

DESIGN BRIEF

Submitted to:

**Development Review, Suburban Services, East
Planning, Infrastructure and Economic
Development Department
City of Ottawa**

In Consideration for Project:

**3817-3843 Innes Rd. Orleans
97 Units in 3 phased low-rise apartment buildings**

November 09, 2020

Pconcepts



Section 1**The application Submission:**

Type of application – Site Plan application (standard non rural application) and Minor Variance application.

Legal description

Municipal address 3817-3843 Innes road, Orleans.

Purpose to the application – To facilitate the redevelopment of the property for a three phased low-rise apartment development. 97 apartment units in three low-rise apartment buildings with off street parking 121 parking spaces combined between interior and exterior facilities. Low rise apartment buildings main facades face Innes Road which are separated by an internal private roadway/drive with three independent (ie unconnected) underground parking garages supplemented by exterior surface parking.

Vision statement and goals for the project – The redevelopment of this property is an excellent opportunity for a rental infill apartment development in close proximity to existing public transportation and commercial infrastructure in an established neighbourhood. The proposed streetscape that will result will improve this block on Innes Road and provide a sensitively designed new development that will be built in harmony with nearby properties.

Response to City Comments:

Official Plan – The property is in a General Urban designation which permits this scale of development. The General Urban Area designation permits the development of a full range and choice of housing types to meet the needs of all ages, incomes and life circumstances, in combination with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses. This will facilitate the development of complete and sustainable communities. The scale of this development is in conformity with the General Urban designation guidelines.

Key policies within the General Urban Area designation that are applicable to this infill development is contained in Sections 2.5.1 (Designing Ottawa) and 3.6.1 of the Official Plan and are:

2.5.1 The Design Objectives of this section are as follows with our response in brackets

Design Objectives

The Design Objectives of this Plan listed below are qualitative statements of how the City wants to influence the built environment as the city matures and evolves. These Design Objectives are broadly applicable, to plans and development in all land use designations, and from a citywide to a site-specific basis.

1. To enhance the sense of community by creating and maintaining places with their own distinct identity. (The proposed development with its phased development while being part of the overall development through its architectural treatment and its location, will have its own distinct identity.)
2. Alternative building massing. (The building development mass has been adjusted to show a conscious effort to relate to the surrounding neighbourhood, The three and five storey low rise design proposal is compatibly massed in rising from the neighbours into a slightly high form in the centre. The slightly higher five storey building mass has been pulled forward from the north property line, creating a more court like space and greater distance adjacent to the neighbours.)
3. To define quality public and private spaces through development. (We have developed a quality public area facing Innes Road with private areas along the access to the amenity areas in the rear of the site and the area around the parking which are private accesses)
4. To create places that are safe, accessible and are easy to get to, and move through. (Access is provided directly from the street to each of the buildings and two access points for cars are provided to serve the development, as far away from the intersection and adjoining commercial usage as practically possible.)
5. To ensure that new development respects the character of existing areas. (The scale, density and height of the development is in character with the surrounding neighbourhood with the highest mass, five storeys, contained between the perimeter three storey buildings and to the front of the site.)
5. To consider adaptability and diversity by creating places that can adapt and evolve easily over time and that are characterized by variety and choice. (Apartment units within the buildings development could be combined to merge units and to provide flexibility into different bedroom mixes.)

3.6.1.1 General Urban Area areas are designated on Schedule B. The General Urban Area designation permits all types and densities of housing, as well as employment, retail uses, service, industrial, cultural, leisure, greenspace, entertainment and institutional uses.

(The density of housing proposed is permitted in this designation.)

3.6.1.3 When considering a proposal for residential intensification through infill or redevelopment in the General Urban Area, the City will:

Recognize the importance of new development relating to existing community character so that it enhances and builds upon desirable established patterns and built form;

(The proposed 3 & 5 storey plus basement residential apartment buildings are in general conformity with existing residential development and recent infill projects and location on an arterial route with access to commercial and transit. It is an appropriate land use in the community with the density of development that is being proposed.)

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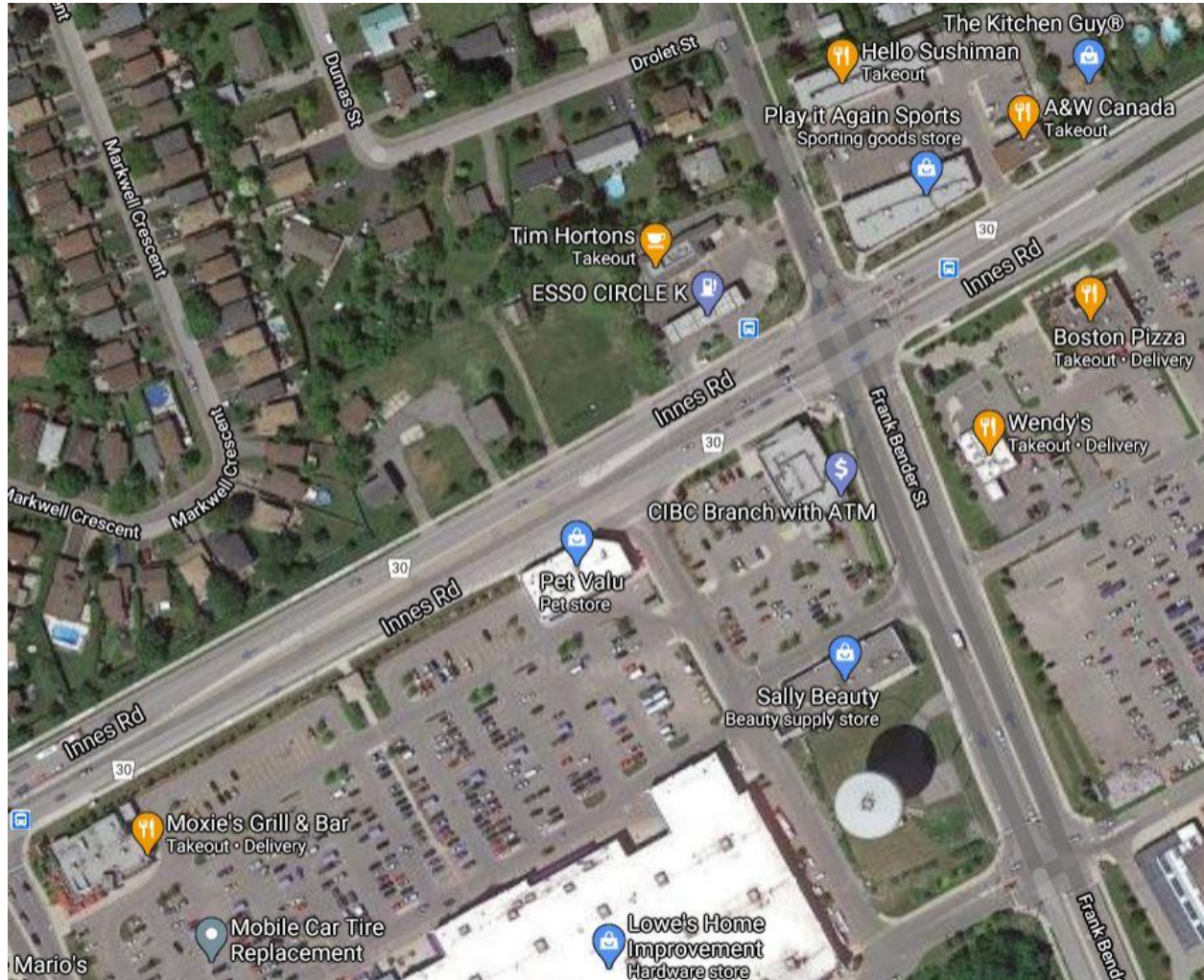
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Context Plan:



The immediate streetscape is one of low density, mainly one and two storey dwellings with commercial adjacent to the site. The architecture of existing and new interventions is characterized by elements such as porte cochere porticos, balconies, both sloped and flat roofs, punched windows, and varying cladding materials including stucco, masonry, and siding.

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Section 11 – Design Proposal:

Massing and Scale – Views:



The property borders sites with residential building to the west and north (generally 2 storey), a commercial gas station to the east and shopping centres development to the south. The three and five storey low rise design proposal is compatibly massed in rising slightly from its neighbours into this relatively more dynamic and slightly higher form in the centre and pulled forward from the rear property line.

The buildings design is characterized by balconies, extensive glazing and main entrances with porte cochere facing Innes Road, which offer a residential feel and human scale to the streetscape.

Building Design:

The proposed three low rise apartment buildings seek to offer a residential aesthetic addition and enhance the visual image to the existing frontage on Innes Road.

The massing maintains a low profile adjacent to the neighbours.

The three separate low-rise apartment buildings are visually linked through the porte-cochere unifying a physical connection to the complete development while maintaining a separate identity to each building.

High-quality landscape integration along Innes Road and perimeter of site including amenity areas at the north side of the site contribute to the overall desired character. The porte cochere also offer a human-scale element and sense of identity to each building fronting on an arterial route.

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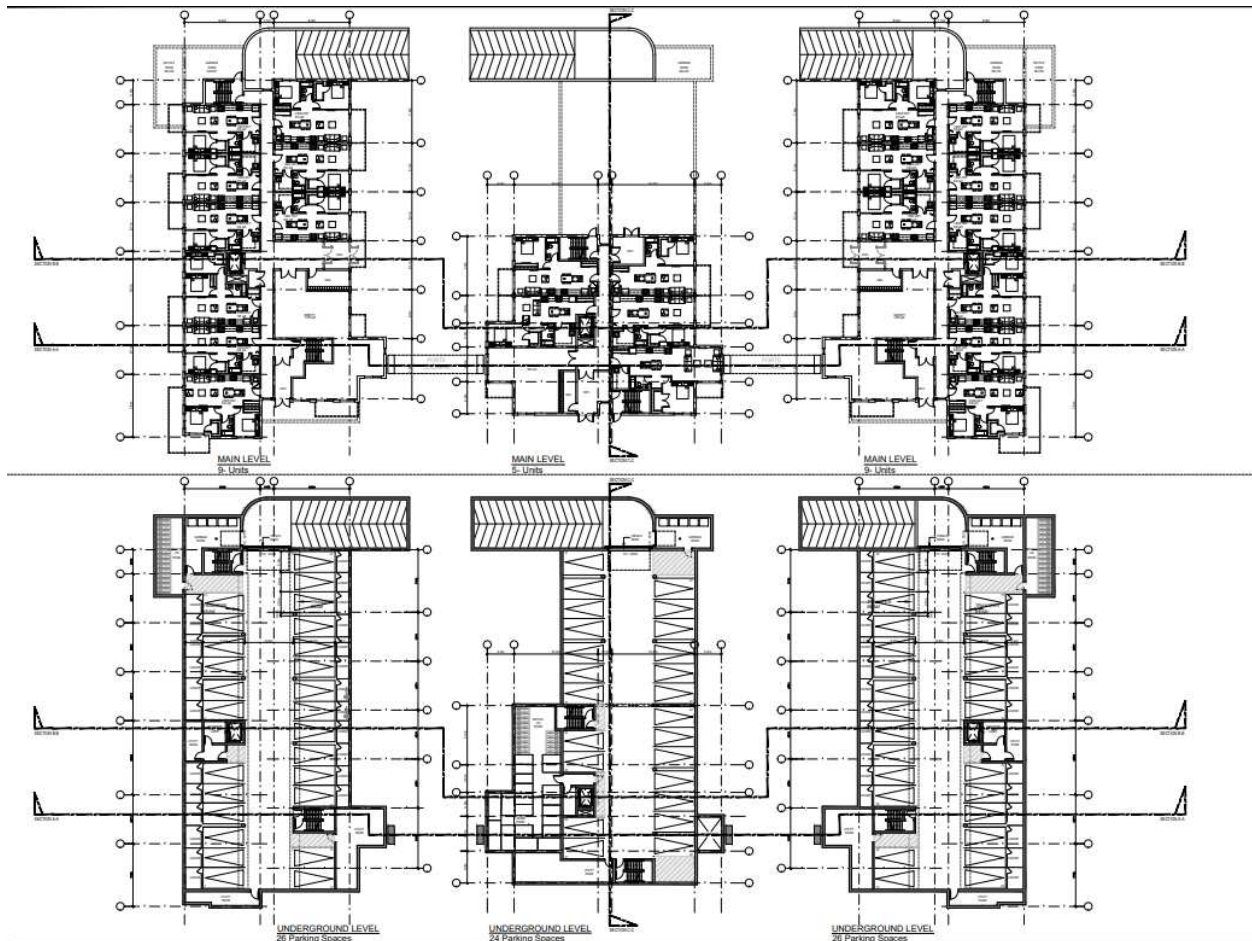
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Sustainability:

The proposal offers a compact building footprint with a high density of dwelling units within proximity with public transit and to local retail establishments consistent with the City’s infill priorities and which reduces dependency on personal vehicles.

The size and diversity of unit options (both 1 and 2-bedrooms) also supports social sustainability by offering good-quality, small unit rental options to the public. Optional combination of units could provide flexibility for large units if required.



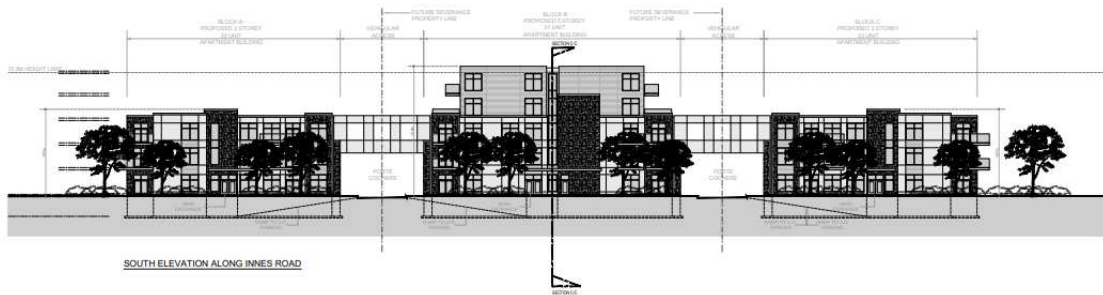
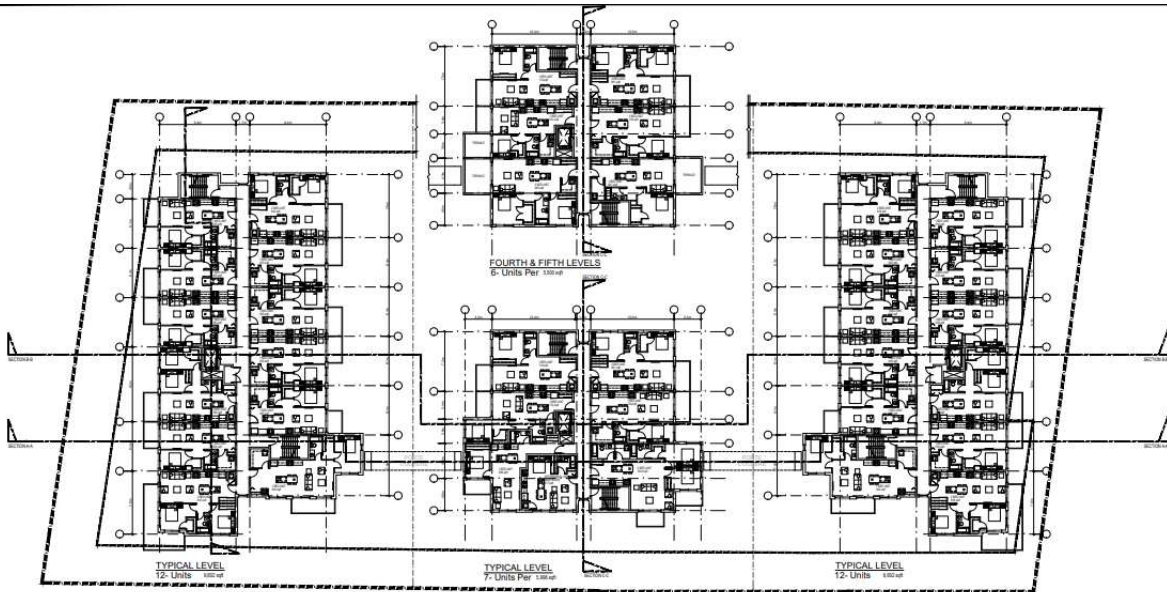
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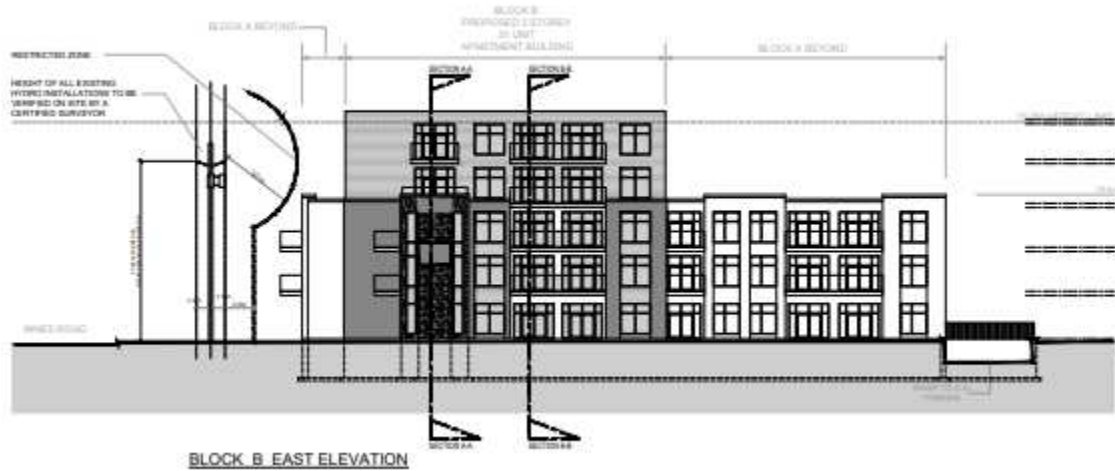
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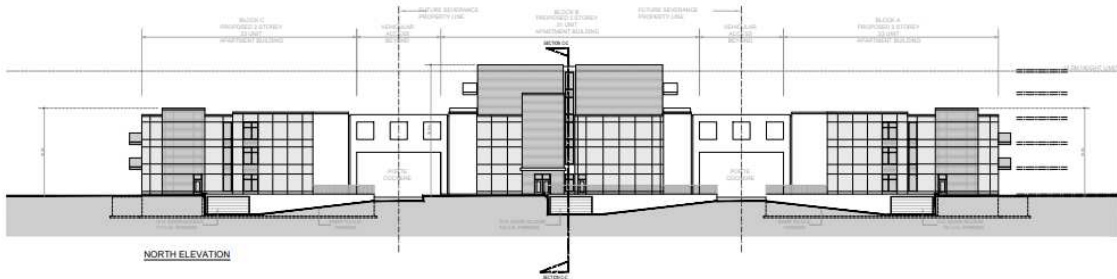
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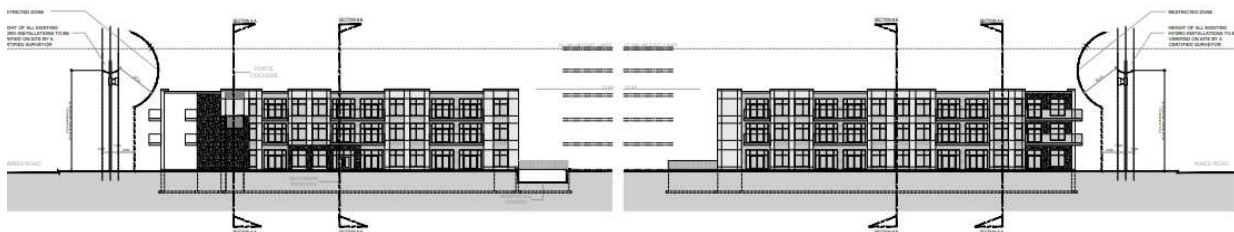
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BLOCK B EAST ELEVATION



NORTH ELEVATION



BLOCK A EAST ELEVATION (BLOCK C MIRROR (C))

BLOCK A WEST ELEVATION (BLOCK C MIRROR (C))

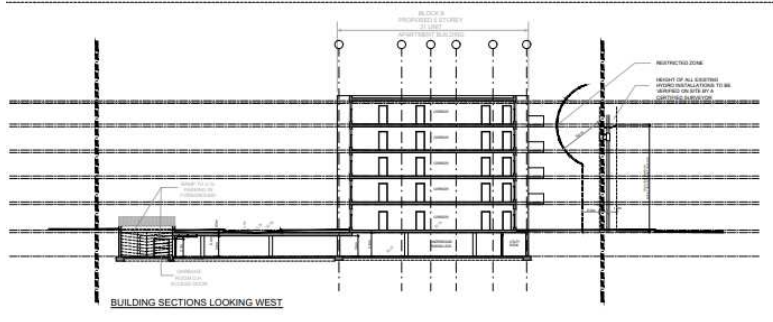
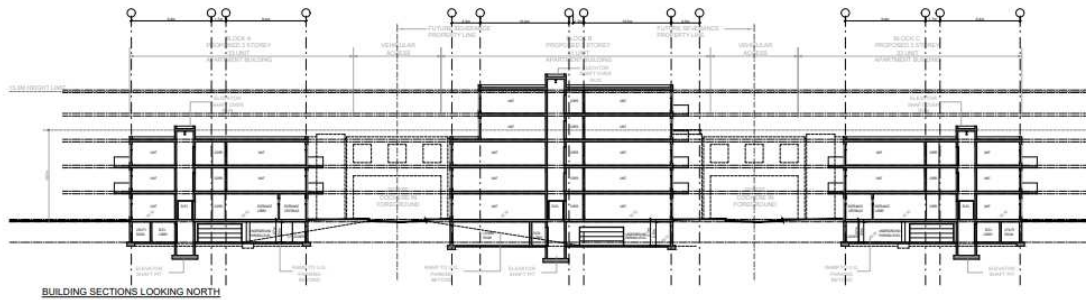
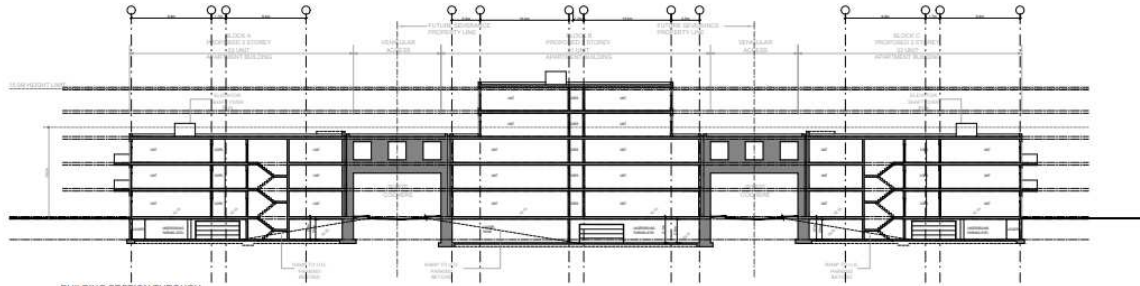
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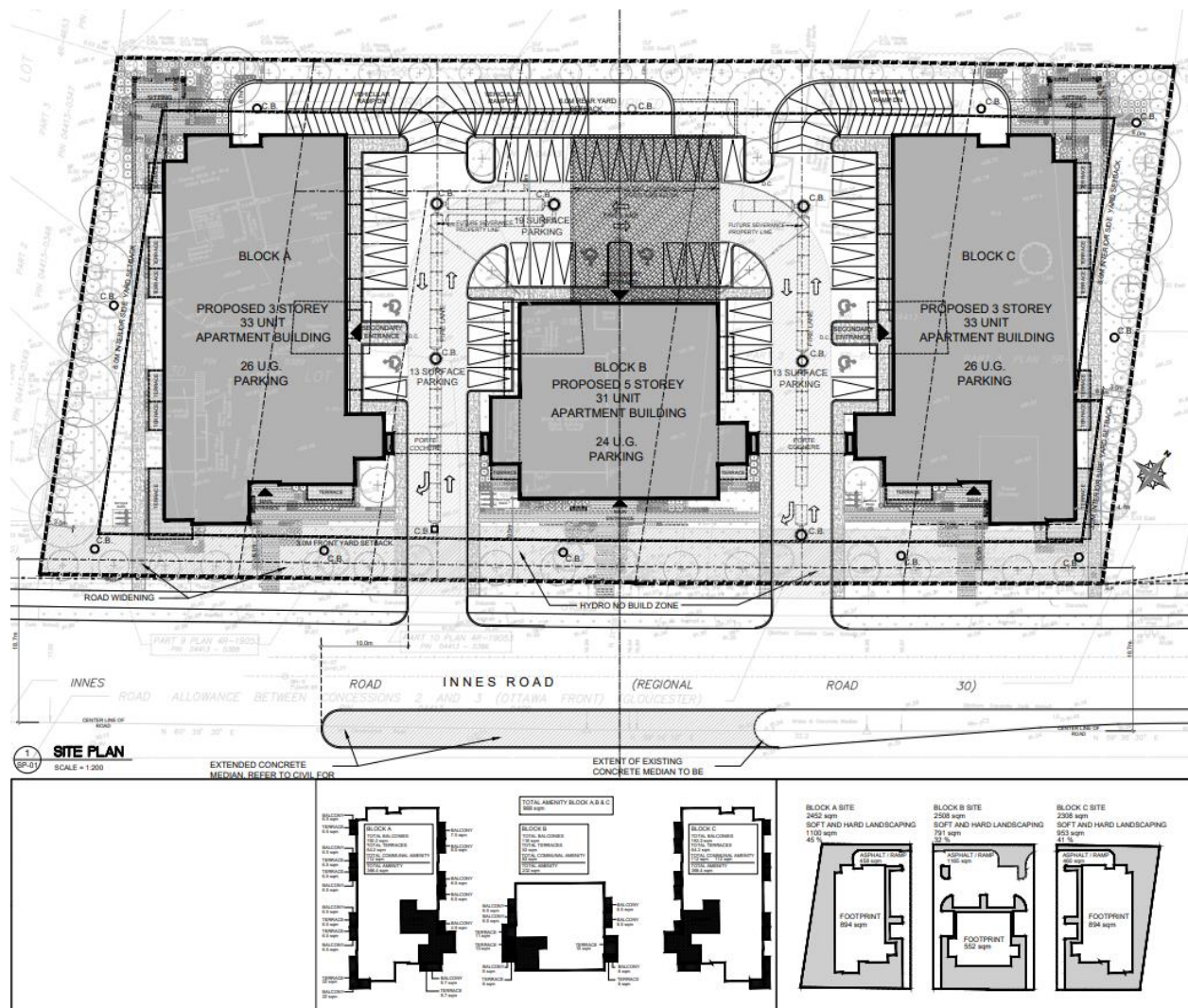
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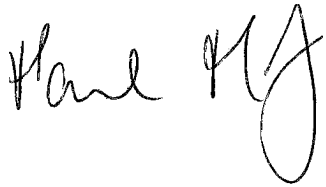
SIGNATURES

Signature of Planning Representative,
P H Robinson Consulting:

Signature of Designer
P-Squared Concepts Inc

09/11/2020

Date



Paul Robinson, RPP

09/11/2020

Date



Patrick England - President

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Appendix A

Large format images shown under section 2, as well as others, follow and include:

1. Site plan
2. Landscape plan
3. Floor plans of all levels
4. Building elevations
5. An earlier stage architectural elevations drawings and site plan

APPENDIX A