETBACK: 3 m
MAXIMUM BUILDING HEIGHT: 15 m
MAXIMUM LOT COVERAGE: NOT SPECIFIED
MINIMUM LANDSCAPING AREA: 30%
LANDSCAPING AREA PROVIDED: 4506.35sq.m
62.0%

PARKING REQUIREMENTS:

BLOCK A
REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT
58 UNITS X 1.2 = 70 PARKING SPACES
58 UNITS X 0.2 = 12 PARKING SPACES
PROVIDED:
SURFACE 22 SPACES
UNDERGROUND 42 SPACES
TOTAL 64 SPACES
BLOCK B
REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT
58 UNITS X 1.2 = 70 PARKING SPACES
58 UNITS X 0.2 = 12 PARKING SPACES
PROVIDED:
SURFACE 22 SPACES
UNDERGROUND 42 SPACES
TOTAL 64 SPACES

TOTAL
REQUIRED: 116 UNITS = 164 PARKING SPACES

PROVIDED:
RESIDENT 104 SPACES (0.9 PER UNIT)
VISITOR 24 SPACES (0.2 PER UNIT)
TOTAL 128 SPACES

BARRIER FREE PARKING

BLOCK A
BARRIER-FREE SPACES REQUIRED: 1
BARRIER-FREE SPACES PROVIDED: 1
BLOCK B
BARRIER-FREE SPACES REQUIRED: 1
BARRIER-FREE SPACES PROVIDED: 1
TOTAL SPACES PROVIDED: 2

BICYCLE PARKING

BLOCK A
BICYCLE SPACES REQUIRED: 30
BICYCLE SPACES PROVIDED: 31
BLOCK B
BICYCLE SPACES REQUIRED: 30
BICYCLE SPACES PROVIDED: 31
TOTAL SPACES PROVIDED: 62

AMENITY REQUIREMENTS:

BLOCK A
REQUIRED: 6 sq.m PER UNIT + 10% OF ALL UNIT FLOOR AREA
58 UNITS X 6 sq.m = 348 sq.m
3785.2 sq.m X 10% = 378.52 sq.m
TOTAL 726.52 sq.m
MINIMUM 50%, 363.26 sq.m, COMMUNAL AMENITY
AREA
PROVIDED:
BALCONIES 261 sq.m
TERRACES 58 sq.m
COMMUNAL AREA EXTERIOR 446.7 sq.m
COMMUNAL AREA INTERIOR 233.4 sq.m
TOTAL 999.1 sq.m
BLOCK B
REQUIRED: 6 sq.m PER UNIT + 10% OF ALL UNIT FLOOR AREA
58 UNITS X 6 sq.m = 348 sq.m
3785.2 sq.m X 10% = 378.52 sq.m
TOTAL 726.52 sq.m
MINIMUM 50%, 363.26 sq.m, COMMUNAL AMENITY
AREA
PROVIDED:
BALCONIES 261 sq.m
TERRACES 58 sq.m
COMMUNAL AREA EXTERIOR 388.2 sq.m
COMMUNAL AREA INTERIOR 233.4 sq.m
TOTAL 940.6 sq.m

NOTES FOR DRAWING A1:

- DEPRESSED CURB.
- EXISTING MEDIAN TO REMAIN.
- NEW MEDIAN.
- NEW PAD-MOUNTED PARKING.
- RAMP TO UNDERGROUND PARKING.
- GRADE LEVEL TERRACE.
- OUTLINE OF ROOF ABOVE.
- OUTLINE OF EXTERIOR WALL.
- LINE OF BALCONY ABOVE.
- CONCRETE WALL.
- BICYCLE PARKING.
- CONCRETE WALL.
- METAL GUARDRAIL.
- DRAIN SPOUT.
- EXTERIOR COMMUNAL AREA.
- ROAD WIDENING.
- HYDRO NO BUILD ZONE.

LEGENDED:

- ENTRANCE
- PROPERTY
- SETBACK
- CONCRETE
- ASPHALT
- SOD
- RIVER STONE

CONSTRUCTION NORTH

TRUE NORTH

2	Issued for Site Plan Control	19.09.24
1	Issued for Site Plan Control	20.08.24
No	ISSUE/REVISION	DATE
Nº	ÉMISSION/RÉVISION	DD/MM/YY

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PROJECT NAME / NOM DU PROJET
3817-3843 Innes Road Apartments
Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Site Plan

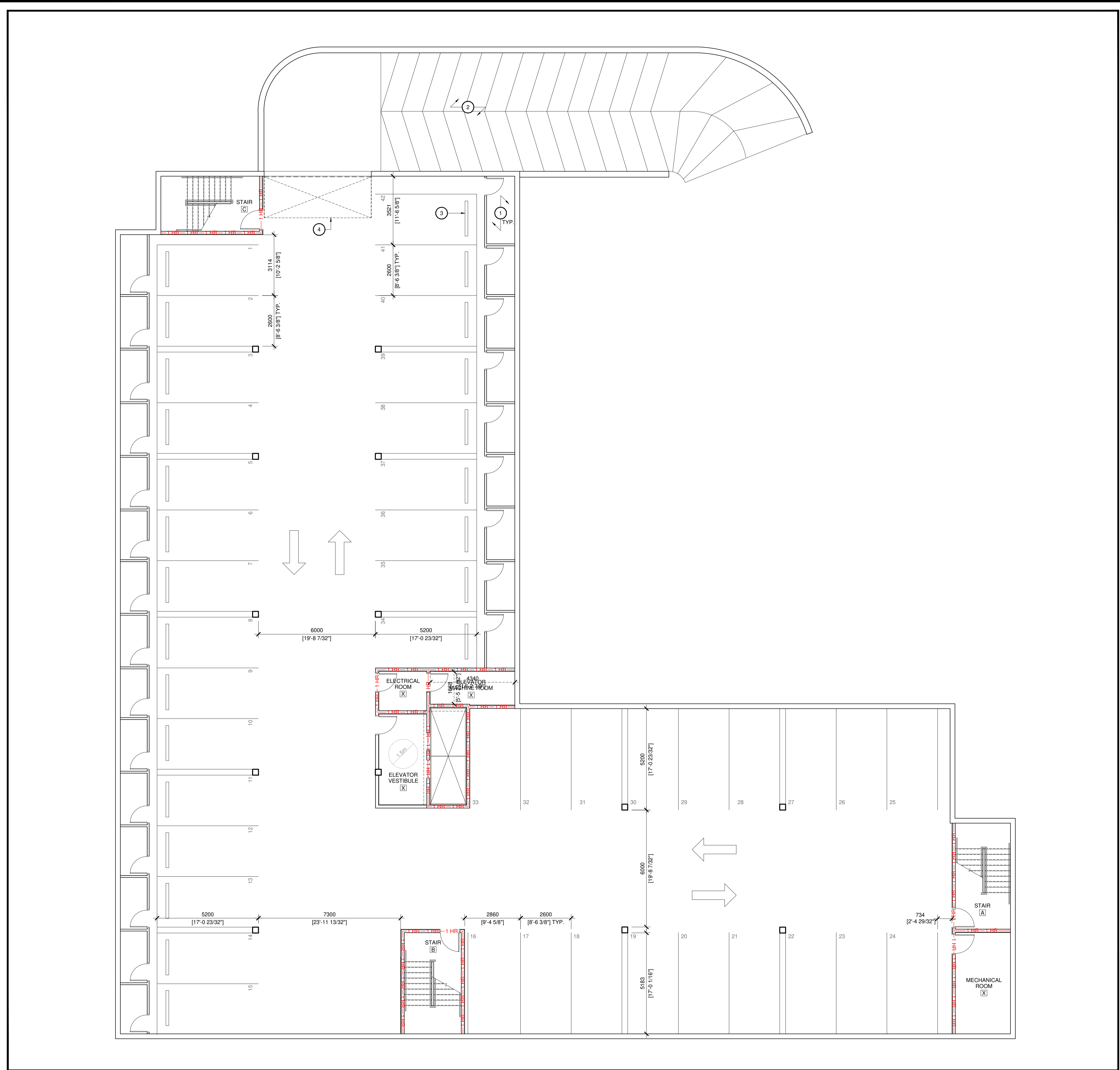
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ARCHITECT'S STAMP	DRAWING No	DESSIN Nº	

REVISION No / RÉVISION Nº 0

SCEAU D'ARCHITECTE

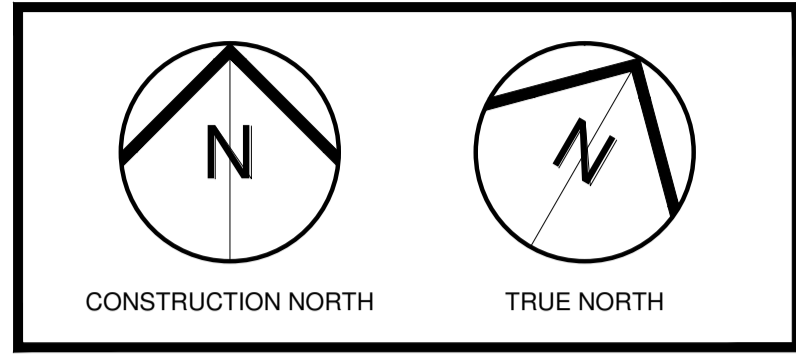
A1

D07-12-20-0164



NOTES FOR DRAWING A2.0:

1. STORAGE LOCKERS.
2. RAMP TO UNDERGROUND PARKING.
3. RUBBER CURB.
4. OVERHEAD DOOR.



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3	Issued for Site Plan Control	19.09.24
2	Issued for Site Plan Control	19.08.24
1	Issued for Coordination	08.07.24



PROJECT NAME / NOM DU PROJET
3817-3843 Innes Road Apartments
 Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Floor Plan Basement Block A

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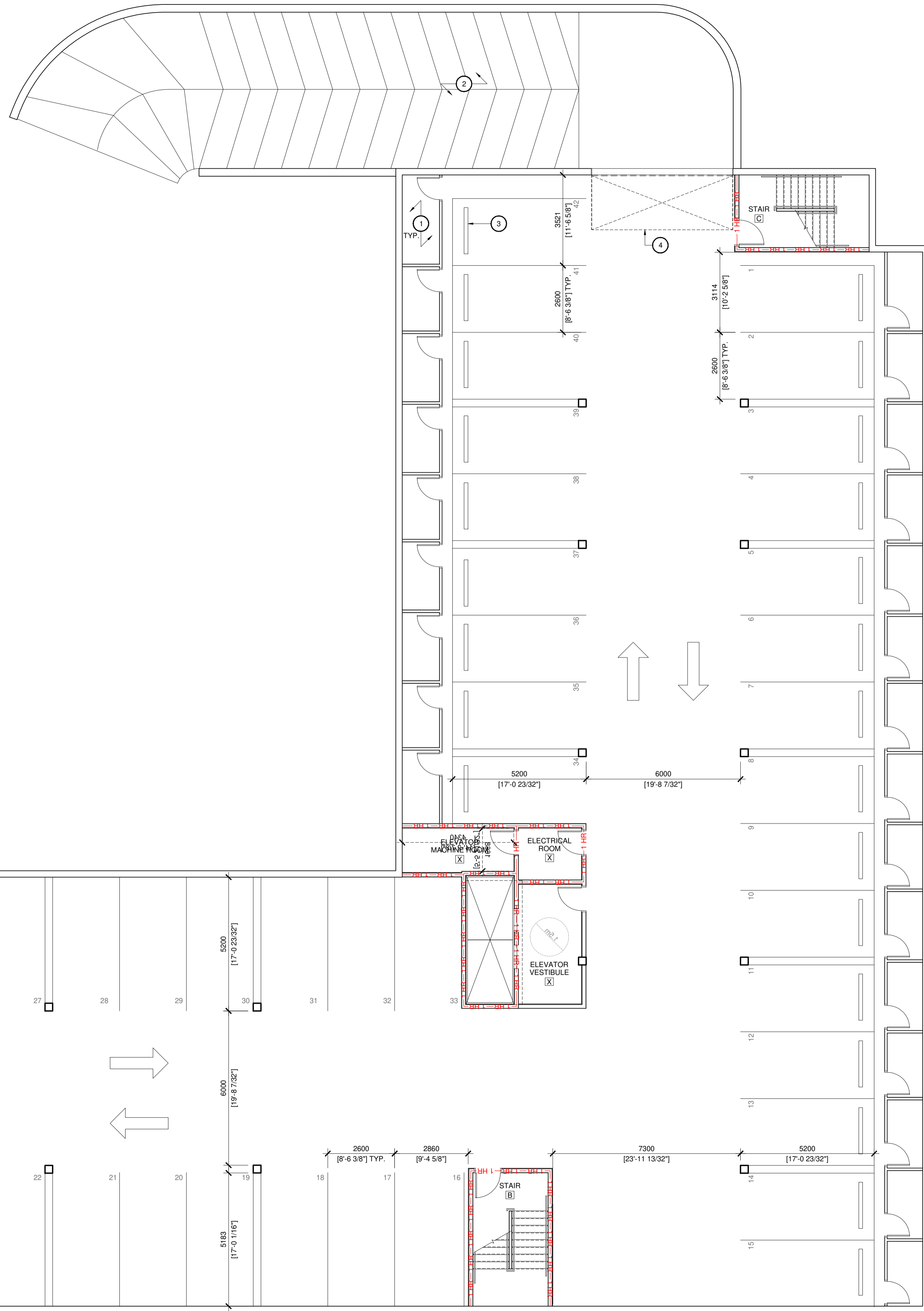
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A2.0

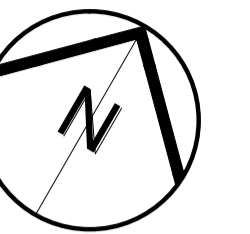
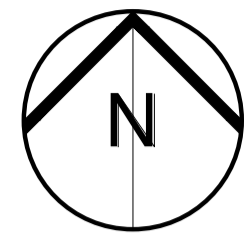
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REVISION No / RÉVISION N°
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1 Basement Floor Plan
 A2.0 Scale = 1:100

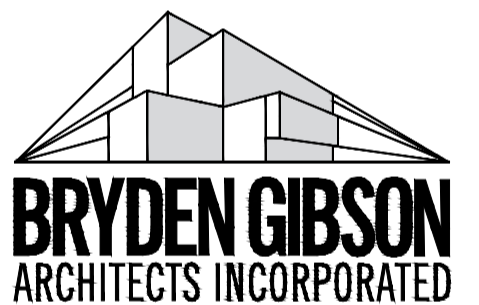


NOTES FOR DRAWING A2.1:
REFER TO DRAWING A2.0 FOR NOTES.



CONSTRUCTION NORTH TRUE NORTH

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**3817-3843 Innes Road
Apartments**

Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN

**Floor Plan
Basement
Block B**

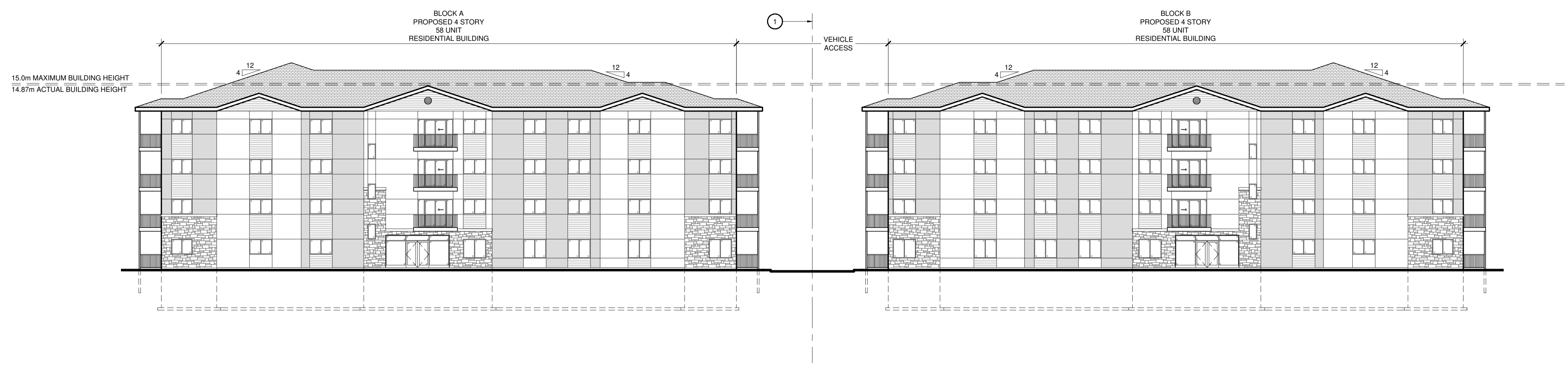
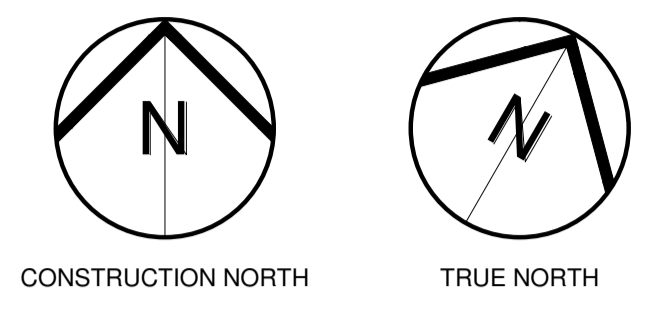
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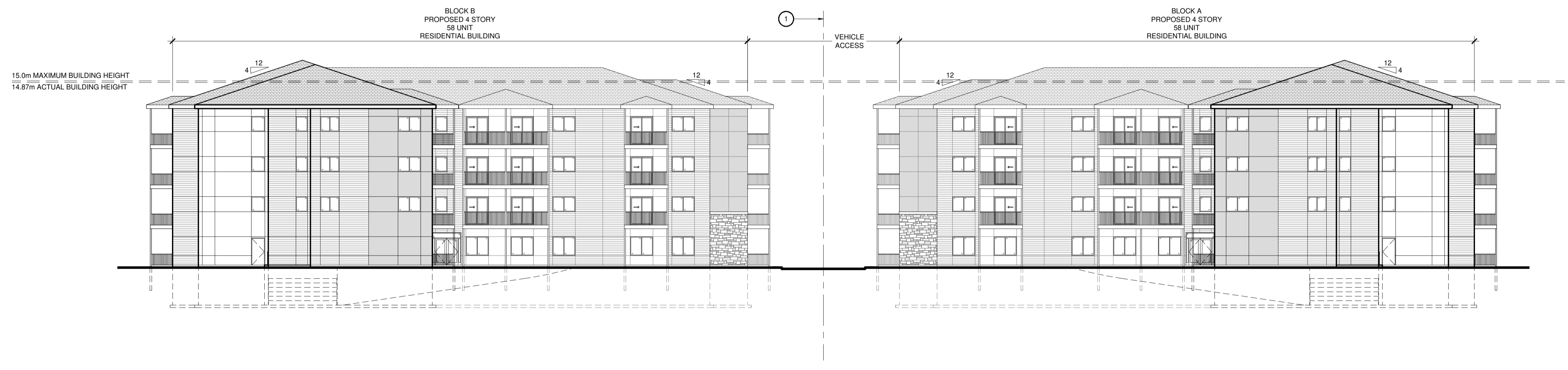
A2.1

SCEAU D'ARCHITECTE / REVISION No / RÉVISION N° 0

1 Basement Floor Plan
A2.1 Scale = 1:100



1 South Elevation - From Innes Road
Scale = 1:100



2 North Elevation
Scale = 1:100

- NOTES FOR DRAWING SERIES A3:**
- FUTURE SEVERANCE PROPERTY LINE.
 - OVERHEAD DOOR TO UNDERGROUND PARKING.
 - LINE OF RAMP TO UNDERGROUND PARKING.
 - METAL GUARD.
- LEGEND FOR DRAWING SERIES A3:**
- STONE VENEER
 - PREFINISHED FIBRE CEMENT BOARD COLOUR 1
 - PREFINISHED FIBRE CEMENT BOARD COLOUR 2
 - PREFINISHED FIBRE CEMENT PLANKS
 - ASPHALT SHINGLES

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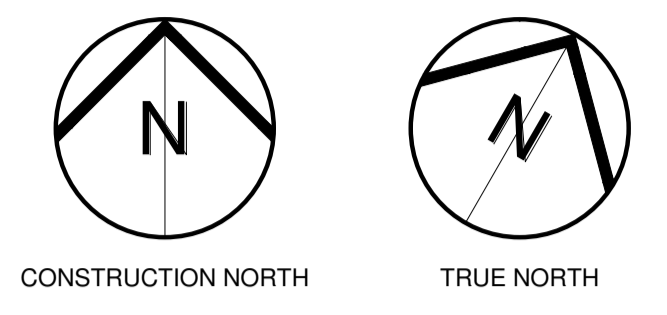
PROJECT NAME / NOM DU PROJET
3817-3843 Innes Road Apartments
Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Building Elevations Block A & B

JOB No	N° DE PROJET	DATE	DATE
814-24		May 2024	
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As Noted			
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SG			
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KS			
CHECKED BY	VÉRIFIÉ PAR		
SG			
ARCHITECT'S STAMP	DRAWING No	DESSIN N°	

A3.0

REVISION No / RÉVISION N° 1



1
A3.1 North Elevation
Scale = 1:100



2
A3.1 South Elevation
Scale = 1:100

NOTES FOR DRAWING A3.1:
REFER TO DRAWING A3.0 FOR NOTES.

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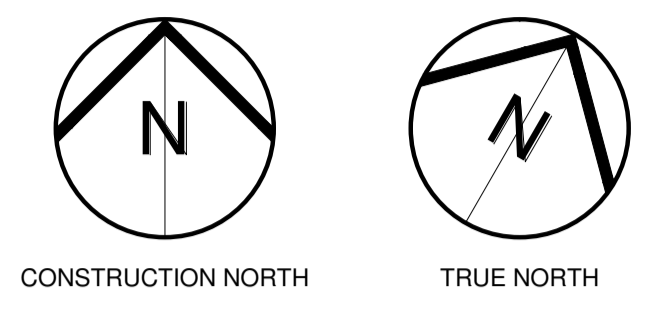
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ARCHITECTS INCORPORATED
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PROJECT NAME / NOM DU PROJET
**3817-3843 Innes Road
Apartments**
Ottawa, ON K1C 1T1
DRAWING TITLE / TITRE DU DESSIN
**Building Elevations
Block A**

JOB No 814-24	N° DE PROJET	DATE May 2024	DATE
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ARCHITECT'S STAMP	DRAWING No	DESSIN N°	

A3.1

SCAU D'ARCHITECTE
REVISION No / RÉVISION N° 1



1
A3.2 **East Elevation**
Scale = 1:100



2
A3.2 **West Elevation**
Scale = 1:100

NOTES FOR DRAWING A3.2:
REFER TO DRAWING A3.0 FRO NOTES.

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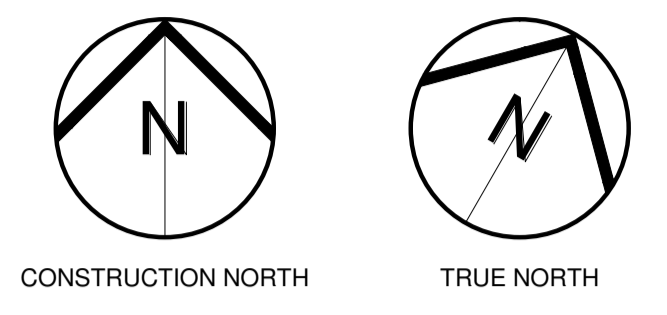
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Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Building Elevations Block A

JOB No 814-24	N° DE PROJET	DATE May 2024	DATE
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A3.2

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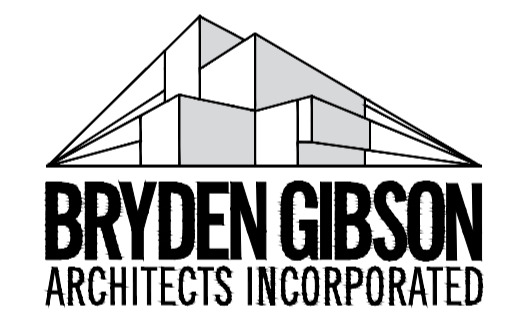
1
A3.3 North Elevation
Scale = 1:100



2
A3.3 South Elevation
Scale = 1:100

NOTES FOR DRAWING A3.3:
REFER TO DRAWING A3.0 FOR NOTES.

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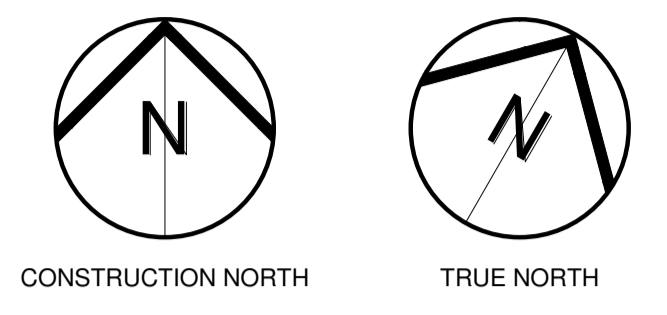
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DRAWING TITLE / TITRE DU DESSIN
**Building Elevations
Block B**

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ARCHITECT'S STAMP	DRAWING No	DESSIN N°	

A3.3

SCAU D'ARCHITECTE / RÉVISION No
1



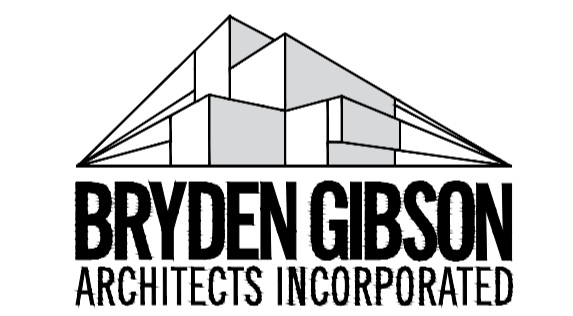
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A3.4 East Elevation
Scale = 1:100



2
A3.4 West Elevation
Scale = 1:100

NOTES FOR DRAWING A3.4:
REFER TO DRAWING A3.0 FOR NOTES.

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Block B**

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A3.4

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