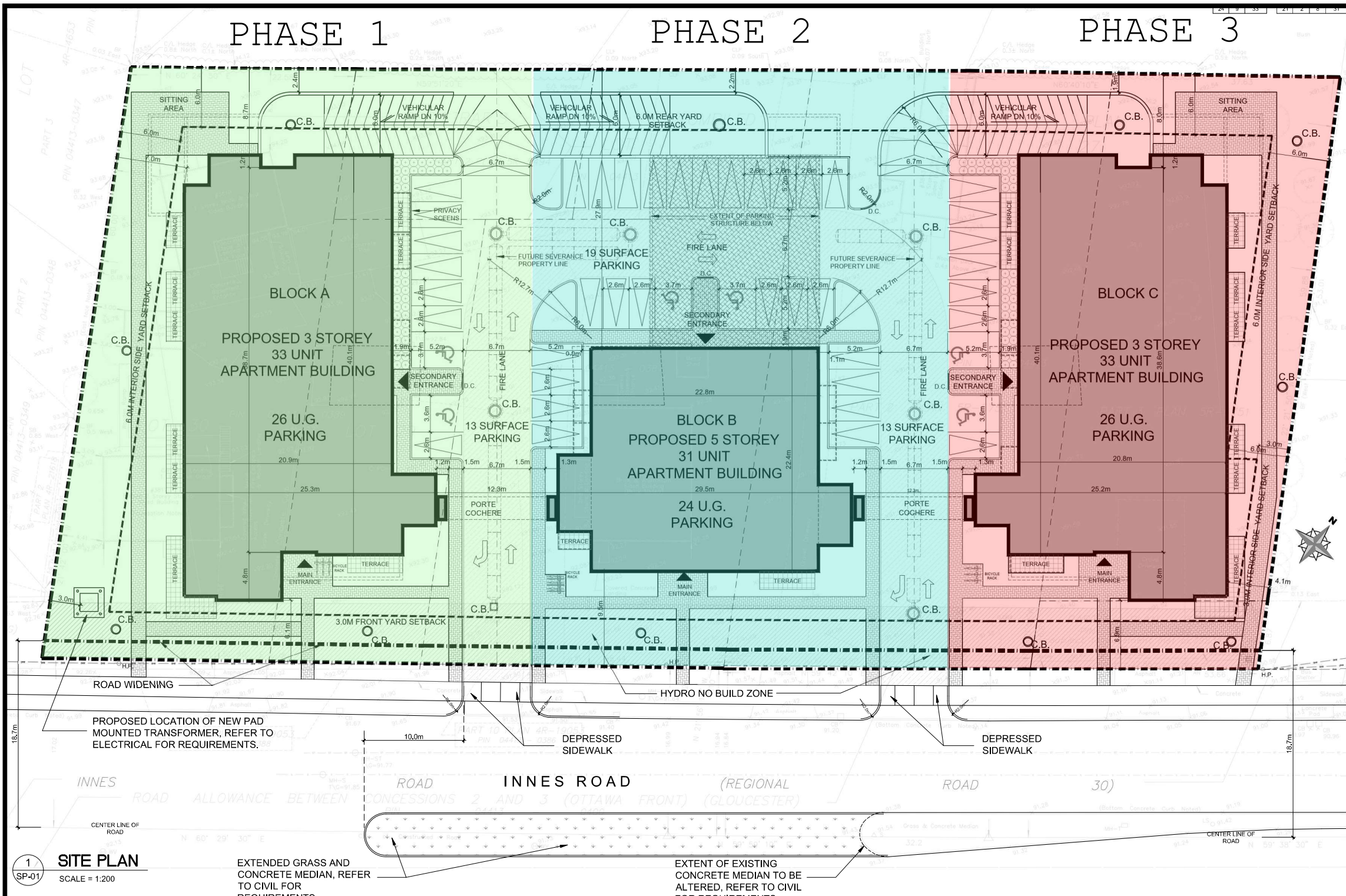


# PHASE 1

# PHASE 2

# PHASE 3



**SITE STATISTICS**

ZONING: R4Z  
 SITE AREA:  
 BLOCK A: 2452 M<sup>2</sup>  
 BLOCK B: 2508 M<sup>2</sup>  
 BLOCK C: 2308 M<sup>2</sup>  
 TOTAL: 7268 M<sup>2</sup>

**SETBACK REQUIREMENTS**

**FRONT YARD SETBACK**  
 REQUIRED: 3.00 M  
 PROVIDED:  
 BLOCK A: 4.10 M  
 BLOCK B: 9.50 M  
 BLOCK C: 6.90 M

**INTERIOR SIDE SETBACK (ABUTTING R2N ZONE)**  
 REQUIRED: 6.00 M  
 PROVIDED:  
 BLOCK A: 7.00 M

**INTERIOR SIDE SETBACK (ABUTTING LC6 ZONE)**  
 REQUIRED:  
 FIRST 21.0M: 3.00 M  
 PROVIDED: 4.10 M  
 REQUIRED:  
 BEYOND 21.0M: 6.00 M  
 PROVIDED: 6.00 M

**REAR YARD SETBACK**  
 REQUIRED: 6.00 M  
 PROVIDED:  
 BLOCK A: 8.70 M  
 BLOCK B: 27.90 M  
 BLOCK C: 8.00 M

**HEIGHT LIMITATIONS**  
 REQUIRED: 15.0 M  
 PROVIDED:  
 BLOCK A: 10.7 M  
 BLOCK B: 16.0 M  
 BLOCK C: 10.7 M

**BUILDING FOOTPRINT**  
 BLOCK A: 894 M<sup>2</sup>  
 BLOCK B: 552 M<sup>2</sup>  
 BLOCK C: 894 M<sup>2</sup>  
 TOTAL: 2340 M<sup>2</sup>

**BUILDING GFA**  
 BLOCK A: 2682 M<sup>2</sup>  
 BLOCK B: 2760 M<sup>2</sup>  
 BLOCK C: 2682 M<sup>2</sup>  
 TOTAL: 8124 M<sup>2</sup>

**LANDSCAPE**  
 BLOCK A: 1100 M<sup>2</sup> (45%)  
 BLOCK B: 791 M<sup>2</sup> (32%)  
 BLOCK C: 953 M<sup>2</sup> (41%)  
 TOTAL: 2844 M<sup>2</sup> (39%)

**RESIDENTIAL UNIT COUNT**  
 BLOCK A: 33  
 BLOCK B: 31  
 BLOCK C: 33  
 TOTAL: 97

**ASPHALT AREA AND RAMPS**  
 BLOCK A: 458 M<sup>2</sup>  
 BLOCK B: 1165 M<sup>2</sup>  
 BLOCK C: 460 M<sup>2</sup>  
 TOTAL: 2083 M<sup>2</sup>

**AMENITY AREA**  
 REQUIRED: 6.0sqm per unit  
 97 units x 6.0 = 582 sqm

**BLOCK A**  
 TOTAL BALCONIES: 192.2 sqm  
 TOTAL TERRACES: 64.2 sqm  
 TOTAL COMMUNAL AMENITY: 112 sqm  
 TOTAL AMENITY: 368.4 sqm

**BLOCK B**  
 TOTAL BALCONIES: 116 sqm  
 TOTAL TERRACES: 53 sqm  
 TOTAL COMMUNAL AMENITY: 65 sqm  
 TOTAL AMENITY: 232 sqm

**BLOCK C**  
 TOTAL BALCONIES: 192.2 sqm  
 TOTAL TERRACES: 64.2 sqm  
 TOTAL COMMUNAL AMENITY: 112 sqm  
 TOTAL AMENITY: 368.4 sqm

**TOTAL AMENITY BLOCK A, B & C**  
 968 sqm

**PARKING STATISTICS**

**BLOCK A**  
 REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT  
 33 UNITS X 1.4 = 46 PARKING SPACES  
 PROVIDED:  
 SURFACE: 9 SPACES  
 UNDERGROUND: 26 SPACES  
 TOTAL: 35 SPACES

**BLOCK B**  
 REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT  
 31 UNITS X 1.4 = 43 PARKING SPACES  
 PROVIDED:  
 SURFACE: 27 SPACES  
 UNDERGROUND: 24 SPACES  
 TOTAL: 51 SPACES

**BLOCK C**  
 REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT  
 33 UNITS X 1.4 = 46 PARKING SPACES  
 PROVIDED:  
 SURFACE: 9 SPACES  
 UNDERGROUND: 26 SPACES  
 TOTAL: 35 SPACES

**TOTAL REQUIRED:**  
 97 UNITS X 1.4 = 136 PARKING SPACES  
 PROVIDED:  
 SURFACE: 45 SPACES  
 UNDERGROUND: 76 SPACES  
 TOTAL: 121 SPACES (1.25 PER UNIT)  
 (16 HANDICAP PARKING SPACES INCLUDED)

CLIENT: **BRIDOR Developments**

INFORMATION SHOWN ON THIS DRAWING HAS BEEN TAKEN FROM A SURVEY PREPARED BY: xxxxxx

**LEGEND:**

- PROPERTY LINE
- PROPERTY SETBACK
- OVERHEAD WIRES
- EXISTING BUILDING
- BUILDING ENTRANCE
- W.P. WALL MOUNTED LIGHT
- H.P. HYDRO POLE
- F.H. FIRE HYDRANT
- M.H. MANHOLE
- C.B. CATCH BASIN
- RETAINING WALL
- D.C. DEPRESSED CURB
- X 100.00 EXISTING GRADE
- 100.00 PROPOSED GRADE
- INTERLOCK PAVERS
- DESIGNATED FIRE ROUTE
- TERRACE

| No. | REVISIONS  | BY | DATE          |
|-----|------------|----|---------------|
| 15  | FOR REVIEW | PE | MAR. 23 2021  |
| 14  | FOR REVIEW | PE | NOV. 23 2020  |
| 13  | FOR REVIEW | PE | NOV. 10 2020  |
| 12  | FOR REVIEW | PE | NOV. 02 2020  |
| 11  | FOR REVIEW | PE | OCT. 27 2020  |
| 10  | FOR REVIEW | PE | SEPT. 29 2020 |
| 09  | FOR REVIEW | PE | AUG. 05 2020  |
| 08  | FOR REVIEW | PE | JUNE 22 2020  |
| 07  | FOR REVIEW | PE | JUNE 09 2020  |
| 06  | FOR REVIEW | PE | JUNE 03 2020  |
| 05  | FOR REVIEW | PE | JUNE 02 2020  |
| 04  | FOR REVIEW | PE | MAY 28 2020   |
| 03  | FOR REVIEW | PE | MAY 12 2020   |
| 02  | FOR REVIEW | PE | APR. 24 2020  |
| 01  | FOR REVIEW | PE | APR. 14 2020  |

NOT AUTHENTIC UNLESS SIGNED AND DATED

**P<sup>2</sup> concepts**  
 CONSULTING ENGINEERS

STRUCTURAL  
 MECHANICAL  
 ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: P.E.

PROJECT: **3817-3843 INNES ROAD ORLEANS**

DRAWING TITLE: **SITE PLAN**

PROJECT NO: 0378  
 DATE: APRIL 09, 2020

**1 SITE PLAN**  
 SP-01 SCALE: 1:200

SITE INFORMATION DERIVED FROM SURVEY TITLED, TOPOGRAPHICAL PLAN OF LOT 27 AND PART OF LOTS 28, 29 AND 30 REGISTRAR'S COMPILED PLAN 905 CITY OF OTTAWA

Prepared by: ANNIS, OSULLIVAN, VOLLEBEKK LTD.

| PART | LOT                    | PLAN | P/B#              |
|------|------------------------|------|-------------------|
| 1    | PART OF LOT 27         |      | ALL OF 04413-0212 |
| 2    | PART OF 27 & 28        |      | ALL OF 04413-0387 |
| 3    | PART OF 28             |      | ALL OF 04413-0387 |
| 4    | PART OF LOTS 29 AND 30 |      | ALL OF 04413-0389 |
| 5    | PART OF LOTS 29 AND 30 |      | ALL OF 04413-0389 |
| 6    | PART OF LOT 27         |      | ALL OF 04413-0399 |
| 7    | PART OF LOT 27         |      | ALL OF 04413-0399 |
| 8    | PART OF LOT 27         |      | ALL OF 04413-0399 |

ELEVATION NOTE  
 1. ELEVATIONS ARE GEODETIC.  
 2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN IN THE ABOVE REFERENCED SURVEY.

EXTENDED GRASS AND CONCRETE MEDIAN, REFER TO CIVIL FOR REQUIREMENTS.

EXTENT OF EXISTING CONCRETE MEDIAN TO BE ALTERED, REFER TO CIVIL FOR REQUIREMENTS.

