

SITE STATISTICS

ZONING: R4Z

SITE AREA:
BLOCK A: 3708 M²
BLOCK B: 3560 M²
TOTAL: 7268 M²

SETBACK REQUIREMENTS

FRONT YARD SETBACK:
REQUIRED: 3.00 M
PROVIDED: 6.00 M (BLOCK A), 6.90 M (BLOCK B)

INTERIOR SIDE SETBACK (ABUTTING R2N ZONE):
REQUIRED: 6.00 M
PROVIDED: 7.00 M (BLOCK A), 7.00 M (BLOCK B)

INTERIOR SIDE SETBACK (ABUTTING L6B ZONE):
REQUIRED: FIRST 21.0M: 3.00 M, 4.10 M
PROVIDED: BEYOND 21.0M: 6.00 M, 6.00 M

REAR YARD SETBACK:
REQUIRED: 6.00 M
PROVIDED: 8.80 M (BLOCK A), 8.00 M (BLOCK B)

HEIGHT LIMITATIONS:
REQUIRED: 15.0 M
PROVIDED: BLOCK A: 13.7 M, BLOCK B: 13.7 M

BUILDING FOOTPRINT

BLOCK A: 1218 M²
BLOCK B: 1218 M²
TOTAL: 2436 M²

BUILDING GFA

BLOCK A: 4872 M²
BLOCK B: 4872 M²
TOTAL: 9744 M²

LANDSCAPE

BLOCK A: 1490 M² (40.2%)
BLOCK B: 1342 M² (37.7%)
TOTAL: 2832 M² (38.97%)

RESIDENTIAL UNIT COUNT

BLOCK A: 55
BLOCK B: 55
TOTAL: 110

ASPHALT AREA AND RAMPS

BLOCK A: 1000 M²
BLOCK B: 1000 M²
TOTAL: 2000 M²

AMENITY AREA

REQUIRED: 15.0 sqm for the first 8 units
6.0 sqm for the rest of the units
15.0 sqm x 8 units + 6.0 sqm x 47 units = 1402 sqm / (BLOCK A x 2 BLOCKS = 804 sqm)

BLOCK A

TOTAL BALCONIES: 231.3 sqm
TOTAL TERRACES: 38.2 sqm
TOTAL COMMUNAL AMENITY: 350.0 sqm
TOTAL ROOF AMENITY: 34.38 sqm
TOTAL AMENITY: 653.88 sqm

BLOCK B

TOTAL BALCONIES: 231.3 sqm
TOTAL TERRACES: 38.2 sqm
TOTAL COMMUNAL AMENITY: 350.0 sqm
TOTAL ROOF AMENITY: 34.38 sqm
TOTAL AMENITY: 653.88 sqm

TOTAL AMENITY BLOCK A & B
1307.76 sqm

PARKING STATISTICS

BLOCK A:
REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT = 55 UNITS X 1.4 = 77 PARKING SPACES
PROVIDED: SURFACE: 22 SPACES, UNDERGROUND: 42 SPACES, TOTAL: 64 SPACES

BLOCK B:
REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT = 55 UNITS X 1.4 = 77 PARKING SPACES
PROVIDED: SURFACE: 22 SPACES, UNDERGROUND: 42 SPACES, TOTAL: 64 SPACES

TOTAL REQUIRED:
110 UNITS X 1.4 = 154 PARKING SPACES
PROVIDED:
SURFACE: 44 SPACES, UNDERGROUND: 84 SPACES, TOTAL: 128 SPACES (1.16 PER UNIT) (2 HANDICAP PARKING SPACES INCLUDED)

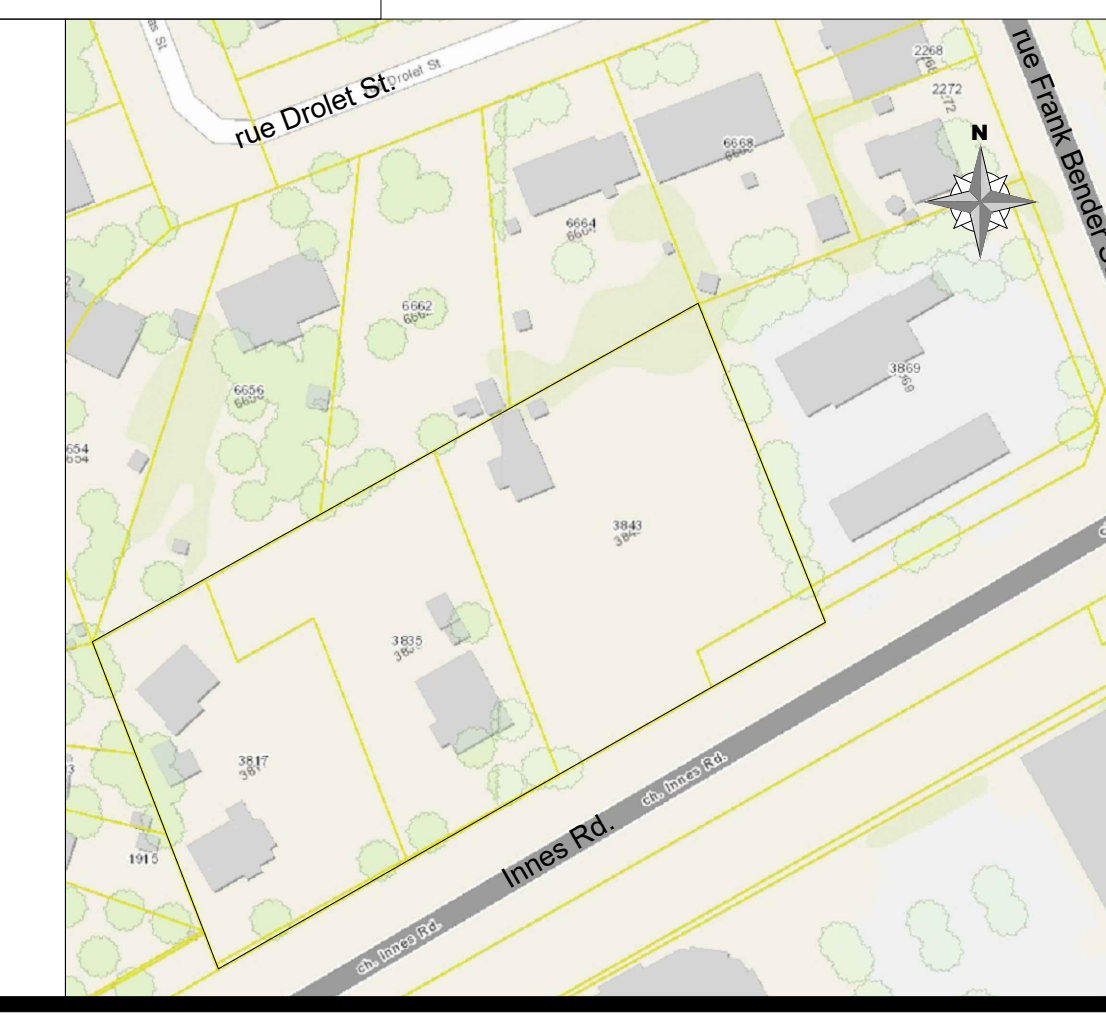
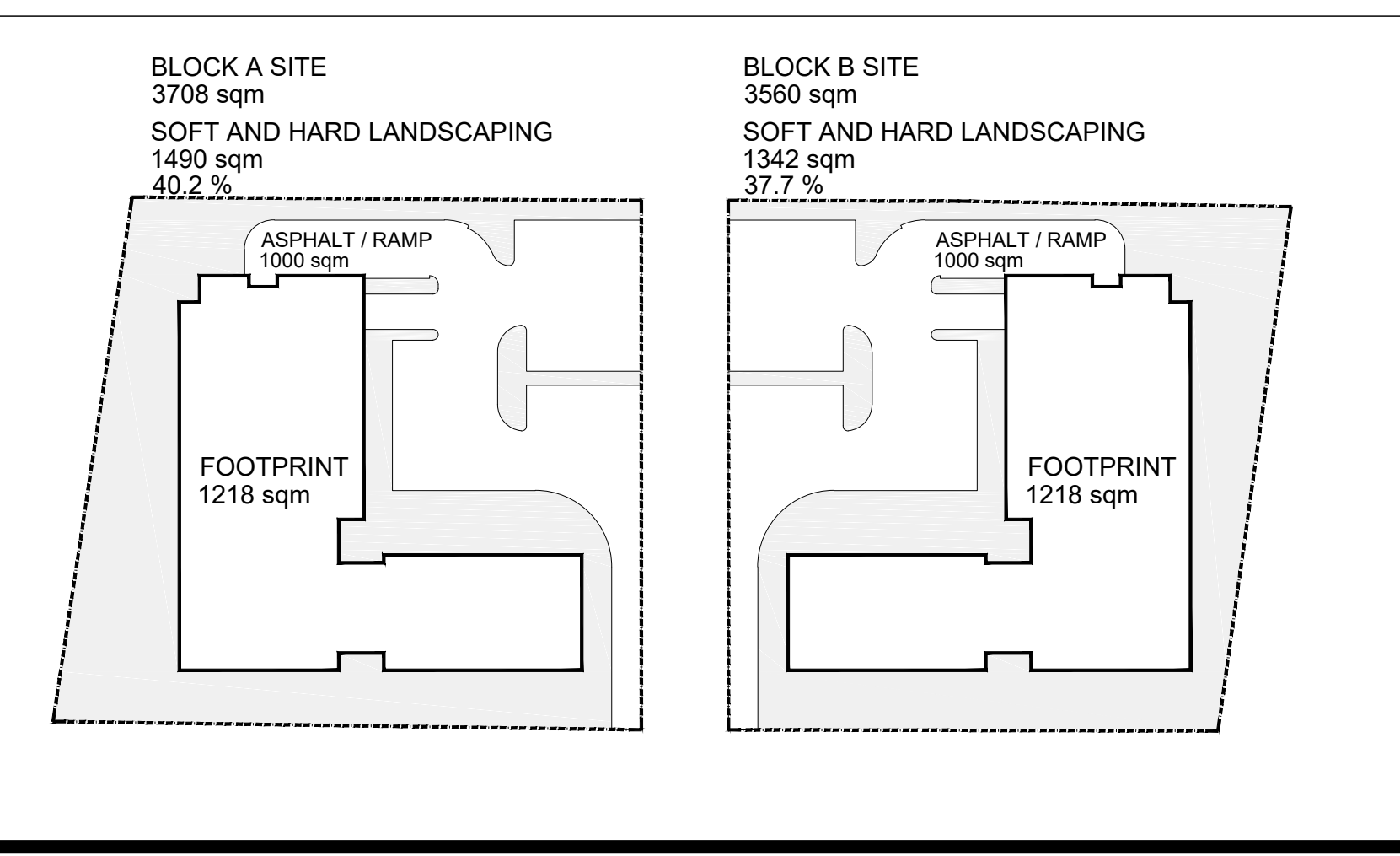
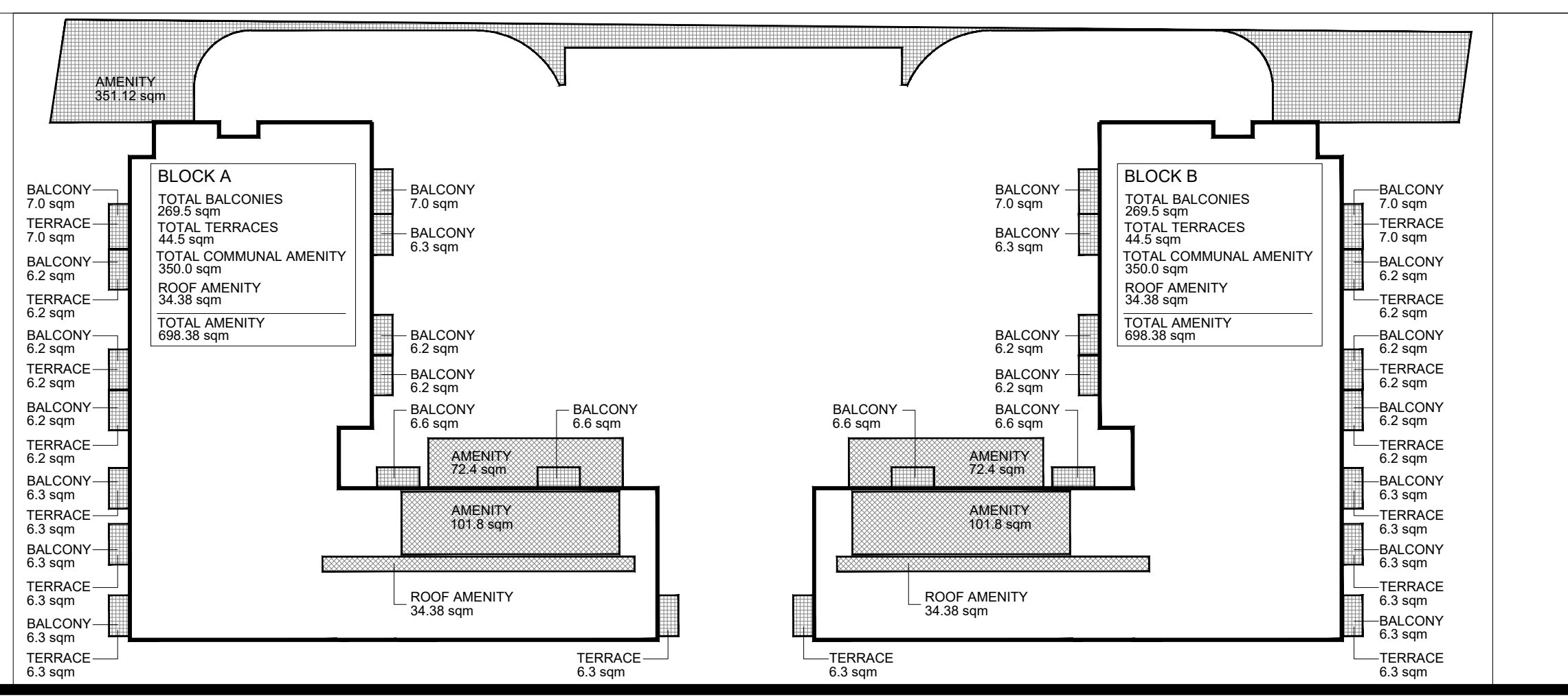
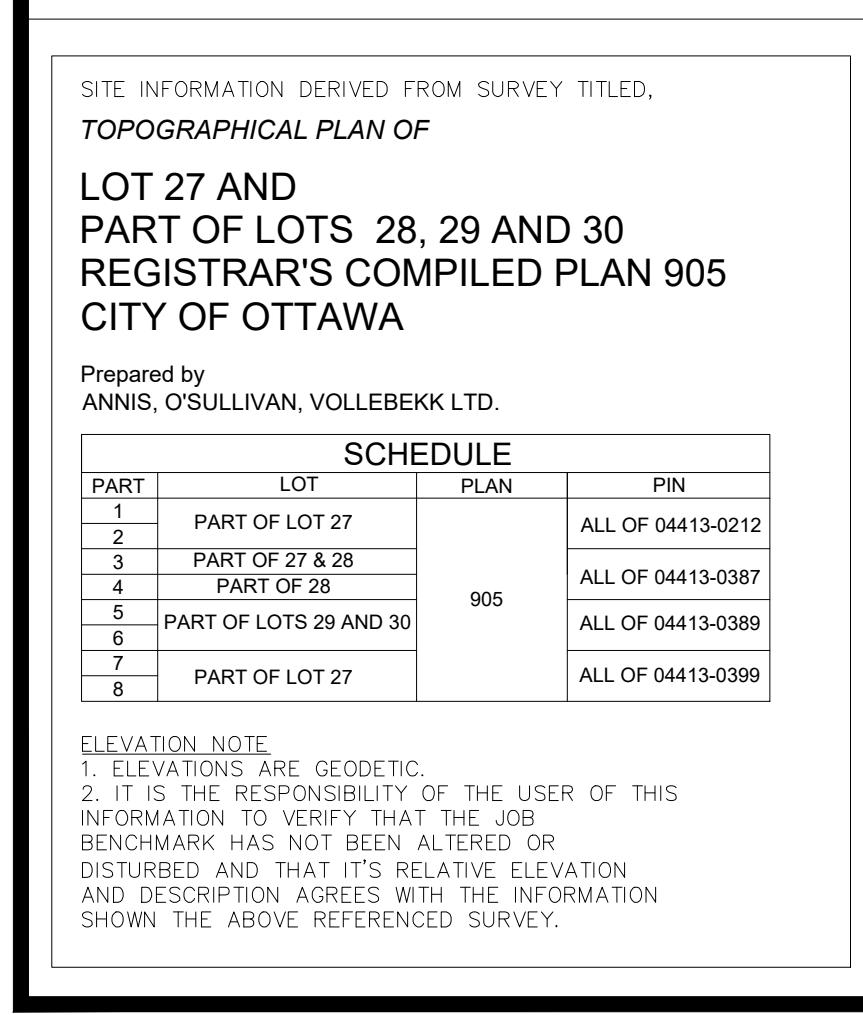
BRIDOR
Developments

LEGEND:

- PROPERTY LINE
- PROPERTY SETBACK
- OVERHEAD WIRES
- EXISTING BUILDING
- BUILDING ENTRANCE
- W.P. WALL MOUNTED LIGHT
- H.P. HYDRO POLE
- F.H. FIRE HYDRANT
- M.H. MANHOLE
- C.B. CATCH BASIN
- RETAINING WALL
- D.C. DEPRESSED CURB
- EXISTING GRADE
- PROPOSED GRADE
- CONCRETE
- DESIGNATED FIRE ROUTE

| No. | REVISIONS | BY | DATE |
|-----|------------|----|---------------|
| 24 | FOR REVIEW | JP | NOV. 22 2022 |
| 23 | FOR REVIEW | JP | AUG. 18 2022 |
| 22 | FOR REVIEW | PE | JUNE 02 2022 |
| 21 | FOR REVIEW | PE | MAY 26 2022 |
| 20 | FOR REVIEW | PE | MAY 12 2022 |
| 19 | FOR REVIEW | PE | APR. 01 2022 |
| 18 | FOR REVIEW | PE | MAR. 21 2022 |
| 17 | FOR REVIEW | PE | FEB. 02 2022 |
| 16 | FOR REVIEW | PE | APR. 09 2021 |
| 15 | FOR REVIEW | PE | MAR. 23 2021 |
| 14 | FOR REVIEW | PE | NOV. 23 2020 |
| 13 | FOR REVIEW | PE | NOV. 10 2020 |
| 12 | FOR REVIEW | PE | NOV. 02 2020 |
| 11 | FOR REVIEW | PE | OCT. 27 2020 |
| 10 | FOR REVIEW | PE | SEPT. 29 2020 |
| 09 | FOR REVIEW | PE | AUG. 05 2020 |
| 08 | FOR REVIEW | PE | JUNE 22 2020 |
| 07 | FOR REVIEW | PE | JUNE 09 2020 |
| 06 | FOR REVIEW | PE | JUNE 03 2020 |
| 05 | FOR REVIEW | PE | JUNE 02 2020 |
| 04 | FOR REVIEW | PE | MAY 28 2020 |
| 03 | FOR REVIEW | PE | MAY 12 2020 |
| 02 | FOR REVIEW | PE | APR. 24 2020 |
| 01 | FOR REVIEW | PE | APR. 14 2020 |

NOT AUTHENTIC UNLESS SIGNED AND DATED



D2 concepts
738 RIDGEWOOD AVE., UNIT 201
OTTAWA, ONTARIO, K1V 6M8

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: P.E.

PROJECT: 3817-3843 INNES ROAD ORLEANS

DRAWING TITLE: SITE PLAN

PROJECT NO.: 0378
DATE: APRIL, 09, 2020

SP01