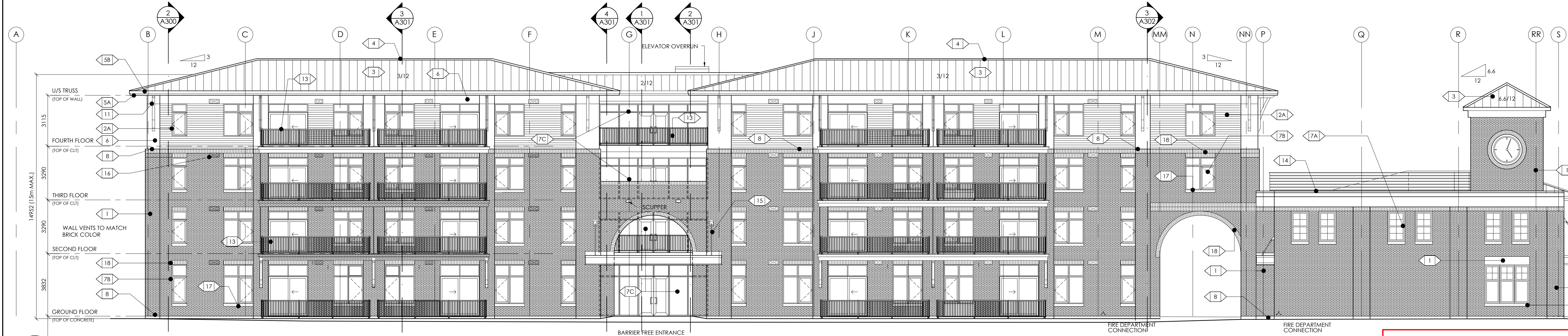


NO.	REVISION	DATE
1	ISSUED FOR SITE PLAN APPROVAL	NOV. 18/2020
2	ISSUED FOR REVIEW	MAR. 29/2021
3	ISSUED FOR CITY REVIEW	APR. 29/2021
4	ISSUED FOR REVIEW	JULY 21/2021
5	ISSUED FOR CO-ORDINATION	JULY 30/2021
6	ISSUED FOR REVIEW	AUGUST 14/2021
7	ISSUED FOR CO-ORDINATION	SEPT 08/21
8	ISSUED FOR COORDINATION	OCT 27/21
9	ISSUED FOR COORDINATION	NOV 22/21
10	ISSUED FOR PERMIT	FEB. 4/22
11	CITY COMMENTS INCORPORATED	MAR 28/22



1 NORTH ELEVATION
SCALE: 1:125
A200

- LEGEND**
- 1 MASONRY VENEER HANSON WILLIAMSBURG MK2 MAX SIZE OR APPROVED EQ.
 - 2A PREFINISHED FIBER CEMENT SHAKE & SHINGLE SIDING JAMES HARDIE OR APPROVED EQ.
 - 2B PREFINISHED VERTICAL SIDING JAMES HARDIE OR APPROVED EQ.
 - 2C PREFINISHED TRIM BOARD JAMES HARDIE OR APPROVED EQ.
 - 3 PREFINISHED HERITAGE RIB METAL ROOFING 20" SPACING, MARITIME GREY BY IDEAL ROOFING OR EQ.
 - 4 RIDGE VENT
 - 5A PREFINISHED METAL FASCIA
 - 5B PREFINISHED ALUMINUM EAVESTROUGH COLOUR TO MATCH STEPPED FASCIA
 - 6 PVC TRIM BOARD (SMOOTH FINISH) AZEK OR APPROVED EQ.
 - 7A ALUMINUM CLAD WINDOW
 - 7B EXTRUDED VINYL WINDOW
 - 7C ALUMINUM CURTAIN WALL
 - 8 PRE-FINISHED METAL WALL FLASHING
 - 9 MECHANICAL EQUIPMENT
 - 10 SCREEN WALL SYSTEM AZEK OR APPROVED EQ.
 - 11 ROOF BRACKET
 - 12 ROOF CANOPY
 - 13 PREFINISHED METAL RAILING
 - 14 PVC PARAPET MOLDING (SMOOTH FINISH) AZEK OR APPROVED EQ.
 - 15 TIE ROD
 - 16 VENT SHROUD
 - 17 100 PRECAST SILL
 - 18 MASONRY SOLDIER



2 SOUTH ELEVATION: PARKING DRIVE AISLE
SCALE: 1:125
A200

Allison Hamlin

ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA



3 EAST ELEVATION: STITTSVILLE MAIN STREET
SCALE: 1:125
A200

RESTAURANT WALL TO WINDOW RATIO
TOTAL WALL AREA= 632.86M2
WINDOW AREA = 148 M2
TOTAL PROVIDED = 23.38 %
MAX. ALLOW PER SB-10 = 40%

RESTAURANT GROSS ROOF AREA
498.01 M2

RESTAURANT GROSS FLOOR AREA
744.25 M2 (2 FLOORS)

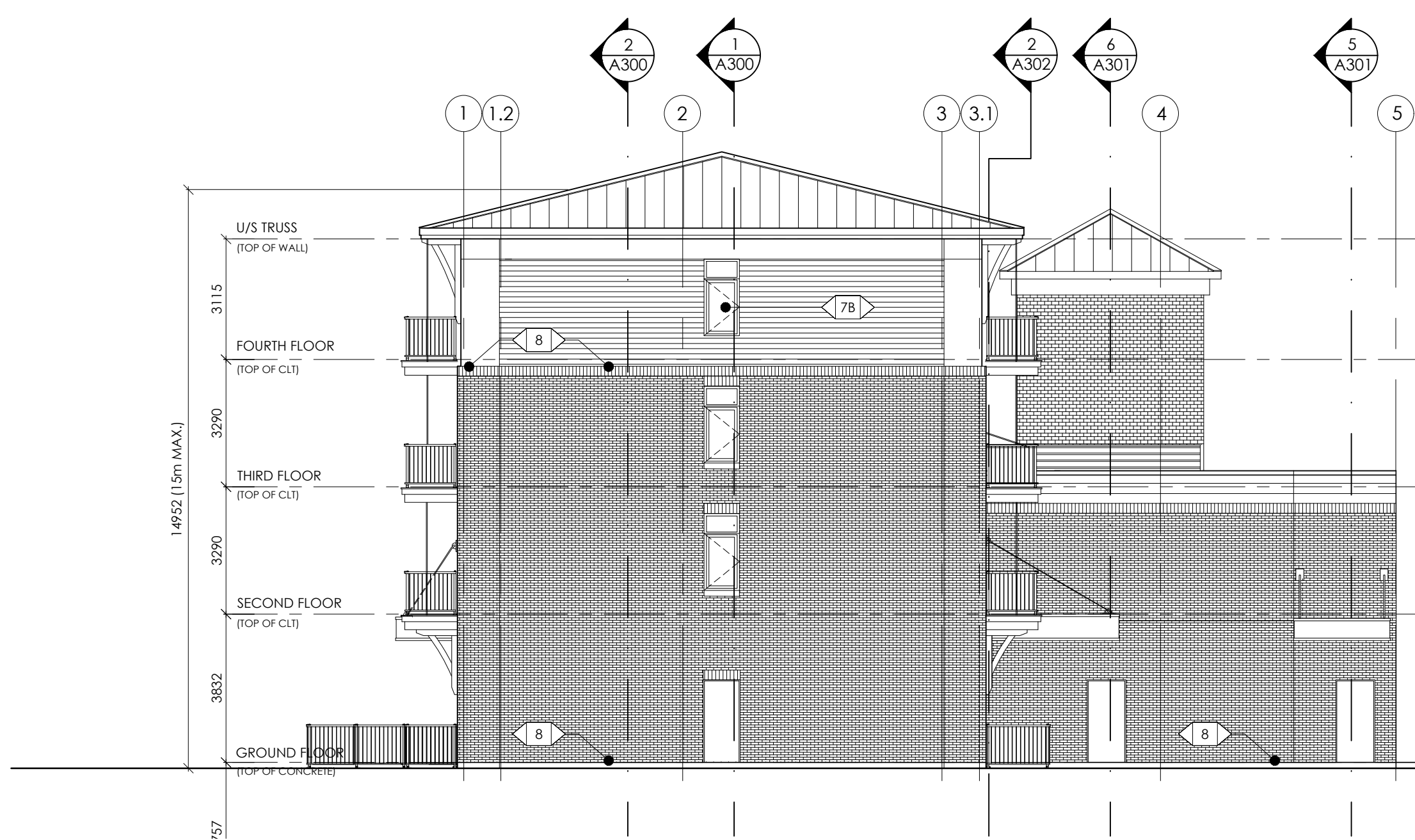
GROUND FLR = 453.7M2
SECOND FLR = 290.557 M2
BASEMENT = 416.9 M2

RESIDENTIAL BUILDING WALL TO WINDOW RATIO
TOTAL WALL AREA= 2164.36 M2
TOTAL WINDOW AREA = 658.33 M2
TOTAL PROVIDED = 30.5 % PROVIDED
MAX. ALLOWED PER SB-10 = 40%

RESIDENTIAL GROSS ROOF AREA
1085.74 M2

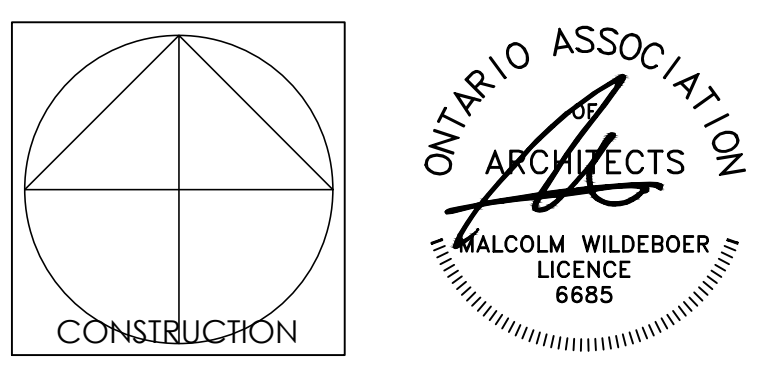
RESIDENTIAL GROSS FLOOR AREA
3314.43 M2 (4 FLOORS)

GROUND FLR = 816.30M2
SECOND FLR = 794.50 M2
THIRD FLR = 844.08
FOURTH FLOOR = 849.55 M2
PARKING = 1342.78 M2



4 WEST ELEVATION
SCALE: 1:125
A200

APPROVED
By Allison Hamlin at 9:12 am, May 03, 2022



Vandenberg & Wildeboer
A R C H I T E C T S

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1786 OLD STONE LIDGE + 160 FRANKLIN BLVD + OTTAWA, ONTARIO + CANADA + K2K 3P9

PROJECT TITLE
THE STATION
1518-1524-1526 STITTSVILLE MAIN STREET, STITTSVILLE, ONTARIO

DRAWING TITLE
BUILDING ELEVATIONS

DESIGNED BY: MW
DRAWN BY: SC
START DATE: JULY 2020
SCALE: AS SHOWN
PROJECT NO.: 1932

A200